



CITY OF OREM  
PLANNING COMMISSION MEETING  
56 North State Street, Orem, Utah  
March 18, 2026

*This meeting may be held electronically  
to allow a Commission member to participate.*

4:30 PM WORK SESSION– AGENDA REVIEW, CITY COUNCIL CONFERENCE ROOM, 56  
NORTH STATE STREET, OREM, UT

- 1 Planning Commission Training Continued**
- 2 Review of Agenda Items**

5:30 PM REGULAR SESSION – CITY COUNCIL CHAMBERS

1. CALL TO ORDER
2. INVOCATION/INSPIRATIONAL THOUGHT: BY INVITATION
3. CONSENT AGENDA ITEMS
  - 3.1 Approval of the Minutes from the 3-04-26 Planning Commission Meeting**
4. ACTION ITEMS
  - 4.1 Preliminary Plat — Whitestone Plat A — Located generally at 710 West 2000 South in the R8 zone**
  - 4.2 Plat Amendment — Berkshire Plat U — Located generally at 1469 South 1020 East in the PD-18 zone**
5. PUBLIC HEARINGS
  - 5.1 “Westerly Way” — Text Amendment and Rezone — Request to rezone the property located generally at 1875 South Geneva Road from OS-5 (Open Space) to PRD (Planned Residential Development); and to amend Appendix KK “Site Plan - Farm Haven” to include the subject property**
  - 5.2 “Spring Hollow” — Rezone — Request to rezone the property located generally at 92 South 800 East from R8 (Residential) to C1 (Commercial)**
  - 5.3 “Special Exceptions” — Text Amendment — Ordinance amending Articles 2-15-2, 2-15-11, 2-16-2, 2-16-10, and 22-21-2 of the Orem City Code relating to the powers and**

**duties of the Planning Commission and Special Exceptions.**

6. ADJOURN

**THE PUBLIC IS INVITED TO PARTICIPATE IN ALL PLANNING COMMISSION MEETINGS.  
If you need a special accommodation to participate in the Planning Commission Meetings and Study Sessions,  
please call the Development Services Office at least 3 working days prior to the meeting.  
(Voice 801-229-7183)**

**This agenda is also available on the City's webpage at [orem.org](http://orem.org)**

## DRAFT MINUTES FOR MARCH 4, 2026

### CITY OF OREM PLANNING COMMISSION MEETING MINUTES March 4, 2026

The following items are discussed in these minutes:

#### CONSENT AGENDA ITEMS:

- 3.1 - Approval of Minutes for the 01-21-26 Planning Commission Meeting
- 3.2 - **Plat Amendment** - Home Depot - Located generally at 655 East Park Avenue

#### ACTION ITEMS:

- **4.1 Site Plan** - Comcast Generator Update - Located generally at 1834 South Columbia Lane
- **4.2 Site Plan** - Apollo Burger - Located generally at 452 North State Street
- **4.3 Site Plan** - Home Depot - Located generally at 655 East Park Avenue
- **4.4 Preliminary Plat** - Rolling Sand - Located generally at 1765 South Sandhill

A recording of the meeting can be viewed online at

<https://www.youtube.com/live/giscsCTIBFo?si=07cgxdQiiqxh1NGu>.

## PLANNING COMMISSION WORK SESSION

**Place:** Orem City Council Conference Room, 56 North State Street

At approximately **4:30 p.m.** Chair Komen called the Planning Commission meeting to order.

**Those present:** Madeline Komen, Mike Carpenter, Susan Madsen, Darren Hawkins, Karl Radmall, Britton Runolfson, Planning Commissioners; LaNae Millet, Crystal Muhelstein, City Council Member; Jared Hall, Matt Taylor, Grace Bjarnson, Rebecca Gourley, Planning and Zoning Staff; Gary McGinn, Director of Community Development.

**Those excused:** Quinn Mecham, City Council Liaison

#### 1. Discussion: Planning Commission Training

Staff and Commissioners reviewed training for new Commission members. A recording of the discussion can be viewed online at

<https://www.youtube.com/live/giscsCTIBFo?si=07cgxdQiiqxh1NGu>.

## **PLANNING COMMISSION MEETING**

**Place:** Orem City Council Chambers, 56 North State Street

At **5:39 p.m.** Chair Komen called the Planning Commission meeting to order. An invocation was offered by Mike Carpenter.

**Those present:** Madeline Komen, Mike Carpenter, Susan Madsen, Darrin Hawkins, Karl Radmall, Britton Runolfson, Planning Commissioners; Quinn Mecham, City Council Liaison; LaNae Millet, City Council Member; Jared Hall, Matt Taylor, Grace Bjarnson, Rebecca Gourley, Planning and Zoning Staff; Gary McGinn, Director of Community Development.

**Those excused:** None

### **Agenda Item 3, Consent Agenda Items**

- 3.1 - Approval of Minutes for the January 21st, 2026 Planning Commission Meeting
- 3.2 - Plat Amendment - Home Depot - Located generally at 655 East Park Avenue

Chair Komen introduced the consent agenda items. No questions were raised. Chair Komen requested a motion.

**Planning Commission Action:** Vice Chair Mike Carpenter motioned to approve the Consent Agenda. Commissioner Britton Runolfson seconded the motion.

YES: Madeline Komen, Mike Carpenter, Susan Madsen, Darrin Hawkins, Karl Radmall, Britton Runolfson

NO: None

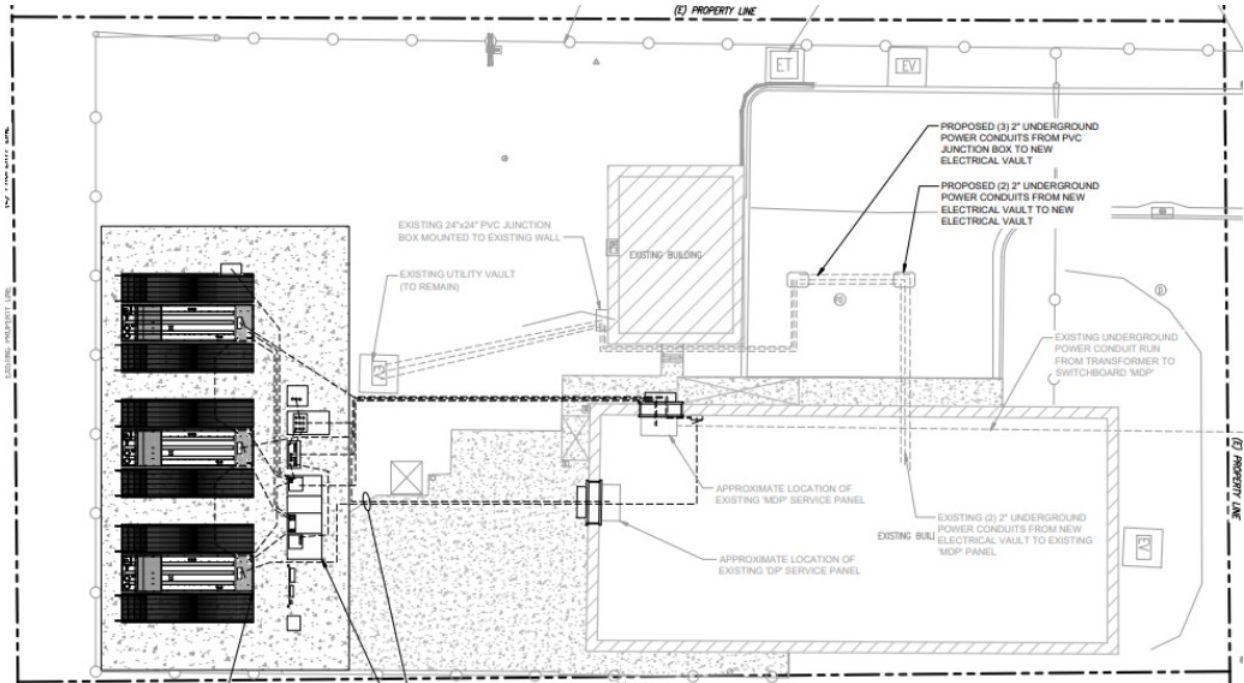
ABSTAIN: None

### **Agenda Item 4, Action Items**

#### **4.1 SITE PLAN - COMCAST GENERATOR UPGRADE - LOCATED GENERALLY AT 1834 SOUTH COLUMBIA LANE**

## DRAFT MINUTES FOR MARCH 4, 2026

Jared Hall presented the site plan to upgrade outdated generators at the existing Comcast facility in the C2 zone. The proposal relocates the generators within the rear portion of the site and includes minor drainage and concrete improvements, while the building, access, and overall site layout remain unchanged. Staff recommended that any approval include a condition requiring double-walled fuel tanks or similar containment to prevent potential diesel leaks from entering the stormwater system.



Commissioner Radmall inquired if these generators were the main power source, or back-ups. Jared Hall confirmed that they serve as back-ups.

Vice Chair Carpenter asked for clarification on if an additional generator was being added, which was confirmed.

Commissioner Runolfson asked if the current generators are diesel fueled, and Vice Chair Carpenter confirmed that they are.

**Planning Commission Action:** Commissioner Madsen moved to approve the site plan for the upgrade of the Comcast generators at 1834 South Columbia Lane, subject to the condition that the diesel tanks underneath the generator be double-walled, or that another staff-approved secondary containment system is used. Commissioner Radmall seconded the motion.

YES: Madeline Komen, Mike Carpenter, Susan Madsen, Darrin Hawkins, Karl Radmall, Britton Runolfson

NO: None

ABSTAIN: None

**4.2 SITE PLAN - APOLLO BURGER - LOCATED GENERALLY AT 452 NORTH STATE STREET**

Grace Bjarnson introduced the site plan for the Apollo Burger redevelopment located at 452 North State Street. She explained that the existing building requires extensive repairs and that the applicant is proposing to demolish the current structure and construct a new restaurant building. The redevelopment will maintain a drive-through on the north side and includes improvements to stormwater management, parking layout, parking lot islands, and additional landscaping, particularly along the east side of the property adjacent to residential homes.

Commissioner Radmall inquired about landscaping shown along the drive-through on the north façade and asked whether plants and rock would be installed in that area, and asked whether the gravel shown in the rendering could impact neighboring businesses. Staff clarified that the architectural rendering shown was an example elevation illustrating building materials and that final landscaping details would be addressed during the building permit process, and that the gravel area would be contained entirely within the site and would not affect adjacent properties.

Commissioner Hawkins asked whether commercial properties are subject to minimum landscaping or green coverage requirements similar to residential properties. Staff explained that landscaping beds are required to have at least 50 percent vegetative coverage and noted that the rendering shown does not represent the final landscaping plan required by code. Staff also went over how to read landscaping plans.

Chair Komen invited the applicant to come forward, and asked if there were any questions for the applicant. No questions were asked. A recording of the discussion can be viewed online at <https://www.youtube.com/live/giscsCTIBFo?si=07cgxdQiiqxh1NGu>.

**Planning Commission Action:** Vice Chair Carpenter moved that the Planning Commission approve the site plan. Commissioner Madsen seconded the motion.

YES: Madeline Komen, Mike Carpenter, Susan Madsen, Darrin Hawkins, Karl Radmall, Britton Runolfson

DRAFT MINUTES FOR MARCH 4, 2026

NO: None

ABSTAIN: None

**4.3 SITE PLAN - HOME DEPOT - LOCATED GENERALLY AT 665 EAST PARK AVENUE**

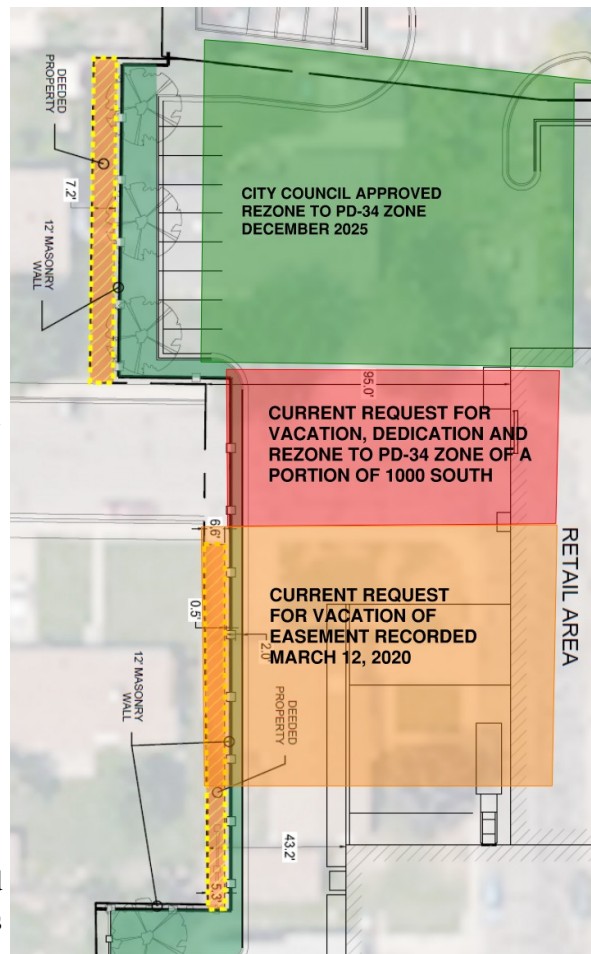
Jared Hall presented the site plan request for Home Depot located at 655 East Park Avenue. He explained that the proposal includes development of a 9.27-acre site within the PD34 planned development zone and will construct a Home Depot store and garden center totaling approximately 135,000 square feet. The project also includes 397 parking stalls, landscaping improvements, and construction of a masonry wall along the adjacent residential neighborhood to mitigate noise and visual impacts.

Commissioner Radmall asked about traffic flow and whether the development would increase congestion on surrounding streets. Staff explained that traffic studies were conducted and reviewed by the City’s transportation engineer and that most traffic is expected to access the site internally through the University Place area and Costco parking areas rather than through nearby residential streets.

Vice Chair Mike Carpenter commented that some traffic impacts may occur along 900 South near the mall area. Gary McGinn noted that Costco plans to relocate its gas station and that the nearby intersection on 8th East is planned to be upgraded with turning lanes to improve traffic circulation in the area.

Commissioner Hawkins asked about the standards used for traffic analysis. Staff explained that traffic engineers evaluate whether intersections will fail and ensure road widths and access points meet established transportation standards.

Commissioner Hawkins also asked how neighboring residents felt about the proposal. Staff explained that the project has gone through multiple zone change hearings and discussions with neighbors and that concerns related to noise and visual impacts led to the requirement for a 12-foot masonry wall along portions of the residential boundary.



## DRAFT MINUTES FOR MARCH 4, 2026

Staff also noted that lighting plans are reviewed as part of the site plan process and that lighting fixtures are required to prevent glare into nearby residential yards and windows.

Commissioner Madsen asked for clarification regarding the height of the masonry wall shown on the plans. Staff explained that portions of the wall adjacent to the residential properties will be constructed at 12 feet in height, while other portions further south will remain at the standard 8-foot height.

Chair Komen invited the applicant to come forward.

Barry Simmons, representing Home Depot, addressed the Commission and stated that the project team has worked closely with the Woodbury development group and City staff and has made concessions to address neighborhood concerns. He expressed appreciation for the Commission's consideration and stated that Home Depot looks forward to joining the community.

A resident asked for clarification regarding the exact location of the proposed 12-foot wall. Staff clarified the alignment of the wall along the residential boundary and explained how the wall transitions to the existing 8-foot masonry wall further south.

The Commission discussed whether public comment should be allowed on the administrative item. The Commission agreed to allow brief public comment.

Kim Miller addressed the Commission and asked whether the existing fire hydrant and street light located near the end of the street would remain accessible after construction.

Staff explained that the fire department has reviewed the plans and approved the layout as part of the development review process and that the location of utilities and fire access will also be confirmed during the building permit stage.

No additional comments were made.

A recording of the discussion can be viewed online at <https://www.youtube.com/live/giscsCTIBFo?si=07cgxdQiiqxh1NGu>.

**Planning Commission Action:** Commissioner Hawkins moved that the Orem City Planning Commission approve the site plan for Home Depot located at 655 East Park Lane in the PD34 zone. Commissioner Radmall seconded the motion.

YES: Madeline Komen, Mike Carpenter, Susan Madsen, Darrin Hawkins, Karl Radmall, Britton Runolfson

NO: None

ABSTAIN: None

**4.4 PRELIMINARY PLAT - ROLLING SAND - LOCATED GENERALLY AT 1765 SOUTH SANDHILL**

Jared Hall presented the preliminary plat request for Rolling Sand located generally at 1765 South Sandhill Road. He explained that the proposal would create a flag lot within the R8 zone and reviewed the standards that apply to deep lots, including minimum lot size, access requirements, setbacks, and restrictions limiting structures to single-family homes.

Commissioner Radmall asked whether accessory dwelling units (ADUs) would be permitted on the proposed flag lot. Staff explained that ADUs are allowed if the property meets the applicable standards, including parking and setback requirements.

No additional questions were asked.

A recording of the discussion can be viewed online at <https://www.youtube.com/live/giscsCTIBFo?si=07cgxdQiiqyh1NGu>.

**Planning Commission Action:** Commissioner Radmall moved that the Orem City Planning Commission approve the Rolling Sand Preliminary Plat for the property located generally at 1765 South Sandill Road in the R8 zone, subject to the conditions outlined in the staff report. Commissioner Hawkins seconded the motion.

YES: Madeline Komen, Susan Madsen, Darrin Hawkins, Karl Radmall, Britton Runolfson

NO: None

ABSTAIN: Mike Carpenter

**Final Meeting Comments:**

Gary McGinn thanked the commissioners for their service and expressed appreciation on behalf of the Mayor, City Council, and Staff for their willingness to serve on the Planning Commission. He noted that the Commission will continue to receive training and encouraged commissioners to reach out with any questions.

Chair Komen congratulated the new commissioners on completing their first meeting and encouraged them to ask questions whenever clarification is needed as they become familiar with the Commission's processes.

**Adjournment:**

Chair Komen asked for a motion to adjourn. Vice Chair Mike Carpenter motioned to adjourn, Commissioner Runolfson seconded. All present Commissioners voted yes.

The Planning Commission Meeting adjourned at **6:23 p.m.**

DRAFT MINUTES FOR MARCH 4, 2026

A recording of the meeting can be viewed online at

<https://www.youtube.com/live/giscsCTIBFo?si=07cgxdQiiqxh1NGu>.

Reviewed and Approved: DRAFT



# PLANNING COMMISSION

March 18<sup>th</sup>, 2026

## Item 4.1

Whitestone Estates Plat A, Preliminary  
710 West 2000 South

Preliminary Approval, 51-lot residential subdivision in the R8 Zone.

Prepared By:  
Jared Hall

Applicant:  
Nathan Horan

**Notices:**

Posted in 2 public places.  
Posted on City Webpage and City hotline.  
Posted at Utah.gov/pmn.

**Site Information:**

General Plan Designation:

**Medium Density Residential SW**

Neighborhood:

**Lakeview**

Zoning: **R8**

Total Acreage: **14.01 acres**

**Action:**

The Planning Commission is the Land Use Authority for this item and may approve the subdivision, deny the subdivision, or continue the review pending additional information.

**REQUEST:** The applicants request preliminary approval for the planned 51-lot residential subdivision in the R8 Zone.

**BACKGROUND:** The subject property is a 14.01-acre parcel which was re-zoned from OS-5, Open Space to R8, single-family residential in 2025. The applicants have prepared this proposed subdivision to meet the standards for the development of residential lots in the R8 Zone. The subject property is located west of the Frontrunner rail lines, and immediately north of 2000 South.

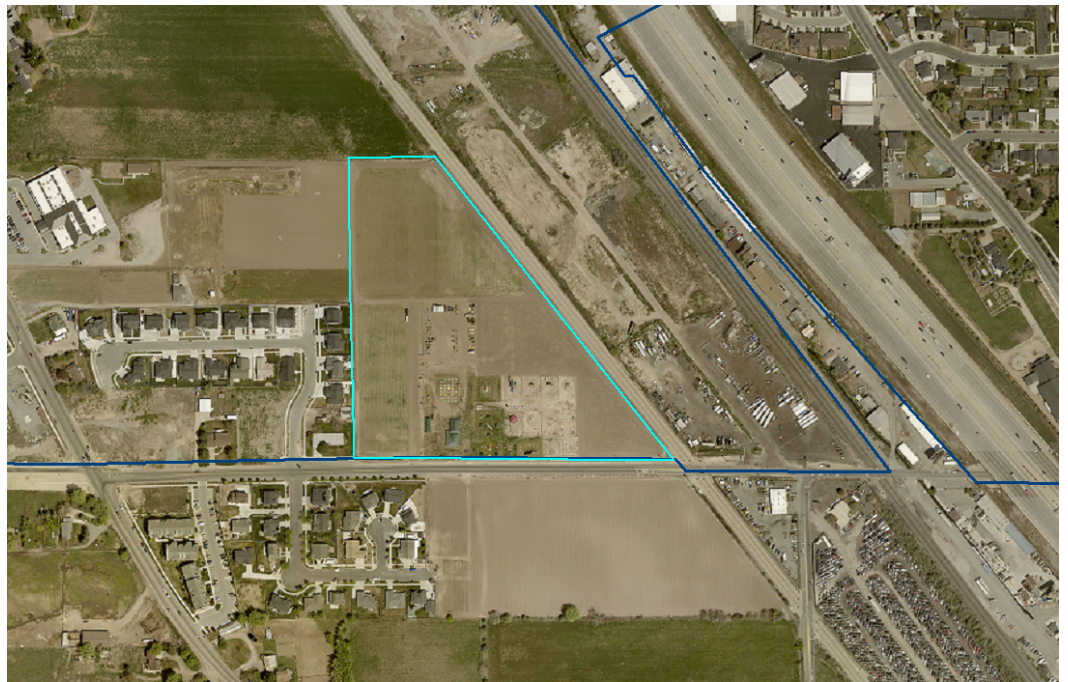


Figure 1: Subject Property, 710 West 2000 South.

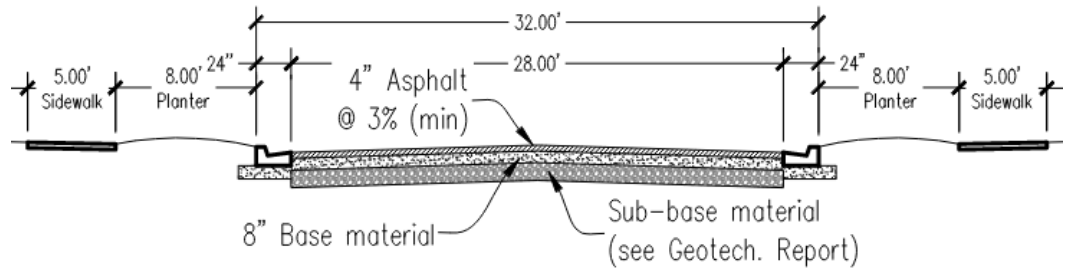
**REVIEW & ANALYSIS:**

**Zoning**– The subject property is currently zoned R8, Single Family Residential. The R8 Zone allows single-family residential development on lots with a minimum of 8,000 ft<sup>2</sup>. The preliminary subdivision plan reviewed in this report is based upon the concept plan that the applicants presented during their application process to re-zone the property.

**Lots**– There are 51 proposed single-family lots. The preliminary subdivision has been reviewed for compliance with the development standards of the R8 Zone. The lots

range in area from 20,888 ft<sup>2</sup> to 8,151 ft<sup>2</sup>. All lots meet the minimum requirements for width and will accommodate modern home building footprints.

**Public Improvements, New Rights-of-Way** – All proposed lots in the subdivision will have frontage on new public rights-of-way (ROWs) to be dedicated to Orem City in the subdivision process. All new ROWs will be improved as standard Orem Sub Local streets, with 28’ of asphalt, curb + gutter, 8’ landscaped park strips, and 5’ wide sidewalks.



**Orem City 32' ROW - Sub Local Street**

Figure 2: from the preliminary, Orem standard ROW improvements.

**Public Improvements, 2000 South** – The subdivision has frontage along the existing ROW at 2000 South. Improvements there will include additional asphalt for road width, curb + gutter, park strips, and sidewalks. 6’ sidewalks and 6’ high solid fencing are required where double frontage lots are located along a larger street like 2000 South.

**Trail** – The development of this subdivision will accommodate the installation of a segment of trail connecting (eventually) to the lakeshore trails. Beginning at the east edge of the subject property on 2000 South and running along the east side of proposed 600 West through to the north end of the subdivision, the developer will install modified improvements including a 10’ wide concrete sidewalk and 7’ wide park strip, allowing the sidewalk to function as a part of the trail system when the connections are available with additional development in the area.

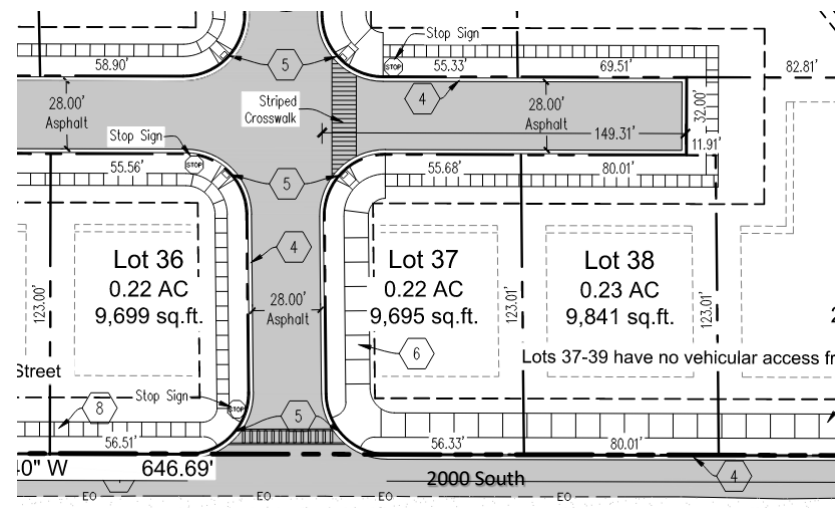


Figure 3: modified ROW improvements as a future trail connection.

**Access** – All proposed lots are accessed from new public ROWs. There are two proposed intersections with 2000 South. The first is 600 West, aligned with a local street on the south side of 2000 South in Provo City. The second is proposed 750 West. 750 West will run the full north-to-south length of the subdivision, providing two stubbed roads to accommodate future access for adjoining properties to develop on the north and west. No proposed lots will have direct vehicle access to 2000 South.

**Fencing**– 6’ vinyl fencing will be installed at the subdivision perimeter along 2000 South and along the north perimeter as well. A masonry fence will be installed on the east subdivision perimeter to buffer those lots adjacent to the rail corridor.

**Utilities**– The subdivision has been reviewed for water, sewer, and storm drainage. There are some regional needs for utilities that may impact pipe sizing for this subdivision. While those issues are outstanding, they do not preclude development of the property. The City Engineering Division has asked that preliminary approval include the applicants’ cooperation in the future planning of utilities by way of a developer agreement. This will ensure that the region’s utility requirements can be most efficiently met.

**Stormwater** - The subdivision includes a large, private retention basin for stormwater. The basin takes up the whole of proposed Lot 32. This parcel will be located in a permanent easement to retain all the stormwater generated in the subdivision, meeting code requirements. Because the retention basin will serve to manage stormwater for all lots in the subdivision, the formation of a Homeowners’ Association (HOA) will be required for maintenance. The inclusion of an HOA should be a condition of preliminary approval.

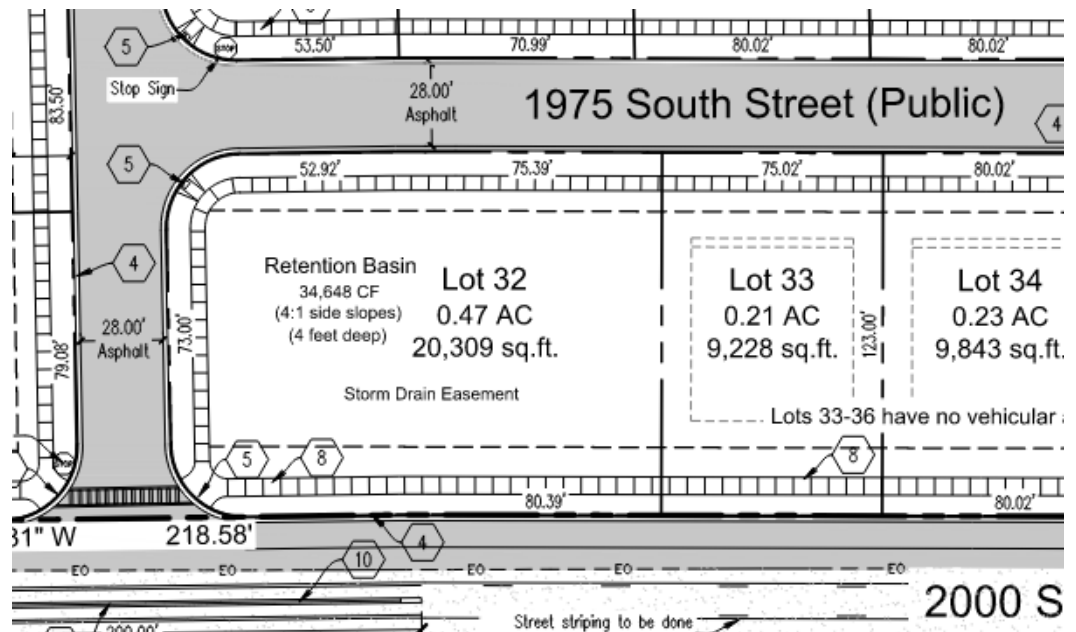


Figure 4: Retention Basin to provide stormwater management.

**Parking & Traffic**– All homes are single-family and will have driveways and garages. On-street parking will be available in some areas as well. Traffic impacts were evaluated during the review of the zone AC change application in conjunction with the

concept plan, and the access widths, locations, and striping plans proposed here are based on those studies and the City’s review.

*Elevations* – There are no elevations or home plans for the proposed lots, and none are required for the R8 Zone. The applicants are developers and home builders, and plan to build on the lots. The only allowable uses are single family detached homes. Building permit plans for single-family homes are reviewed by planning and zoning staff to ensure compliance with all zoning requirements such as height and setbacks.

**DEVELOPMENT REVIEW COMMITTEE:** The Preliminary Subdivision was reviewed by the Development Review Committee (DRC) on March 9, 2026, and will be reviewed again for a final change on March 16, 2026.

**ACTIONS:** The Planning Commission is the designated Land Use Authority for preliminary subdivisions. The Commission may approve or deny the request for preliminary subdivision or may choose to continue their consideration of the request and ask for additional information or analysis. If the preliminary subdivision is approved, a final subdivision application will be reviewed for compliance by city staff and then prepared for recording. The final subdivision does not return to the Planning Commission. Staff has noted conditions that should be included if the Planning Commission chooses to approve the preliminary subdivision. Those conditions are listed with the alternative motion.

**Alternative Motions –**

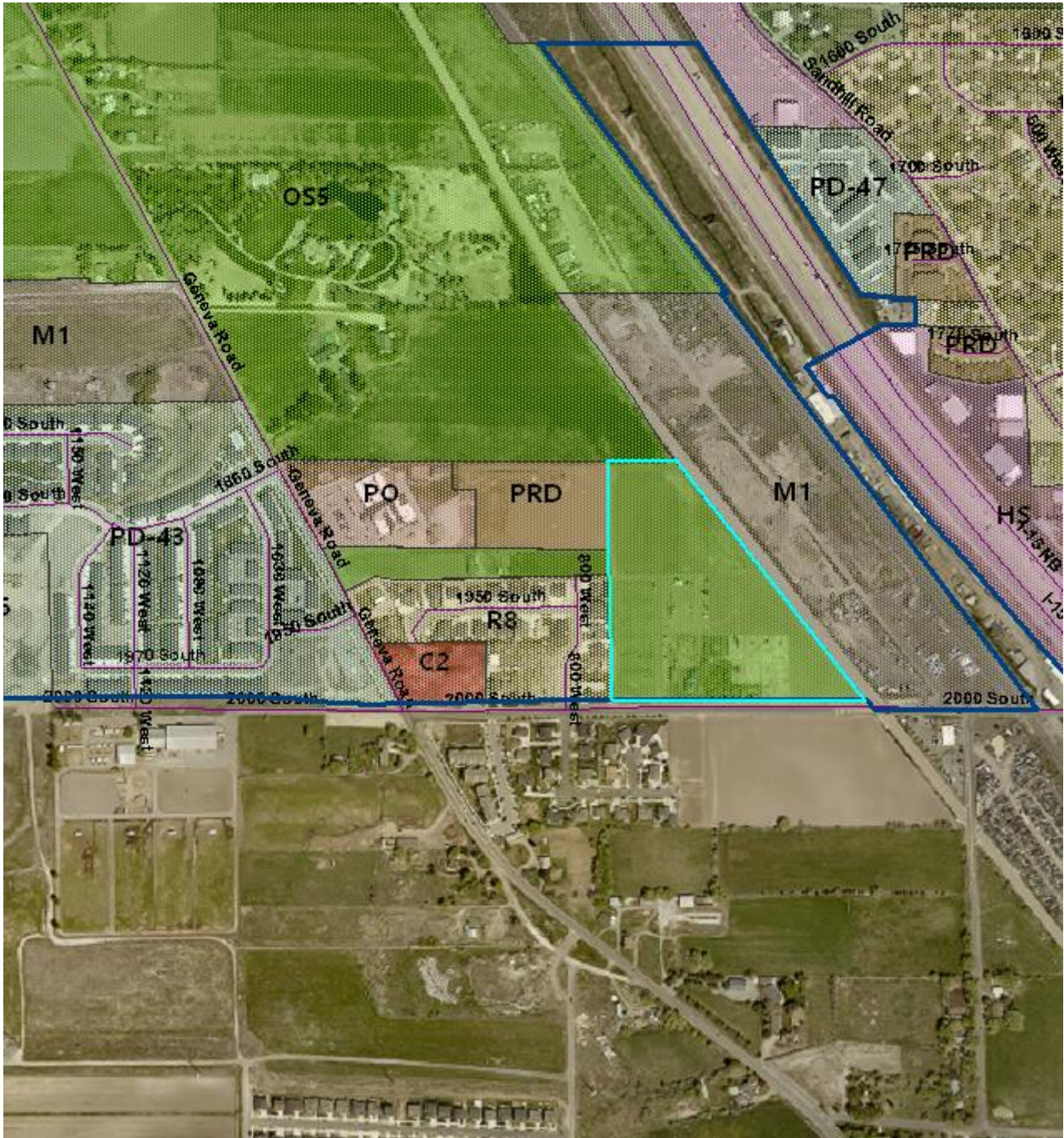
“I move that the Planning Commission [choose: **APPROVE** or **DENY**] the Whitestone Estates Preliminary Subdivision Plan, subject to the following conditions (if approving):

1. The applicant shall file a Final Subdivision application meeting all requirements of the Orem City Zoning and Subdivision Ordinances.
2. The applicant shall work with city engineering staff to reach a developer agreement for the installation of utilities.
3. The applicant shall prepare and form a Homeowners Association for the maintenance and management of the stormwater retention basin.

“I move that the Planning Commission continue this request to [choose appropriate date or condition].”



Whitestone Subdivision – 710 W 2000 South



**Vicinity & Zoning Map**

Zone: R8

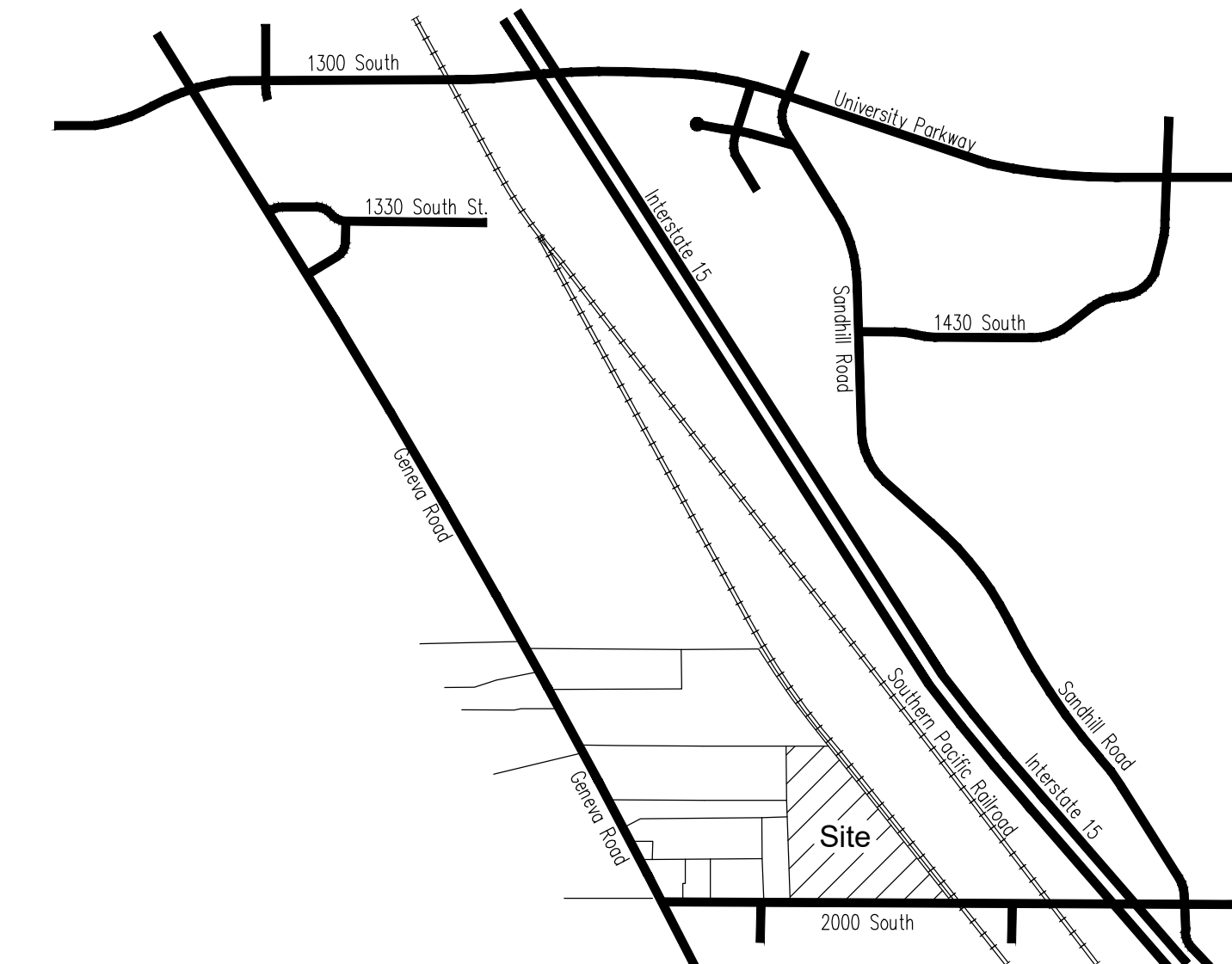
Acres: Approx 14.18



# Whitestone Subdivision Street View (710 W 2000 South)

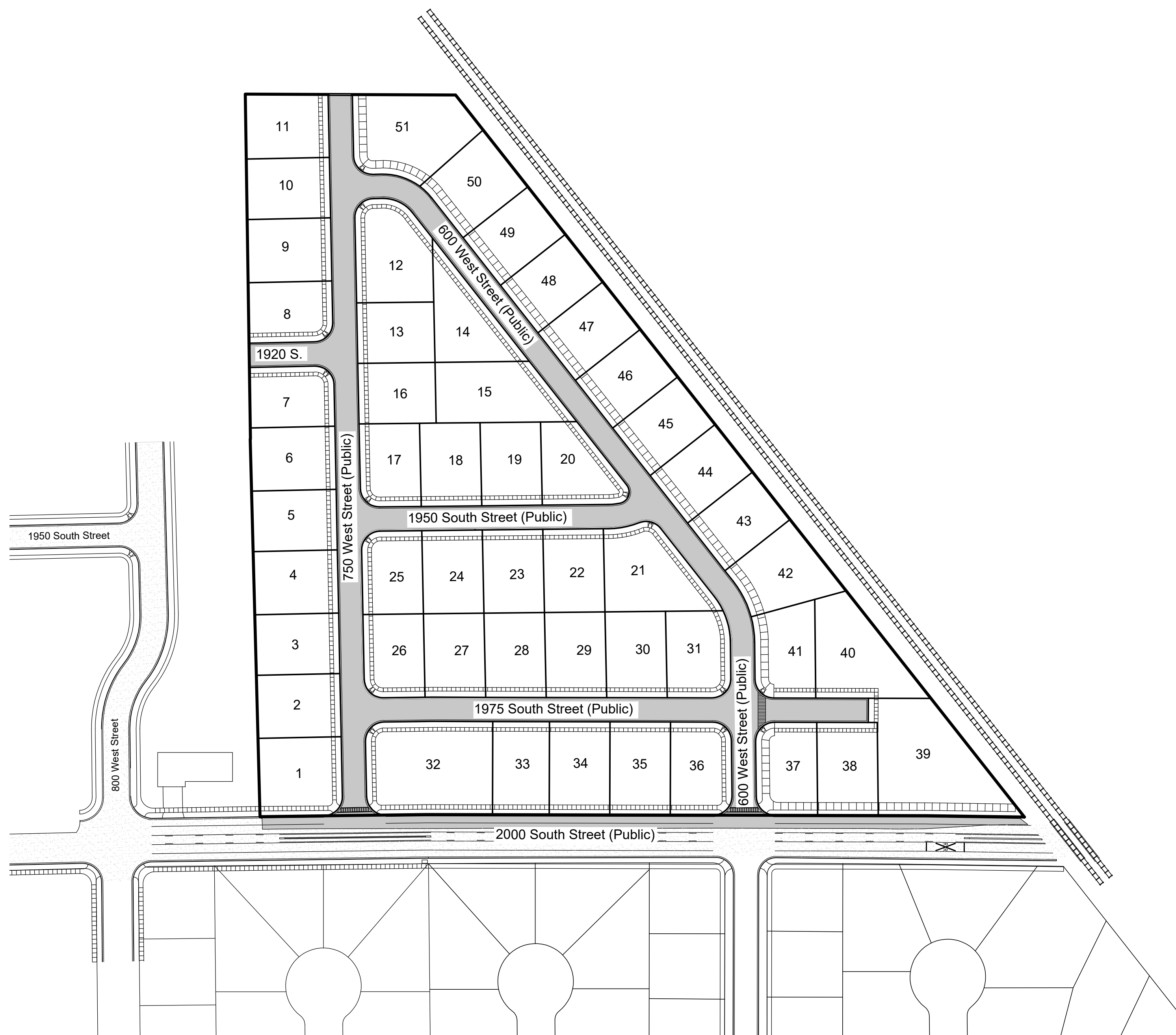


# Whitestone Estates



Vicinity Map

Symbol	Description
	Proposed 8" Sanitary Sewer Main
	Existing Sanitary Sewer Main (size noted on plan)
	Proposed Culinary Water Main (size noted on plan)
	Existing Culinary Water Main (size noted on plan)
	Existing Storm Drain pipe (size noted on plan)
	Proposed Storm Drain pipe (size noted on plan)
	Cable TV utility lines
	Existing Power lines
	New underground Power lines
	Outside Boundary line
	Existing surface improvements
	Existing Sidewalk
	Proposed Sidewalk
	Existing Contour Elevation
	Finish Contour Elevation
	Finish Spot Elevation
	Drainage Flow Direction
	Water Meter (size noted on plan)
	Culinary Water Valve
	Fire Hydrant
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Storm Drain Box
	top of asphalt
	top of sidewalk
	back of top of curb
	back of top of sidewalk
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Water Valve
	Gas valve
	Water Meter
	edge of existing asphalt
	Public Utility Easement



**NOTES**

- o "The fire protection items (fire hydrants, water mains, access roads, etc.) shown on this site plan are preliminary only. Detailed fire protection plans shall be submitted with the building plans. Plan reviews by the City of Orem Fire Prevention Bureau shall be completed prior to the issuance of a building permit. The plan reviews by the City of Orem Fire Prevention Bureau may identify additional fire protection requirements mandated by the International Fire Code. Fire hydrant foot valves shall be installed at the connection point with the main water lines."
- o "All landscaped areas shall have an automatic, underground sprinkler system which includes a backflow assembly to the building. Backflow assemblies shall be installed and tested in accordance with Section 21-1-14 of the Orem City Code. Water meter sizes shall be determined by the City of Orem Building Division at the time of building permit approval or when there is a request to change the water meter size. Water meters shall be located at the back of sidewalk or curb in an area that is accessible for reading and servicing. Water meters shall not be located within areas enclosed with fences or within ten feet (10') of any existing or proposed structure."
- o "All construction shall conform to the City of Orem construction standards and specifications unless the improvement is within the UDOT right-of-way, in which case the construction shall conform to UDOT construction standards and specifications."
- o "All damage to City owned roads are the responsibility of the contractor to repair. Each cut in the roadway (including cores) is subject to road cut fees. Install asphalt according to the City Standard Details (see details M-1, M-9, M-10, RW-14, and RW-15)."
- o "All damage to City owned sidewalks/concrete (lifting, cracking, cores, etc.) are the responsibility of the contractor to replace. Any concrete repair in lieu of replacement must be approved by the City. Install concrete according to the City Standard Details (see details RW-1 through RW-13 and RW-18)."

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**Planning Department**

56 North State Street  
Orem, Utah 84057  
Phone (801) 229-7238  
Fax (801) 229-7191

**Public Safety**

95 East Center Street  
Orem, Utah 84057  
801-229-7323

Emergency 911  
Utah County Animal Shelter 801-785-3442

**Engineering**

Engineer: Taggart Bowen  
56 North State Street  
Orem, Utah 84057  
Phone (801) 229-7316  
Fax (801) 229-7191

**Building Inspection**

56 North State Street  
Orem, Utah 84057  
Phone (801) 229-7185  
Fax (801) 229-7191  
Jim Yeoman

**Public Works Department**

1450 West 550 North  
Orem, Utah 84057  
Phone (801) 229-7506

**Gas**

Dominion Energy  
1640 North Mountain Springs Parkway  
Springville, Utah 84663  
Phone (801) 853-6585

**Electricity**

Rocky Mountain Power  
70 North 200 East  
American Fork, Utah 84003  
Phone (801) 756-1220  
Fax (801) 756-1274  
Mark Steele

**Telephone**

Qwest  
75 East 100 North  
Provo, Utah 84606  
Phone (801) 356-7050  
Cell (801) 473-3385  
Kasey Lunt

**Cable T.V.**

Comcast Cable Communications, Inc.  
1350 East Miller Avenue  
Salt Lake City, Utah 84106  
Phone (801) 485-0500  
Fax (801) 487-1887

**Developer:**

White Horse Land  
42 East 11000 South Suite 1A  
American Fork, Utah 84003

**Engineer:**

Dudley and Associates, Inc.  
353 East 1200 South  
Orem, Utah 84058  
801-224-1252  
todd@dudley-eng.com

**Site Data:**

Zone = R 1-8  
Total Area = 608,629 sq.ft. or 13.97 Acres  
Total number of Lots = 50



Sheet No.  
**C - 1.0**

UTILITY GENERAL NOTES

- All installation and materials shall, at a minimum, conform to the current City standards, specifications, and drawings.
- The contractor shall obtain a permit for utility construction at least 48 hours prior to construction.
- Contractor shall coordinate with all utility companies for installation requirements and specifications.
- All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service.
- The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans are based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
- Underground utilities shall be installed, inspected and approved before backfilling.
- Contractor shall notify the necessary City inspectors 72 hours before connecting to any existing utility.
- All fill material is to be in place and compacted before installation of proposed utilities.
- Existing utilities shall be verified in field prior to installation of any new lines, any discrepancies found are to be communicated to the design engineer prior to installation.
- All ductile and gray iron fittings shall be manufactured in accordance with the following AWWA standards: C-104 cement mortar lining, C-110 gray-iron and ductile iron joints. All fittings shall be seal coated with bituminous material. All fitting shall be 250 PSI minimum pressure rating.
- Manholes shall be precast conforming to ASTM C-478. Concrete bases shall be poured in place or precast.
- All utility pipes shall be bedded and backfilled in accordance with the detail drawings and site work specifications.
- Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations. Any existing manholes in unpaved areas shall be 6 inches above finished ground elevations with water tight lids.
- All concrete for encasements shall have a minimum 28 day compression strength at 4000 PSI.
- Site work contractor shall be responsible for all improvements to with 5 ft. of proposed building unless specified otherwise. Site work contractor shall coordinate with building contractor on all utility building entrance locations.
- In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of crossing, the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18-inch clearance meeting requirements of ANSI A21.10 or ANSI 21.11 (AWWA C-151) (CLASS 50).
- Drawings do not purport to show all existing utilities. It is the responsibility of the contractor to verify all existing utilities by means of 'blue stakes', pot-holing, and/or excavation.
- Contractor shall verify utility locations prior to subsurface work for light poles (boring etc.) and similar structures.
- See notice requirement under general project notes.
- The general contractor shall ensure that all sub-contractors have installed utilities in accordance with the specifications and design (line, grade, no sags, etc.) prior to scheduling close-out meetings with the city.
- All utilities shall be pre-tested prior to the city witnessing the test to ensure that said utilities will pass during city witness of testing.

SURVEY CONTROL NOTE:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Dudley & Associates ALTA Survey or Dudley & Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal and vertical control from the survey monuments and for verifying any additional control points shown provided by Dudley & Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or an electronic data provided by Dudley & Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property, that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

SANITARY SEWER GENERAL NOTES

- See this sheet for general project notes.
- All sanitary sewer construction shall be in conformance with the standards and specifications.
- All gravity sanitary sewer lines shall be in conformance with the standards and specifications.
- Sanitary sewer lines shall be SDR-35 PVC. Sewer line construction and materials shall conform to ASTM standards and specifications.
- Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, gROUT, and steel shims to adjust the manhole frame to the required final grade in conformance with the standard specifications. All frames shall be adjusted to final grade prior to the final lift of asphalt.
- All sanitary sewer main testing shall be accordance with the city standards and specifications. Copies of all test results shall provided to the engineer, the owner, and the governing authority prior to the start of the warranty period.
- Compaction of all trenches within the project site must be attained and compaction results submitted to the Public Works Department.
- The contractor is responsible for protecting all existing structures and improvements during installation of sanitary sewer line.
- The contractor is responsible for the following:
  - (A) Obtaining all required permits from the city or regulatory authorities at the contractors cost including permits required for work within the public right-of-way.
  - (B) Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinkler systems.
  - (C) Verification and protection of all existing utilities within the limits of construction.
  - (D) Providing as-built drawings to the City and engineer.
  - (E) All permitting, development, location, connecting and inspection.
  - (F) Verifying all standard details conform to the current standards and specifications.
  - (G) For obtaining and understanding all city, county, and state standards and specifications pertaining to the construction of sanitary sewer improvements.
  - (H) Reference architectural plans for all connections to building services and verify locations as shown.
- The contractor shall provide all materials necessary for construction or installation of all proposed improvements shown.
- The contractor shall pothole the existing sewer main and provide an as-built elevation of the main to the engineer prior to any new construction.
- Sanitary sewer pipes shall be bedded in accordance with standards.

STORM DRAIN GENERAL NOTES

- The contractor shall be responsible for the following:
  - (A) Obtaining all required permits from the city or regulatory authorities at the contractor's cost including permits required for work within the public right-of-way.
  - (B) Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinklers systems.
  - (C) Verification and protection of all existing utilities within the limits of construction.
  - (D) Providing as-built drawings to the city and engineer.
  - (E) All permitting, development, location, connection and inspection.
  - (F) Scheduling all required inspections.
- All storm drain construction shall be in conformance with standards, specifications, and plans.
- Distances for storm drains are the horizontal distances from center of manhole or inlet to center of manhole or inlet. Therefore, distances shown on plans are approximate and could vary due to vertical alignment.
- Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, gROUT, and steel shims to adjust the manhole frame to the required final grade in conformance with standards, specifications and plans. All frames shall be adjusted to final grade prior to the final lift of asphalt.
- Compaction of all trenches within the project site must be attained and compaction results submitted to the engineer prior to final acceptance.
- Storm drain pipes entering structures shall be grouted to assure connection at structure is watertight.
- All storm drain manholes in paved areas shall be flush with pavement and shall have traffic bearing lids. Manholes in unpaved areas shall be 6" above finished grade. All storm drain lids shall be labeled "storm drain".
- Contractors shall verify horizontal and vertical location of all existing storm drain structures, pipes, and all utilities prior to construction. Any discrepancies are to be reported to the design engineer prior to construction.
- Storm drains shall be bedded in accordance with the City standards.

GRADING PLAN GENERAL NOTES

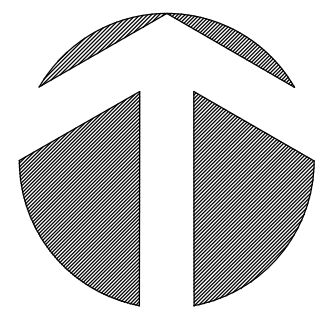
- Contours shown are for finished surface paving, sidewalk, slab, or ground adjustment to sub-grade is the contractor's responsibility.
- All disturbed areas that are un-surfaced or are not designated as landscape areas are to be seeded, fertilized, and watered until a healthy stand of grass is obtained.
- If during the overall grading process, conditions are encountered which could indicate an unidentified situation is present, the soils engineer shall be contacted for recommendations.
- Unless otherwise shown, no proposed slope shall exceed three (3) horizontal to one (1) vertical. All sloped areas must be protected from erosion.
- If stripped materials consisting of vegetation and organic materials are stockpiled on the site, topsoil may be placed to a height of five feet. Silt fence shall be placed around the base of the stockpile and the stockpile shall be seeded with native seed mix immediately after stripping operations are complete.
- On-site materials suitable for fill beneath drives and asphalt areas beyond 5' (five) of the building shall be compacted in accordance with guidelines presented in the soils report.
- Spot elevations shall take precedence over contours and slopes shown. The contractor shall notify the engineer of the spot elevations that do not appear to be consistent with the contours and slopes. Spot elevations and specific profile design shall be used for setting elevations of curb, gutter and utilities.
- Benchmark verification: Contractor shall use benchmarks and datums shown hereon to set project benchmark(s), by running level loop between at least two benchmarks, and shall provide survey notes of such to project engineer prior to commencing construction.
- All utilities (manholes, valve covers, cleanouts, vaults, boxes, etc.) shall be adjusted to final grade prior to the final lift of asphalt.
- All earth moving and placement operations shall be in conformance with the recommendations identified in the soils report. The contractor shall have a signed and sealed copy of the soils report on the site at all times.
- The contours shown in the detention/retention pond area represent final grade. The top 6 inches of material in the detention/retention pond and berm areas shall be top soil as specified in the project standards.
- Grades within asphalt areas shall be constructed to within 0.10 feet of the design grade. However, the contractor shall maintain positive drainage in all pavement areas and along all curbs. All curbs shall be built in accordance to the plan. Curbs or pavement areas which do not provide proper drainage must be removed and replaced at the contractor's expense.
- Spot elevations represent flow line or top of asphalt unless otherwise noted.
- The contractor is responsible for providing his own estimate of earthwork quantities.
- All landscaped islands shall have a crown of topsoil prior to landscaping. Refer to landscape plan for specifications.
- Where new curb and gutter is being constructed adjacent to existing asphalt or concrete pavement, the following shall apply: Prior to placement of any concrete, the contractor shall have a licensed surveyor verify the grade and cross slope of the curb and gutter forms. The contractor shall submit the slopes and grades to the engineer immediately of any section which does not conform to the design or typical cross section. The contractor shall be solely responsible for curb and gutter pours without the approval of the engineer.
- The earthwork for all building foundations and slabs shall be in accordance with architectural building plans and specifications.
- Pre-cast structures may be used at contractor's option.
- Existing drainage structures to be inspected and repaired as needed, and existing pipes to be cleaned out to remove dirt and debris.
- Existing grade contour intervals shown at 1 foot intervals unless otherwise noted on the plan.
- Proposed grade contour intervals shown at 1 foot intervals unless otherwise noted on the plan.
- If any existing structures to remain are damaged during construction, it shall be the contractor's responsibility to repair and/or replace the existing structure as necessary to return it to existing conditions or better.
- The contractor shall adhere to all terms & conditions as outlined in the general permit for storm water discharge associated with construction activities.
- Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade.
- Contractor shall assure positive drainage away from buildings for all natural and paved areas.
- Topographical information taken from a topographic survey by (Dudley & Associates). If contractor does not accept existing topography as shown on the plans, without exception, he shall have made, at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
- All unsurfaced areas disturbed by grading operation shall receive 4 inches of topsoil. Contractor shall apply stabilization fabric to all slopes 3H:1V or steeper. Contractor shall place sod or hydroseed to disturbed areas in accordance with city/county specifications and maintain until a healthy stand of grass is obtained.
- Construction shall comply with all applicable governing codes and be constructed to same.
- Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
- Site work shall meet or exceed site specifications.
- All concrete to have a minimum 28 day compression strength of 4000 PSI.
- All drainage from the subject site is to be contained on-site. No water shall be allowed to flow onto adjacent properties without drainage easements in place.
- The Landscape contractor is to refer to the grading and drainage plan for the placement of drainage swales and LID facilities and ensure the design is maintained.

GENERAL NOTES

- All materials, workmanship, and construction of site improvements shall meet or exceed specifications set forth in the City Public Works Department, Regulations and applicable state and federal regulations (including ADA guidelines). Where there is a conflict between these plans and the specifications, or any applicable standards, the higher quality standard shall apply. All work with public R.O.W. or easements shall be inspected and approved by the City Public Works Inspector and/or UDOT where applicable. Inspection services and construction certification to be provided by engineer of record.
- The contractor is specifically cautioned that the location and/or elevation of existing utilities, as shown on these plans, is based on records of the various utility companies and where possible, measurements taken in the field, the information is not to be relied upon as being exact or complete. The contractor must call the local utility location center at least 48 hours before any excavation to requested exact field locations of the utilities. Prior to construction, the contractor shall verify pertinent locations and elevations, especially at the connection points and at potential utility conflicts. It shall be the responsibility of the contractor to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
- The contractor shall be responsible for obtaining all necessary permits from all applicable agencies. The contractor shall notify the City Public Works Inspector at least 48 hours prior to the start of any earth disturbing activity, or construction on any and all public improvements.
- The contractor shall coordinate with City and all utility companies involved with regard to relocations or adjustments of existing utilities during construction and to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The contractor shall be responsible for contacting all parties affected by any disruption of any utility service.
- The contractor shall have one (1) signed copy of the approved plans, one (1) copy of the appropriated standards and specifications, and a copy of any permits and extension agreements needed for the job, on-site at all times.
- The contractor shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control and security.
- If during the construction process, conditions are encountered by the contractor, his subcontractors, or other affected parties which could indicate a situation that is not identified in the plans or specifications, the contractor shall contact the engineer immediately.
- All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
- The contractor shall submit a traffic control plan in accordance with the manual on uniform traffic control devices to the appropriate right-of-way authority (city, county or state) for approval, prior to any construction activities within, or affecting the right-of-way. The contractor shall be responsible for providing any and all traffic control devices as may be required by the construction activities.
- The contractor is responsible for providing all labor and materials necessary for the completion of the intended improvements shown on these drawings or designated to be provided, installed, constructed, removed and relocated unless specifically noted otherwise.
- The contractor shall be responsible for keeping roadways free and clear of all construction debris and dirt tracked from the site.
- The contractor shall be responsible for recording as-built information on a set of record drawings kept at the construction site, and available to the City Public Works Inspector at all times.
- Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the consultant engineer for clarification and annotate the dimension on the as-built record drawings.
- All structural erosion control measures shall be installed, at the limits of construction, prior to any other ground-disturbing activity. All erosion control measures shall be maintained in good repair by the contractor, until such time as the entire disturbed areas are stabilized with hard surface or landscaping.
- The contractor shall sequence installation of utilities in such a manner as to minimize potential utility conflicts, in general, storm sewer and sanitary sewer should be constructed prior to installation of water lines and dry utilities.
- All work within the public right-of-way is subject to the jurisdiction of the City Engineering Department Standard Details Specifications and Utah Department of Transportation Standard Details and Specifications.
- The contractor shall submit a phasing plan for all work in all public roads and R.O.W.'s to the City before beginning any work on these streets. Contractor shall begin work only after City approves the phasing plan, and a preconstruction meeting is held between the city, the engineer and the contractor.
- All operations conducted on the premises, including the warming up, repair, arrival, departure, or running of trucks, earthmoving equipment, construction equipment and any other associated equipment shall be limited to the period between 7:00 a.m. and 10:00 p.m. everyday, unless otherwise approved by the city.
- It is the responsibility of the contractor to coordinate all utility relocations consistent with the contractor's schedule for this project. Whether shown or not shown as it relates to the construction activities contemplated in these plans.
- Contractor shall be responsible for obtaining all temporary power and water to the site, paying all fees excluding top fees and system development fees, referring to the geotechnical report prepared by (EarthTec Testing and Engineering P.C.)
- In general, limits of site work are up to (and excluding) constructing sidewalks.

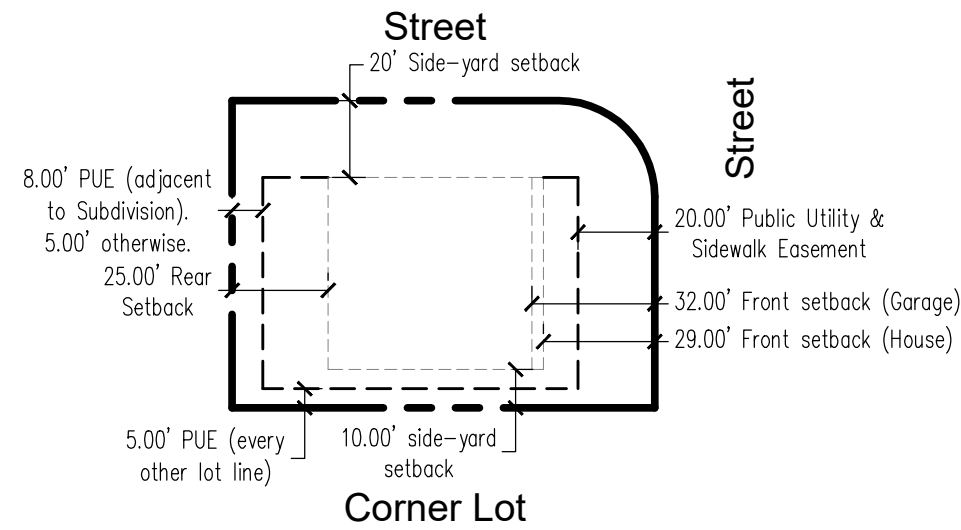
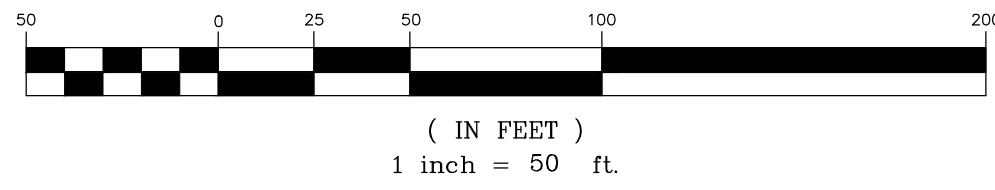
**Any and All damage to City owned roads are the responsibility of the contractor to repair. Each cut in the roadway (including cores) is subject to road cut fees. Install asphalt according to the City Standard Details (see details M-1, M-10, M-11, RW-14, and RW-15).**





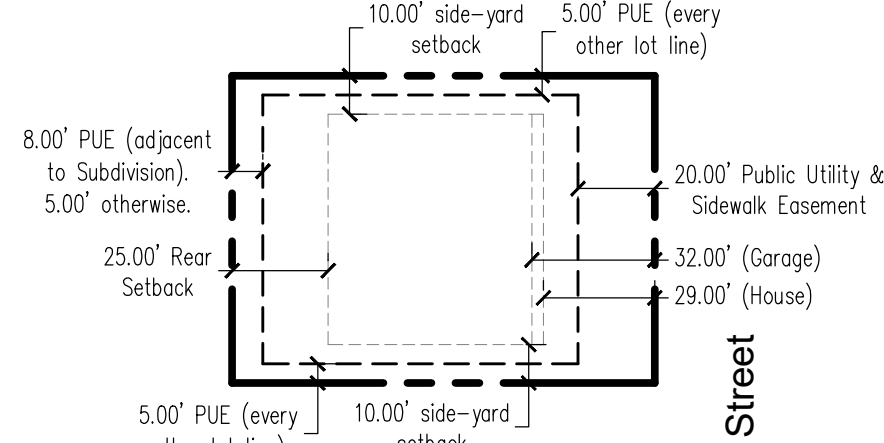
NORTH  
1" = 50'

GRAPHIC SCALE



Corner Lot

PUE requirements:  
20' wide adjacent to Public ROW with a buffered sidewalk.  
5' wide on both sides of side lot lines, alternating every other common side lot line.  
5' wide along back lot line of lot, except where lot line is along outer subd. boundary, in which 8' of width is required.



Interior Lot

KEYED NOTES

- 1 Existing 24" curb and gutter to remain.
- 2 Existing Sidewalk to remain undisturbed.
- 3 Const. 5' concrete sidewalk.
- 4 Const. 24" curb and gutter. (carry curb)
- 5 Const. ADA ramp
- 6 Const. 10' wide concrete sidewalk. with 7' wide buffered sidewalk.
- 7 48" Concrete Cross Gutter (per Provo City specifications)
- 8 6" Sidewalk, 7" Planter strip, 24" curb and gutter, as per Provo City specifications.
- 9 20" Raised Concrete traffic control island. (coordinate with Provo City). Follow UDOT standard type B3 curb.
- 10 7' Plowable end sections.

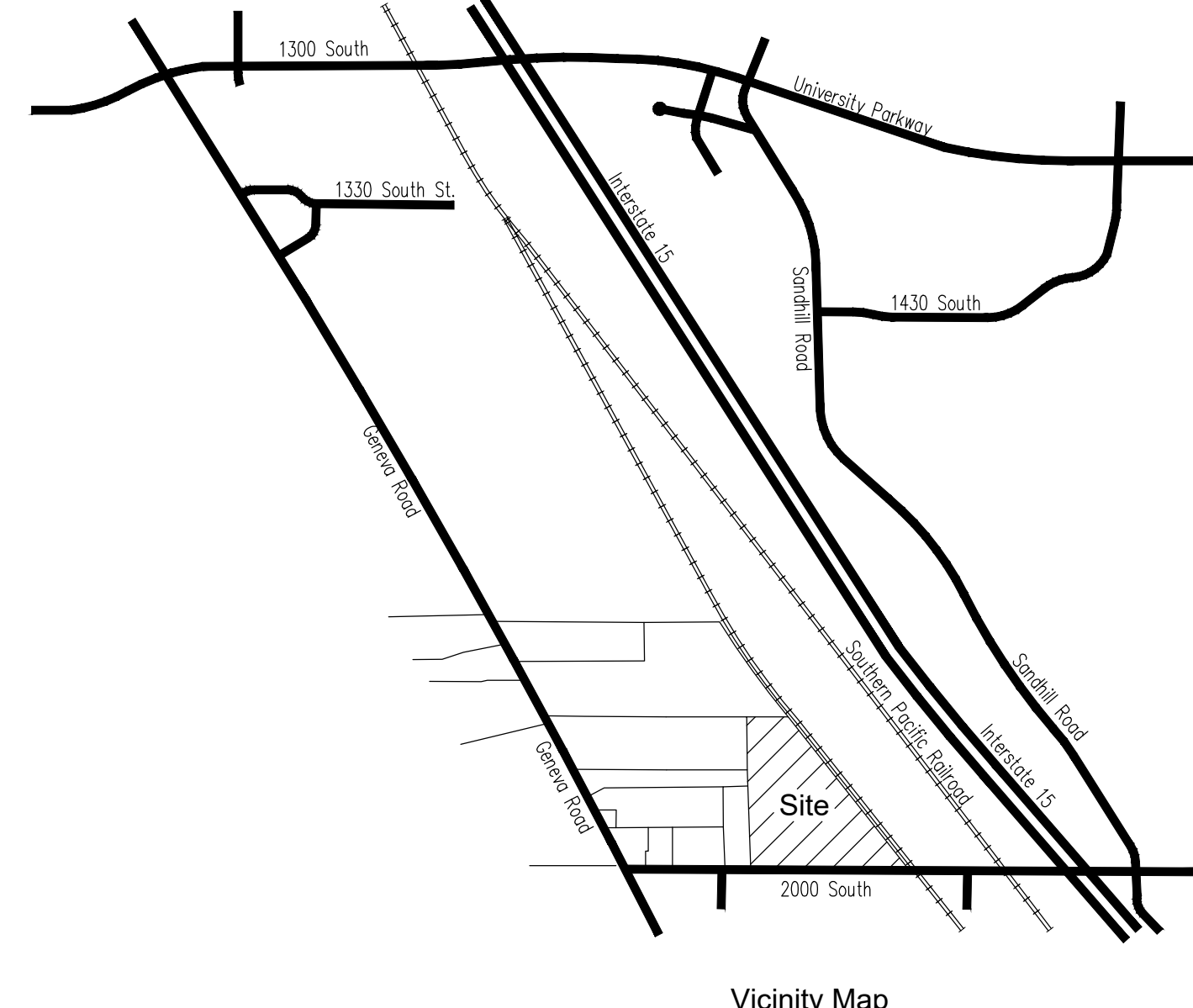
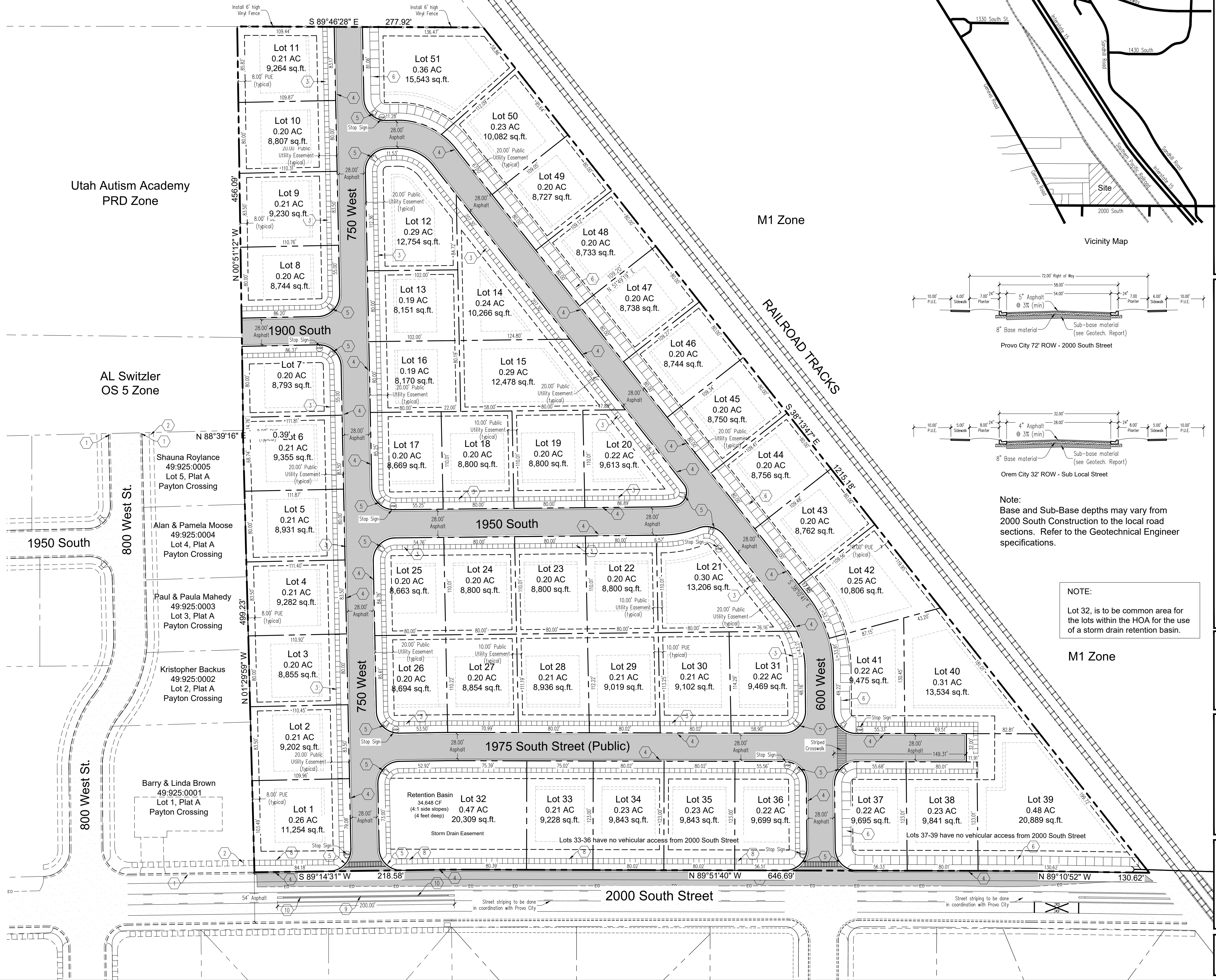
Refer to the Utility Plan for street light locations.

CAUTION!!! Notice to contractors

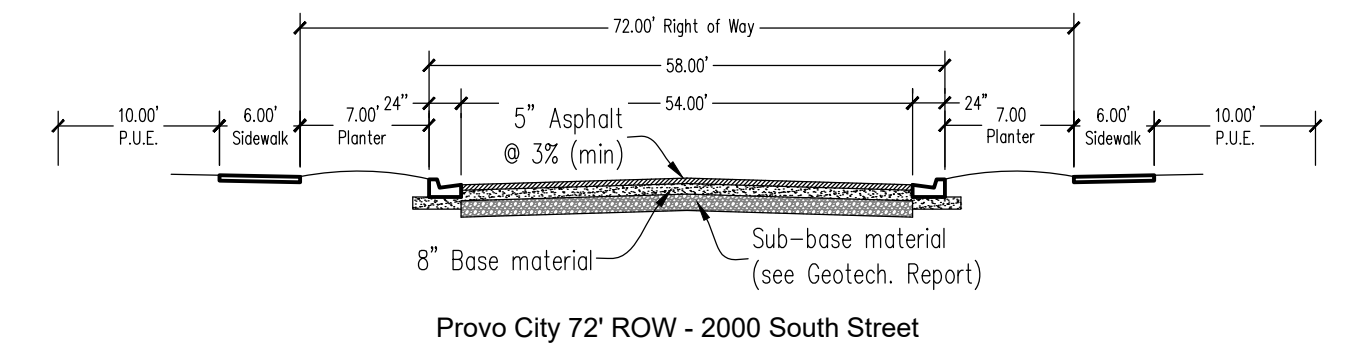
The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field. The information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to request the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.

**Know what's below. 811**  
**Call 811 before you dig.**  
**BLUE STAKES OF UTAH**  
 UTILITY NOTIFICATION CENTER, INC.  
 www.bluestakes.org  
 1-800-662-4111

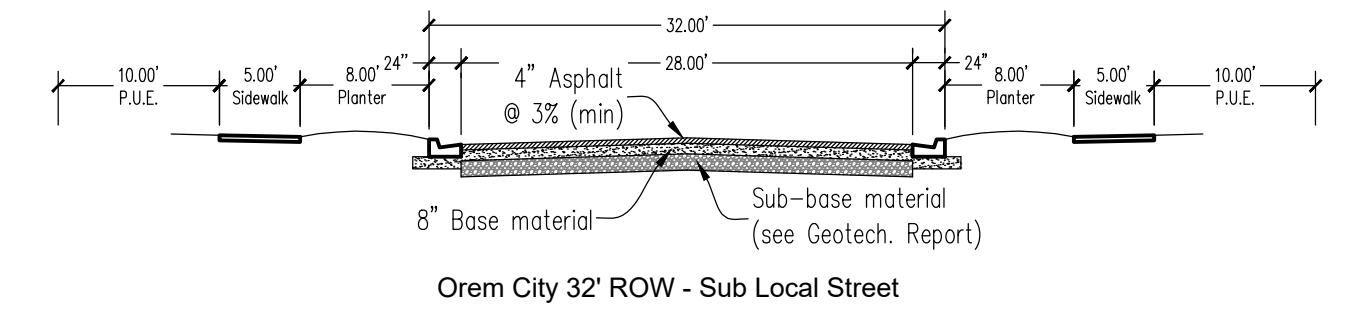
Cherry Hill Dairy Farm  
OS 5 Zone



Vicinity Map



Provo City 72' ROW - 2000 South Street



Orem City 32' ROW - Sub Local Street

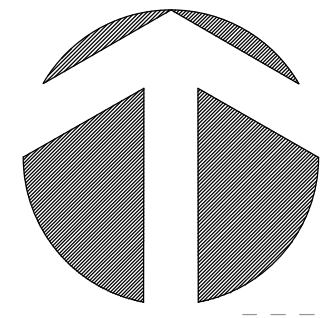
NOTE:  
Base and Sub-Base depths may vary from 2000 South Construction to the local road sections. Refer to the Geotechnical Engineer specifications.

NOTE:  
Lot 32, is to be common area for the lots within the HOA for the use of a storm drain retention basin.

**DUDLEY AND ASSOCIATES**  
ENGINEERS PLANNERS SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

Whitestone Estates  
**Preliminary Plat**  
Utah  
Orem

Revisions
Date 3-11-2026
Scale 1" = 50'
By TD
Tracing No. L - 14886
Sheet No. <b>C - 2.0</b>



NORTH  
1" = 50'

Cherry Hill Dairy Farm  
OS 5 Zone

Utah Autism Academy  
PRD Zone

AL Switzler  
OS 5 Zone

Shauna Roylance  
49:925:0005  
Lot 5, Plat A  
Payton Crossing

Alan & Pamela Moose  
49:925:0004  
Lot 4, Plat A  
Payton Crossing

Paul & Paula Mahedy  
49:925:0003  
Lot 3, Plat A  
Payton Crossing

Kristopher Backus  
49:925:0002  
Lot 2, Plat A  
Payton Crossing

Barry & Linda Brown  
49:925:0001  
Lot 1, Plat A  
Payton Crossing

CURB TO BE  
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Storm Drain Easement

M1 Zone

M1 Zone

RAILROAD TRACKS

1975 South Street (Public)

2000 South Street

11

10

9

8

1900 South

7

6

5

1950 South

4

3

2

1975 South Street (Public)

1

51

50

49

48

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46

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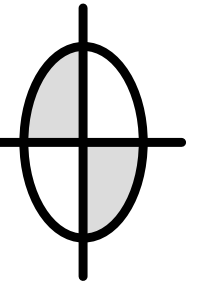
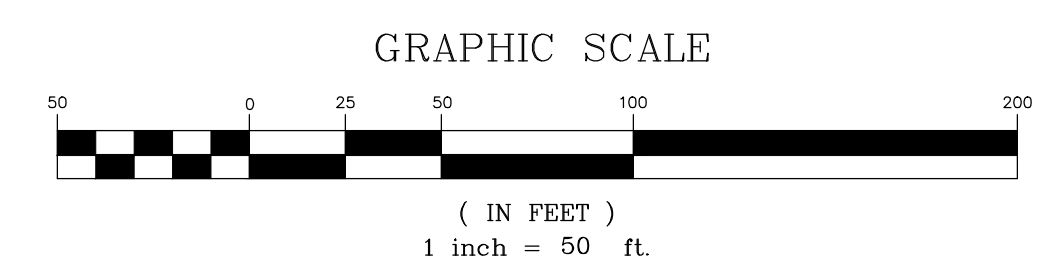
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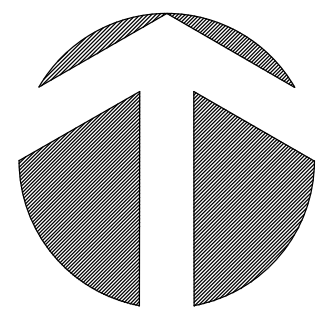


DUDLEY AND ASSOCIATES  
ENGINEERS PLANNERS SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

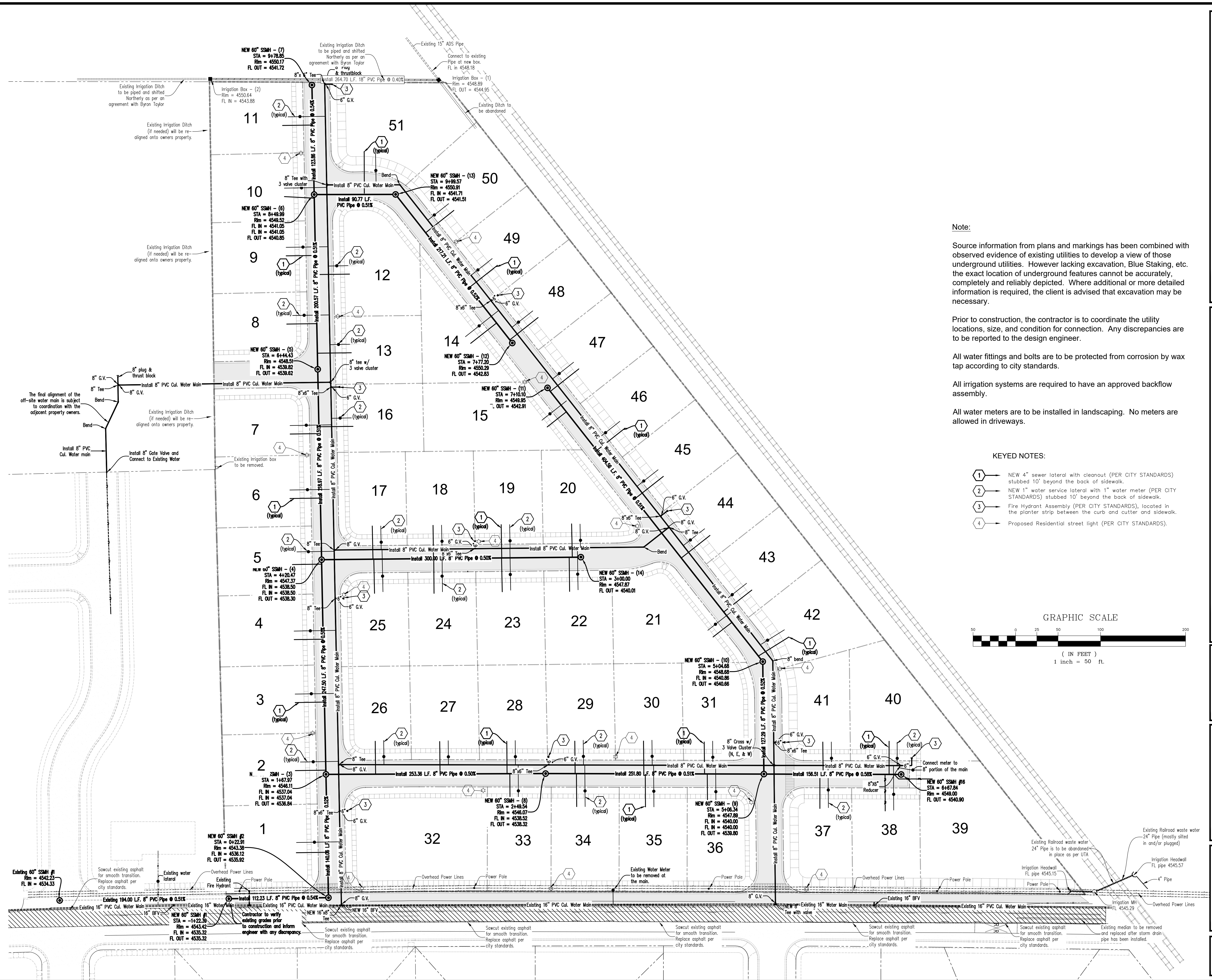
Whitestone Subdivision  
Parking Plan

Date  
3-11-2026  
Scale  
1" = 50'  
By  
TD  
Tracing No.  
L - 14886

Sheet No.  
C - 2.1



NORTH  
1" = 50'



Note:  
Source information from plans and markings has been combined with observed evidence of existing utilities to develop a view of those underground utilities. However lacking excavation, Blue Staking, etc. the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

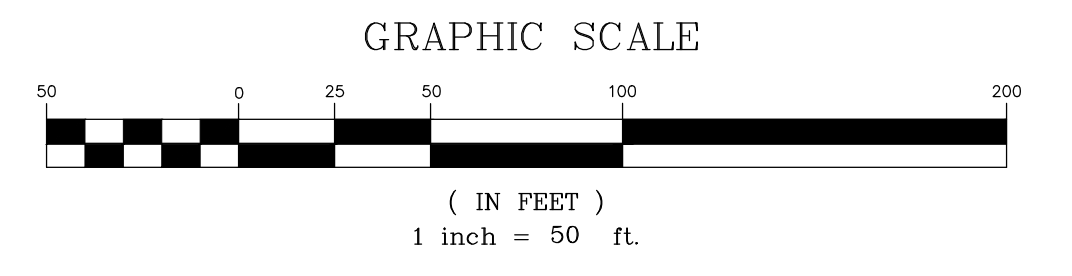
Prior to construction, the contractor is to coordinate the utility locations, size, and condition for connection. Any discrepancies are to be reported to the design engineer.

All water fittings and bolts are to be protected from corrosion by wax tap according to city standards.

All irrigation systems are required to have an approved backflow assembly.

All water meters are to be installed in landscaping. No meters are allowed in driveways.

- KEYED NOTES:
- 1 NEW 4" sewer lateral with cleanout (PER CITY STANDARDS) stubbed 10' beyond the back of sidewalk.
  - 2 NEW 1" water service lateral with 1" water meter (PER CITY STANDARDS) stubbed 10' beyond the back of sidewalk.
  - 3 Fire Hydrant Assembly (PER CITY STANDARDS), located in the planter strip between the curb and gutter and sidewalk.
  - 4 Proposed Residential street light (PER CITY STANDARDS).



CAUTION!!! Notice to contractors

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**Know what's below. 811**

**Call 811 before you dig.**

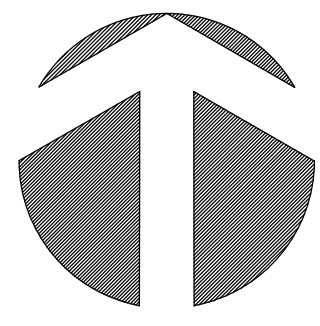
BLUE STAKES OF UTAH  
UTILITY NOTIFICATION CENTER, INC.  
www.bluestakes.org  
1-800-662-4111

**DUDLEY AND ASSOCIATES**  
ENGINEERS PLANNERS SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

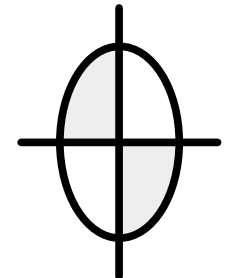
Whitestone Estates  
**Utility Plan**

Utah  
Orem

Revisions
Date 3-11-2026
Scale 1" = 50'
By TD
Tracing No. L - 14886
Sheet No. C - 3



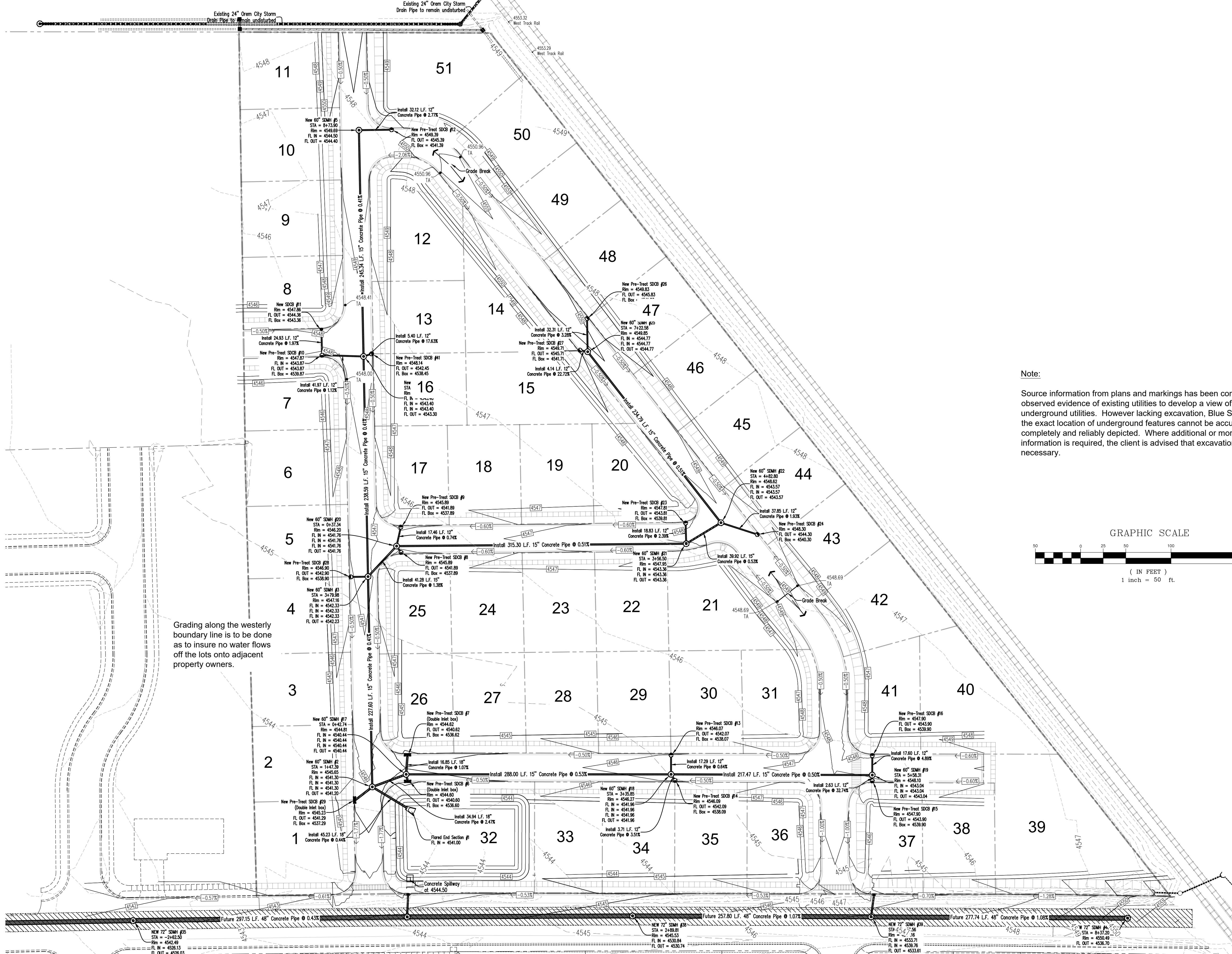
NORTH  
1" = 50'



DUDLEY AND ASSOCIATES  
ENGINEERS PLANNERS SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

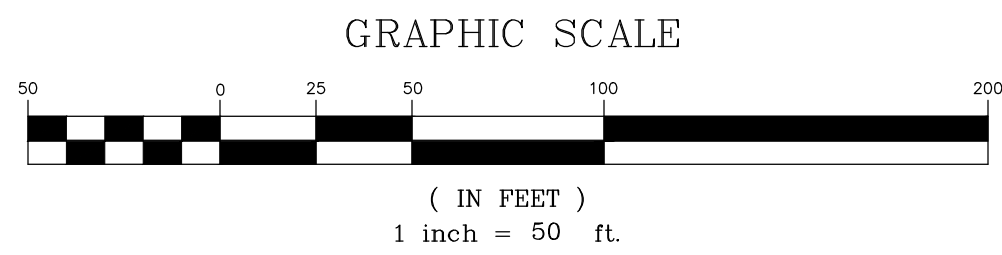
Whitestone Estates  
Grading and Drainage Plan  
Utah  
Orem

Revisions
Date 3-11-2026
Scale 1" = 50'
By TD
Tracing No. L - 14886
Sheet No. C - 4



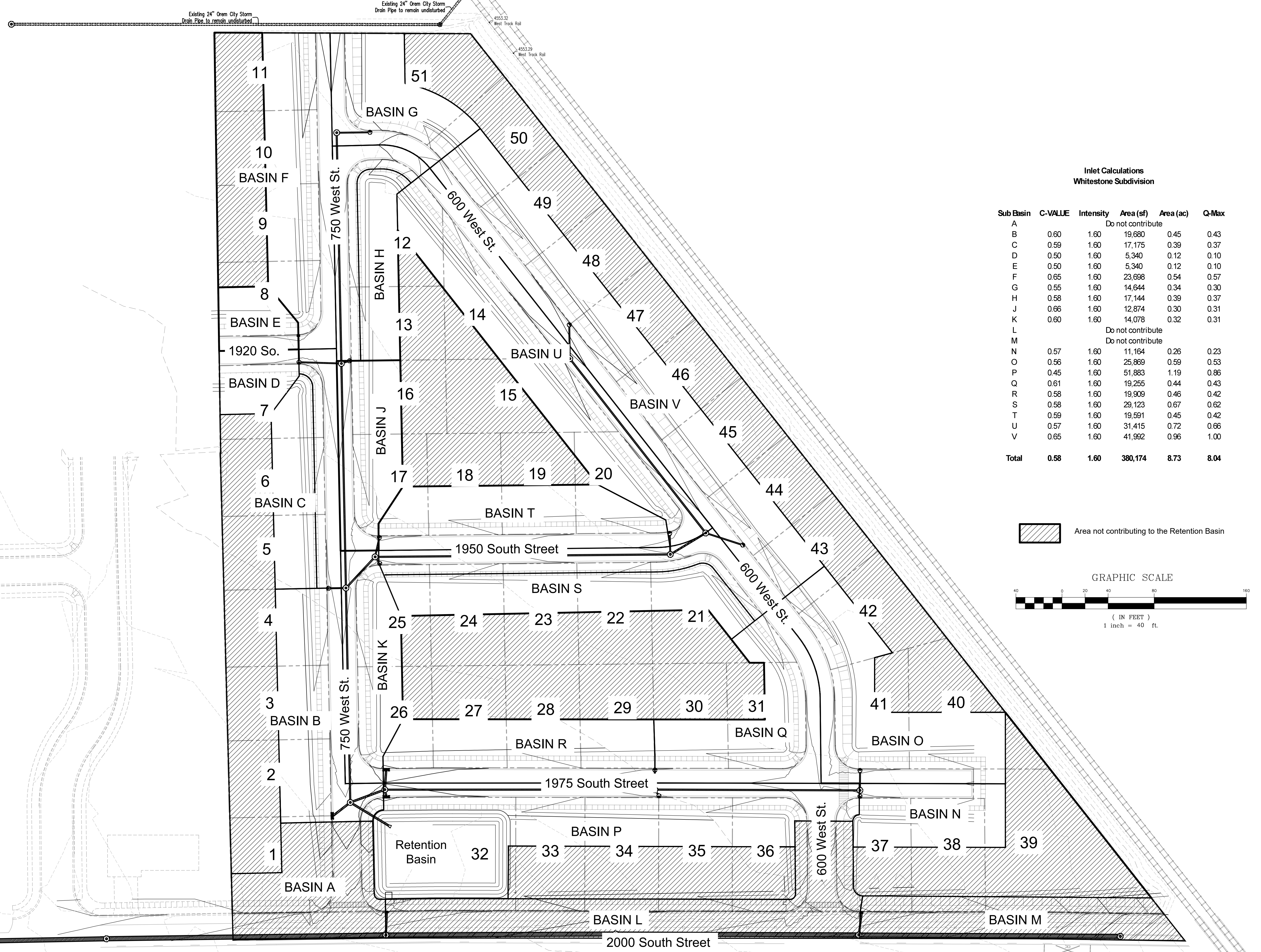
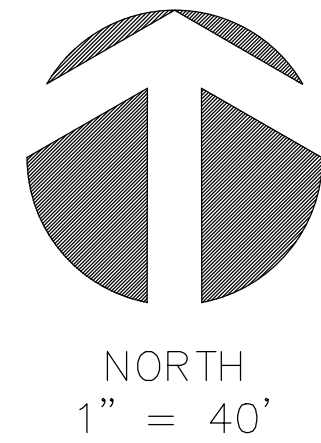
Grading along the westerly boundary line is to be done as to insure no water flows off the lots onto adjacent property owners.

Note:  
Source information from plans and markings has been combined with observed evidence of existing utilities to develop a view of those underground utilities. However lacking excavation, Blue Staking, etc. the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary.



**CAUTION!!! Notice to contractors**  
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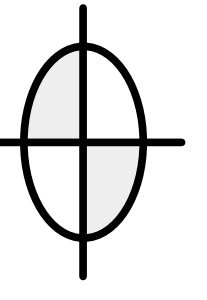
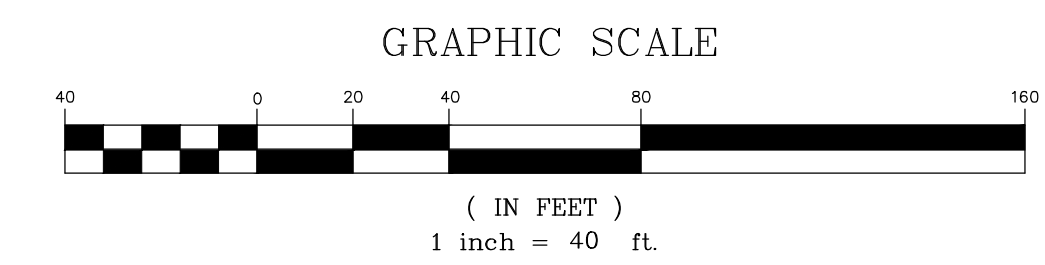
**Know what's below. 811**  
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**Inlet Calculations**  
Whitestone Subdivision

Sub Basin	C-VALUE	Intensity	Area (sf)	Area (ac)	Q-Max
A			Do not contribute		
B	0.60	1.60	19,680	0.45	0.43
C	0.59	1.60	17,175	0.39	0.37
D	0.50	1.60	5,340	0.12	0.10
E	0.50	1.60	5,340	0.12	0.10
F	0.65	1.60	23,698	0.54	0.57
G	0.55	1.60	14,644	0.34	0.30
H	0.58	1.60	17,144	0.39	0.37
J	0.66	1.60	12,874	0.30	0.31
K	0.60	1.60	14,078	0.32	0.31
L			Do not contribute		
M			Do not contribute		
N	0.57	1.60	11,164	0.26	0.23
O	0.56	1.60	25,869	0.59	0.53
P	0.45	1.60	51,883	1.19	0.86
Q	0.61	1.60	19,255	0.44	0.43
R	0.58	1.60	19,909	0.46	0.42
S	0.58	1.60	29,123	0.67	0.62
T	0.59	1.60	19,591	0.45	0.42
U	0.57	1.60	31,415	0.72	0.66
V	0.65	1.60	41,992	0.96	1.00
<b>Total</b>	<b>0.58</b>	<b>1.60</b>	<b>380,174</b>	<b>8.73</b>	<b>8.04</b>

Area not contributing to the Retention Basin



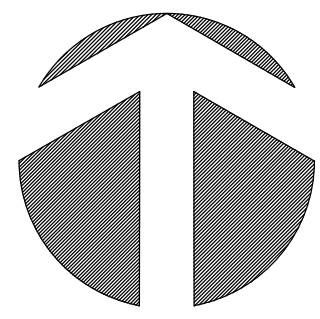
**DUDLEY AND ASSOCIATES**  
ENGINEERS PLANNERS SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

Whitestone Subdivision  
**Sub-Basin Diagram**  
Utah  
Orem

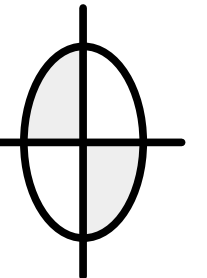
Revisions
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Date	3-11-2026
Scale	1" = 40'
By	TD
Tracing No.	L - 14886

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NORTH  
1" = 20'



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Utah

Detention Basin Design

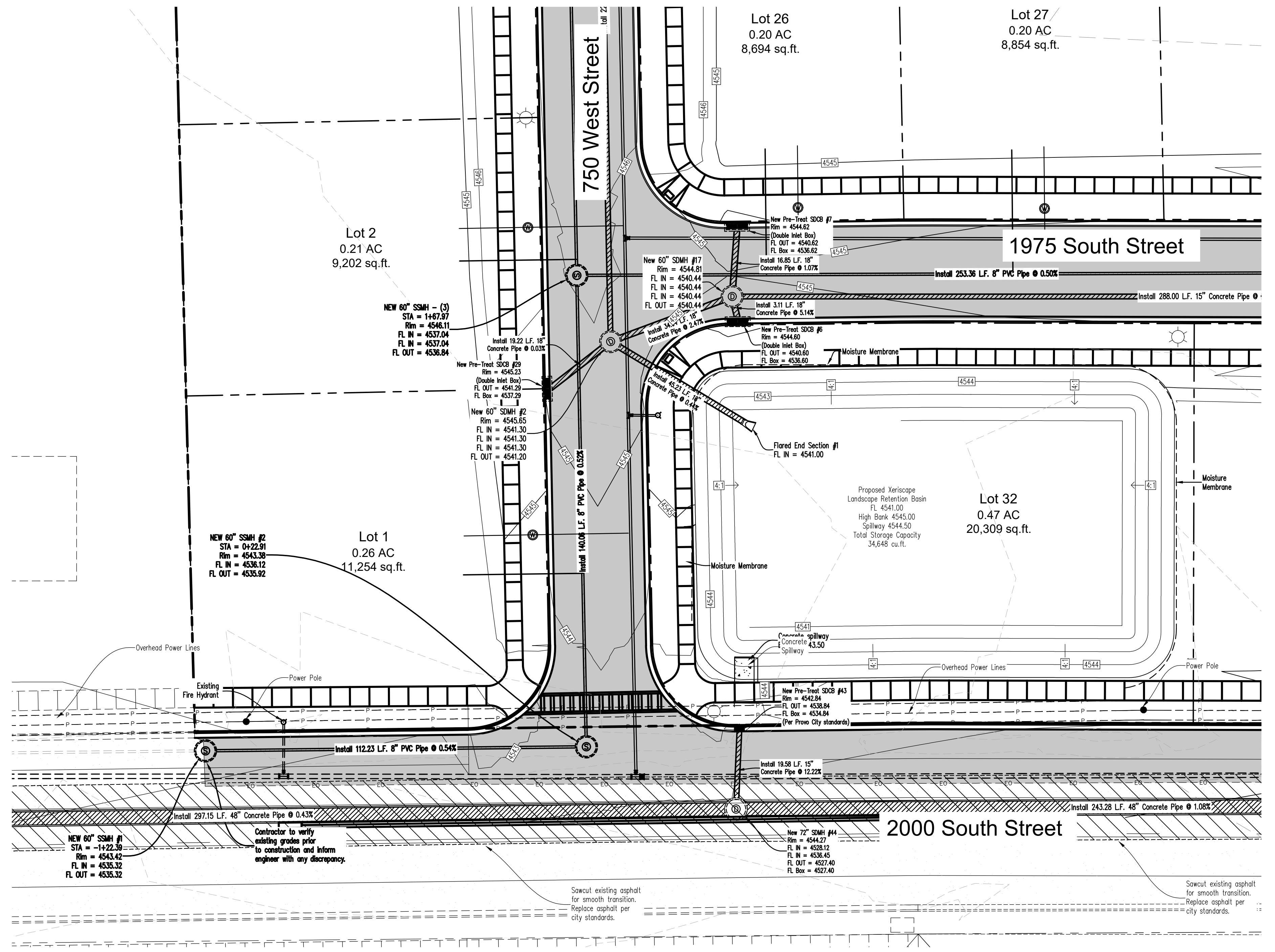
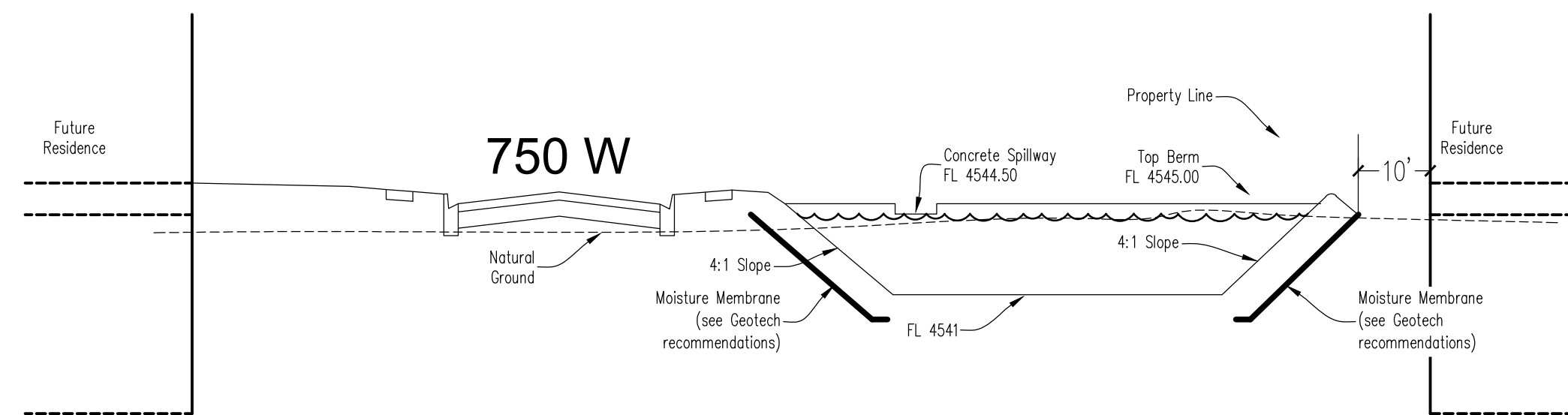
Whitestone Estates

Orem,

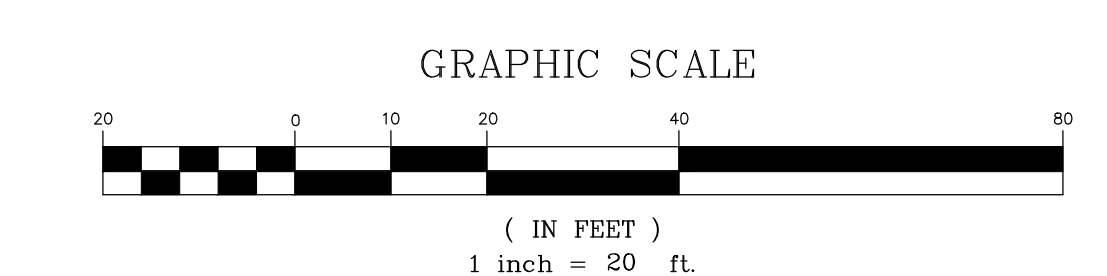
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Tracing No.  
L - 14886

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C - 7



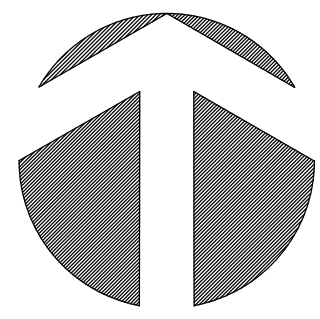
2000 South Street



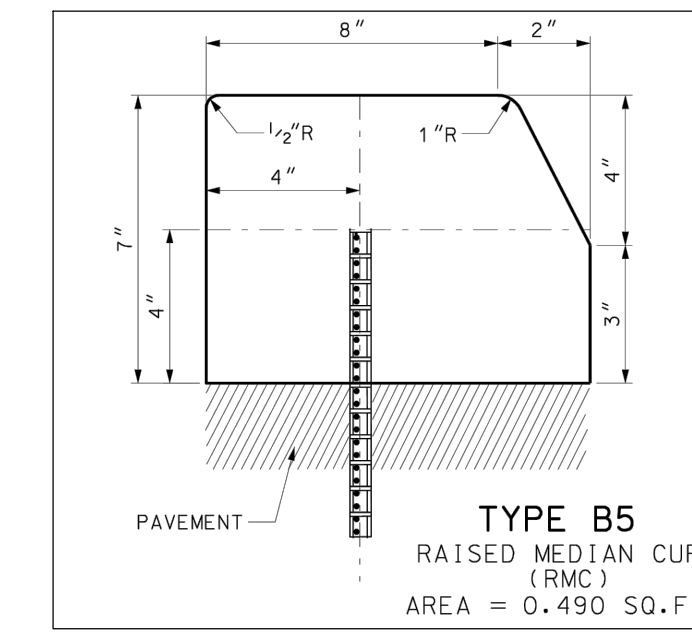
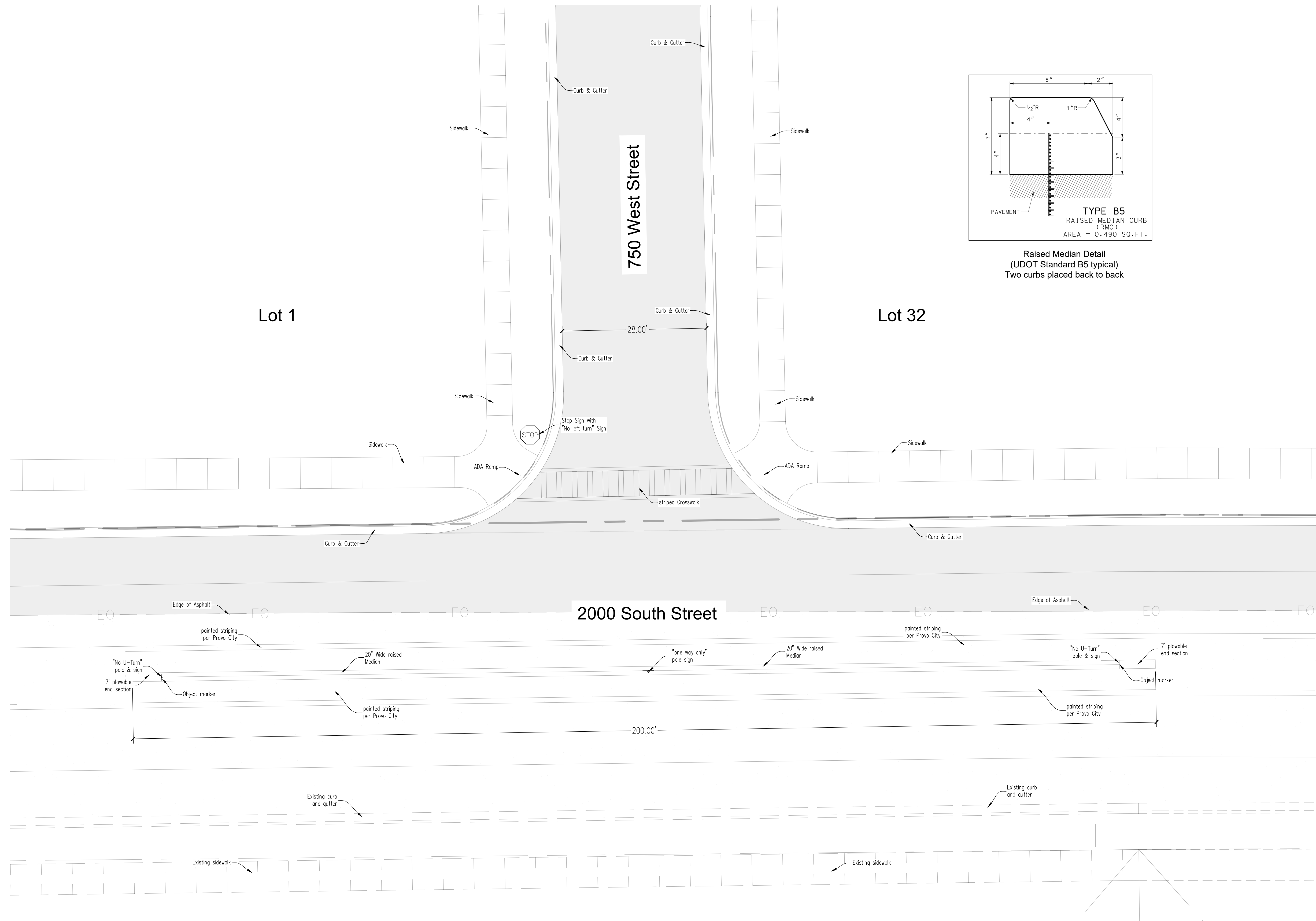
Contractor to verify existing grades prior to construction and inform engineer with any discrepancy.

Sawcut existing asphalt for smooth transition. Replace asphalt per city standards.

Sawcut existing asphalt for smooth transition. Replace asphalt per city standards.



NORTH  
1" = 10'



RAISED MEDIAN CURB (RMC)  
TYPE B5  
AREA = 0.490 SQ. FT.  
Raised Median Detail  
(UDOT Standard B5 typical)  
Two curbs placed back to back

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Whitestone Subdivision  
**Traffic Control Plan**

Utah  
Orem

Revisions
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Date	3-11-2026
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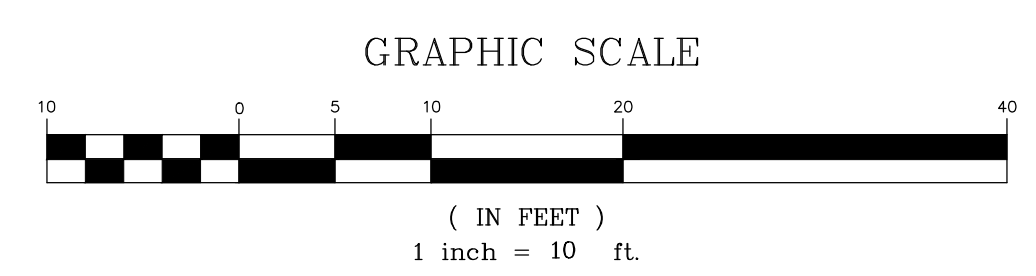
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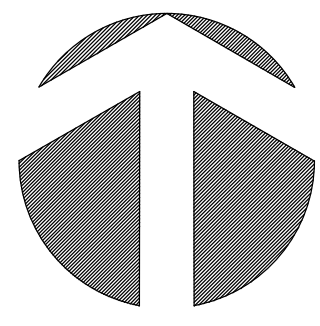
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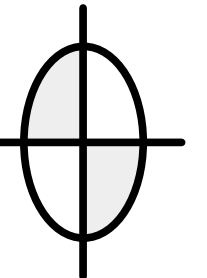
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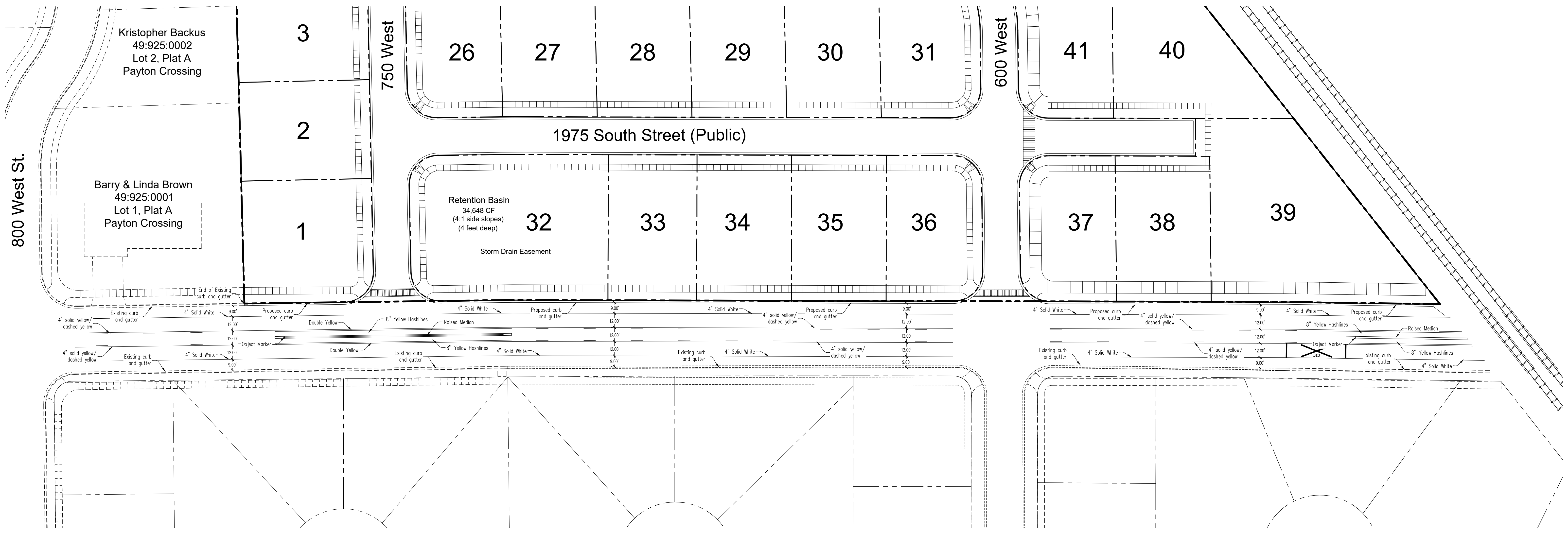




NORTH  
1" = 40'



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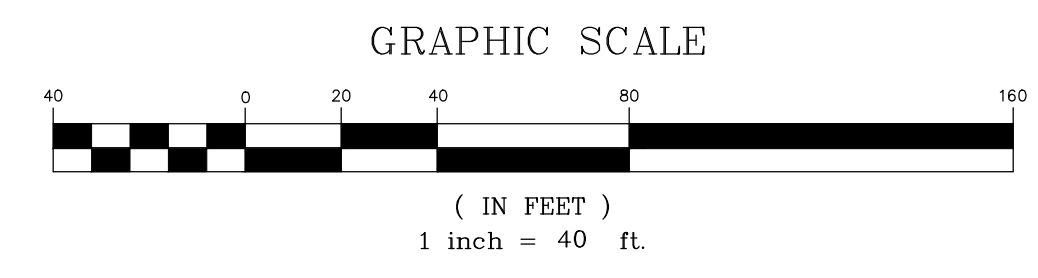
Whitestone Subdivision  
**2000 North Striping Plan**  
Utah  
Provo

Revisions

No.	Description

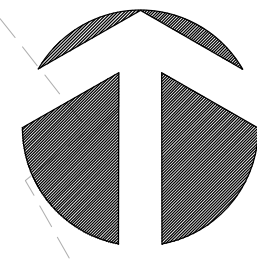
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1" = 40'  
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TD  
Tracing No.  
L - 14886

Sheet No.  
**ST - 1**





800 West Street



NORTH  
1" = 20'

Lot 1  
0.26 AC  
11,254 sq.ft.

750 West Street

Lot 32  
0.47 AC  
20,309 sq.ft.

Lot 33  
0.21 AC  
9,228 sq.ft.

Lot 34  
0.23 AC  
9,843 sq.ft.

2000 South Street

2000 South Street

2000 South Street Improvement Plan

Whitestone Estates

Utah

Orem,

Revisions

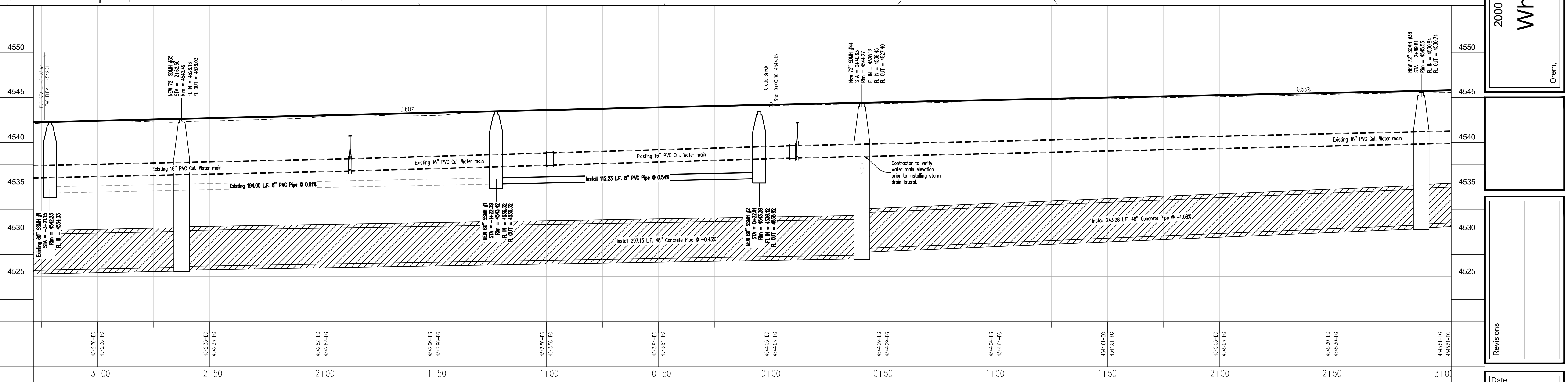
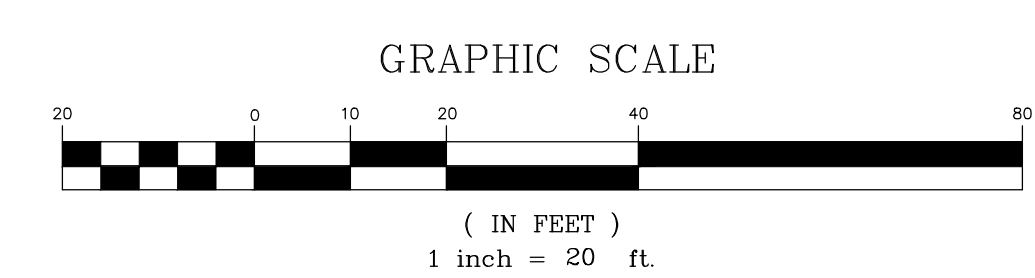
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Sheet No.  
P - 2

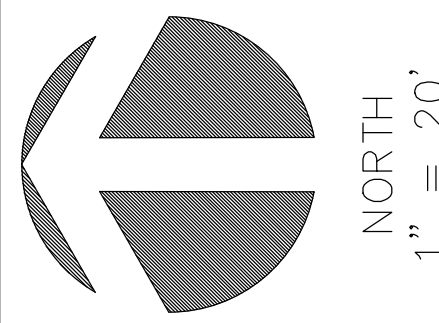
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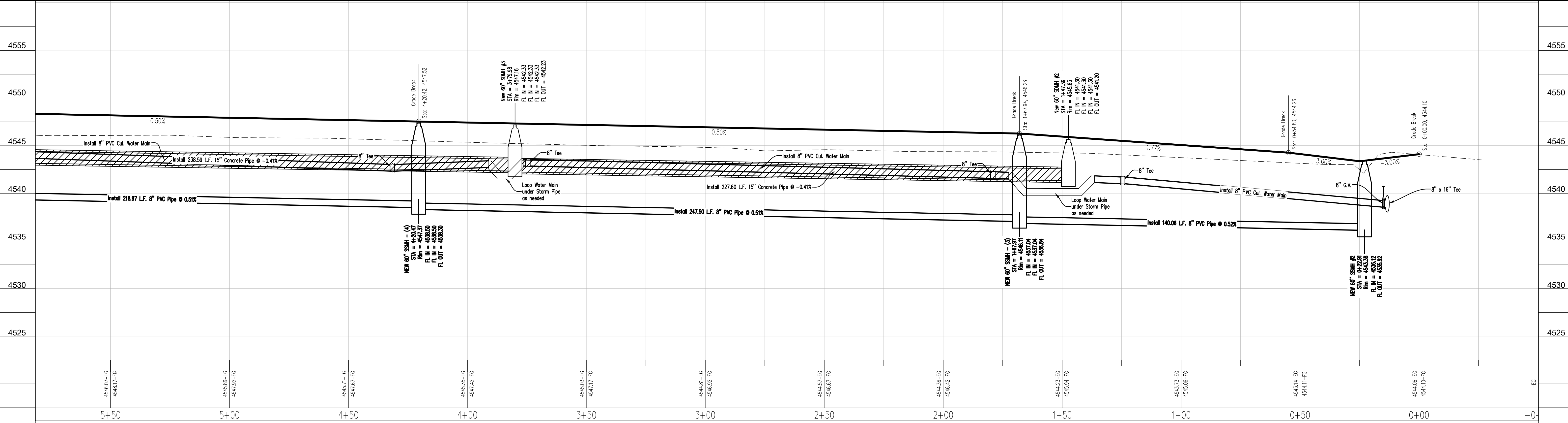
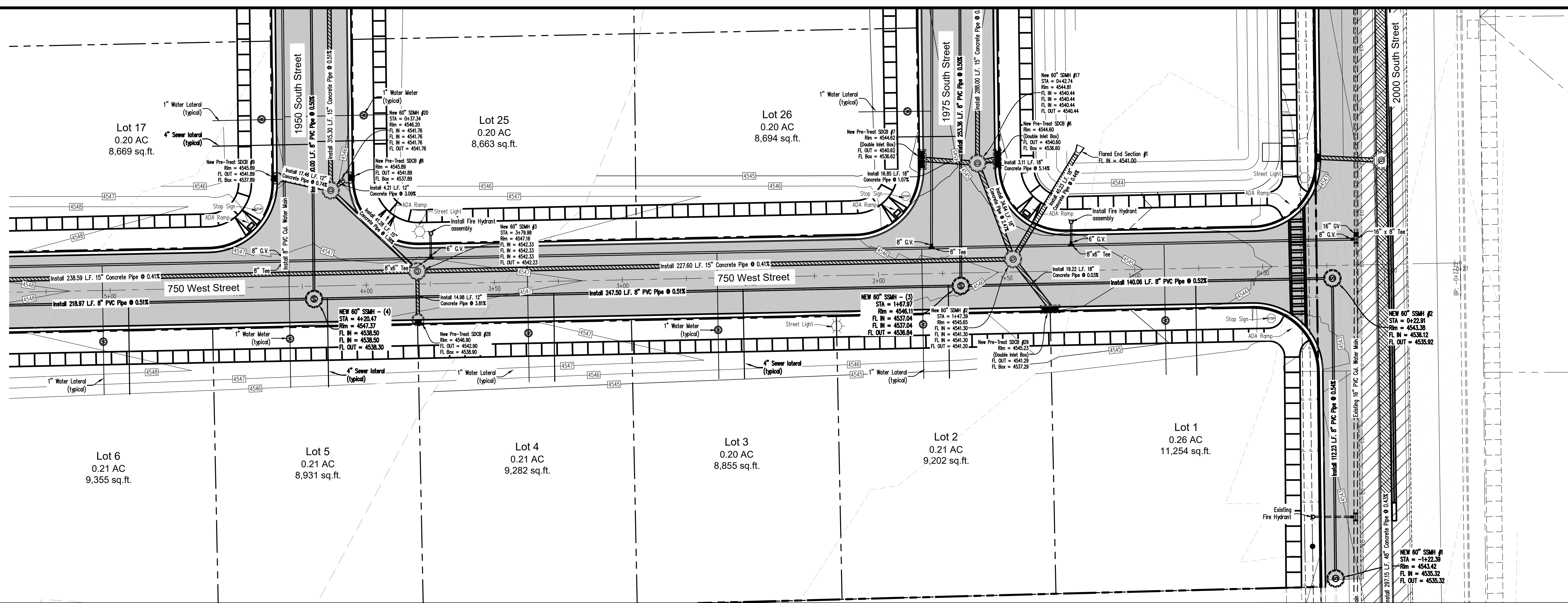
**NOTE:**  
 The New 48" Storm Drain Pipe and New 72" Storm Drain Manholes in 2000 South to be designed and installed by others. New Pre-Treatment Storm Drain Catch Basins and 15" Storm Drain Pipe Laterals to be installed by Whitestone Estates Development.







NORTH  
1" = 20'



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Utah  
750 West Street Improvement Plan  
**Whitestone Estates**  
Orem,

Revisions

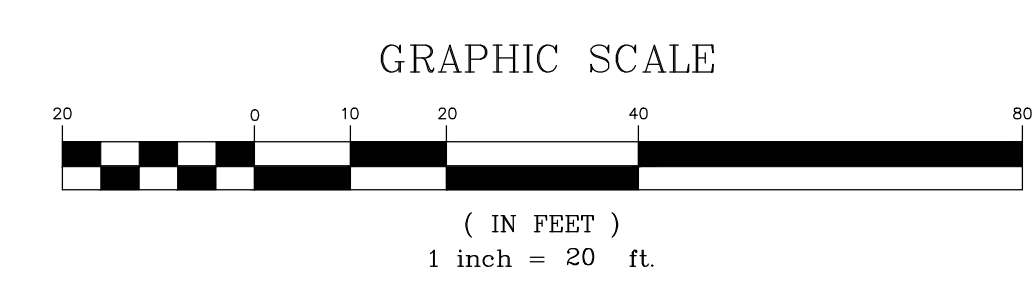
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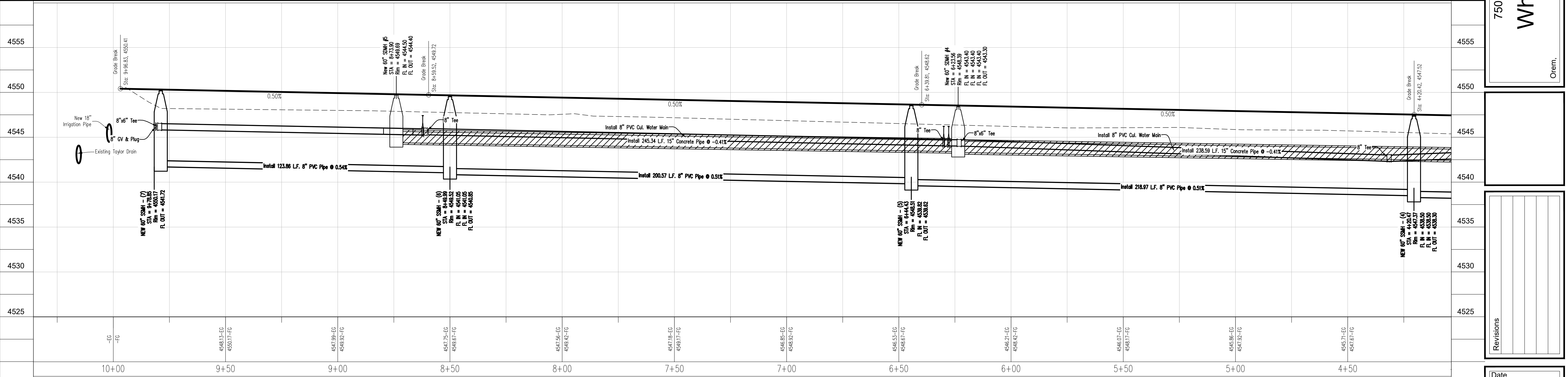
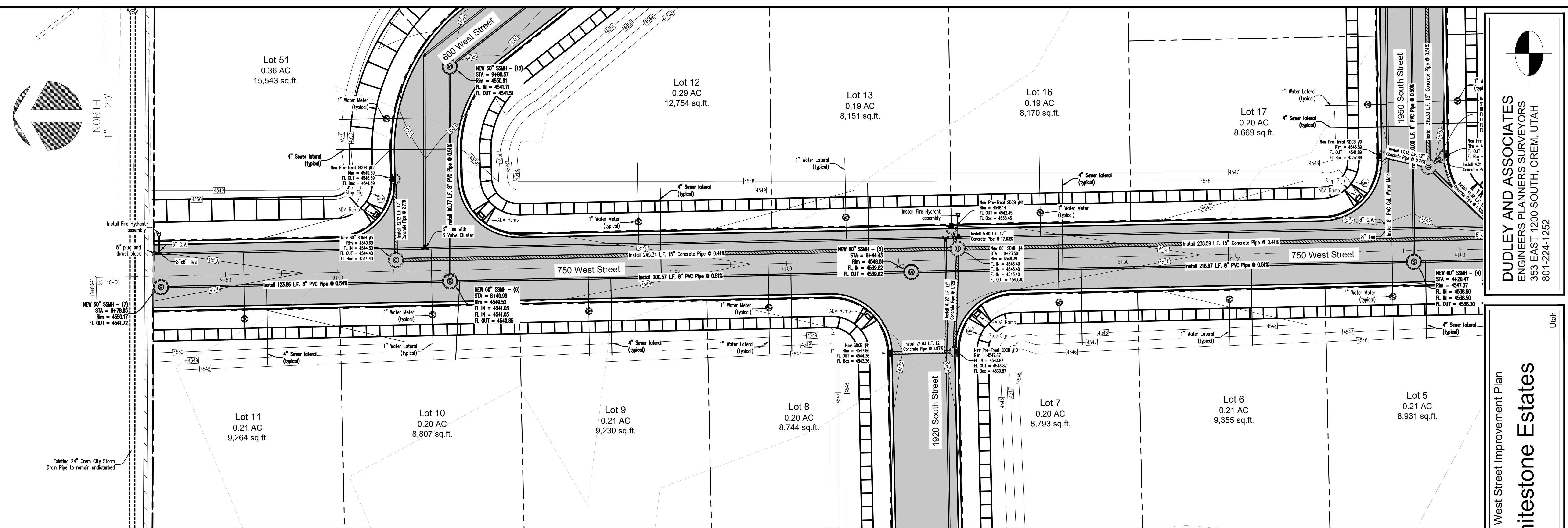
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Scale  
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Sheet No.  
**P - 4**

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**GRAPHIC SCALE**

( IN FEET )  
1 inch = 20 ft.

**Revisions**


**Date**  
3-11-2026

**Scale**  
1" = 20'

**By**  
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**Tracing No.**  
L -

**Sheet No.**  
**P - 5**

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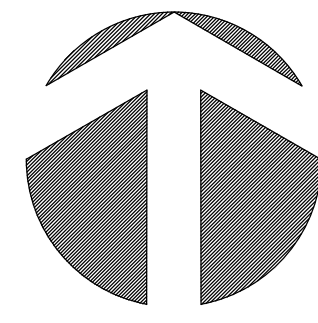
750 West Street Improvement Plan  
**Whitestone Estates**  
Utah



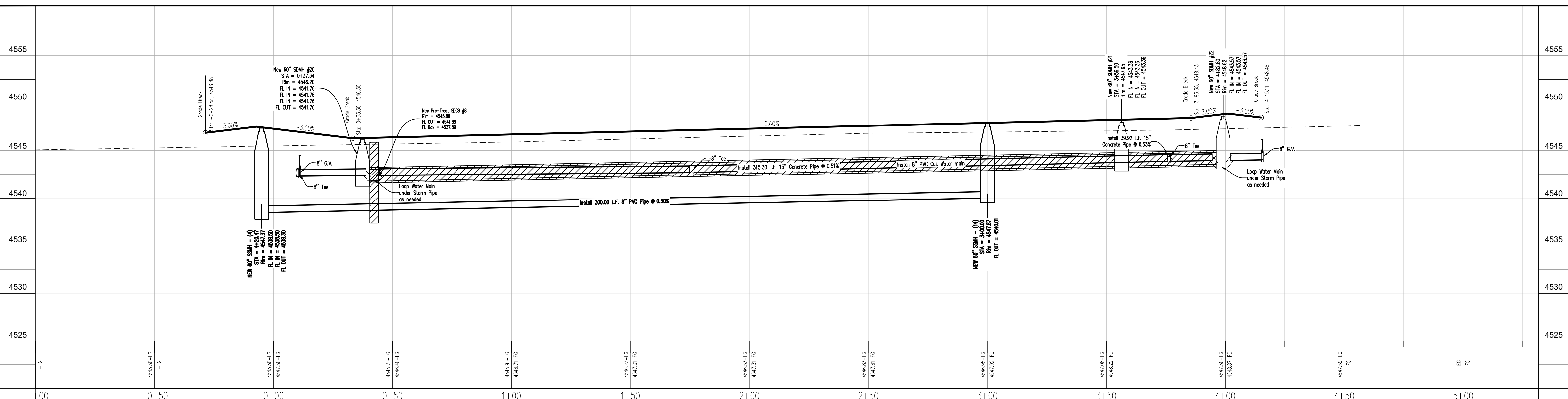
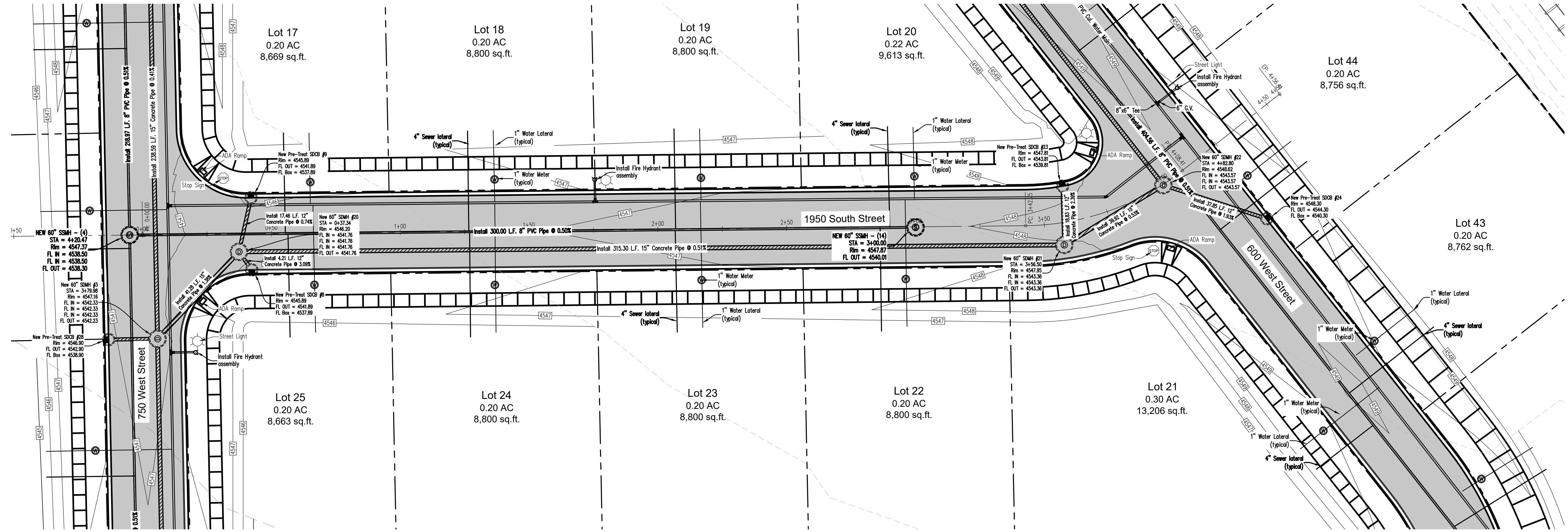








NORTH  
1" = 20'



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1950 South Street Improvement Plan  
**Whitestone Estates**  
Utah

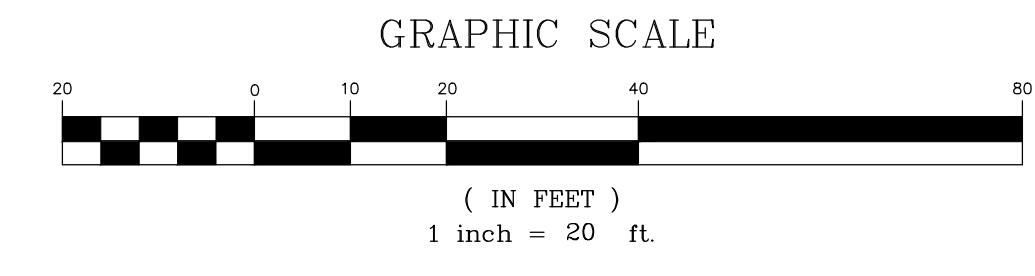
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Sheet No.  
**P - 10**

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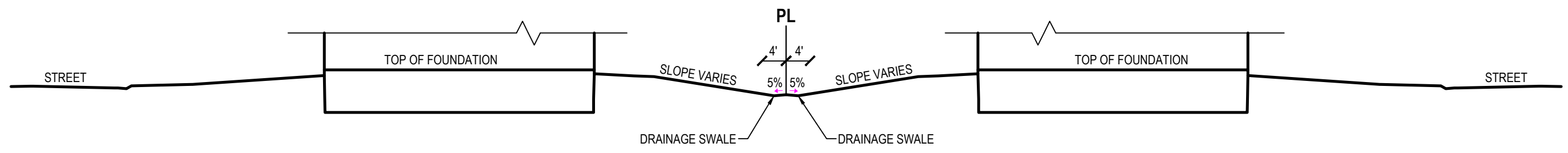
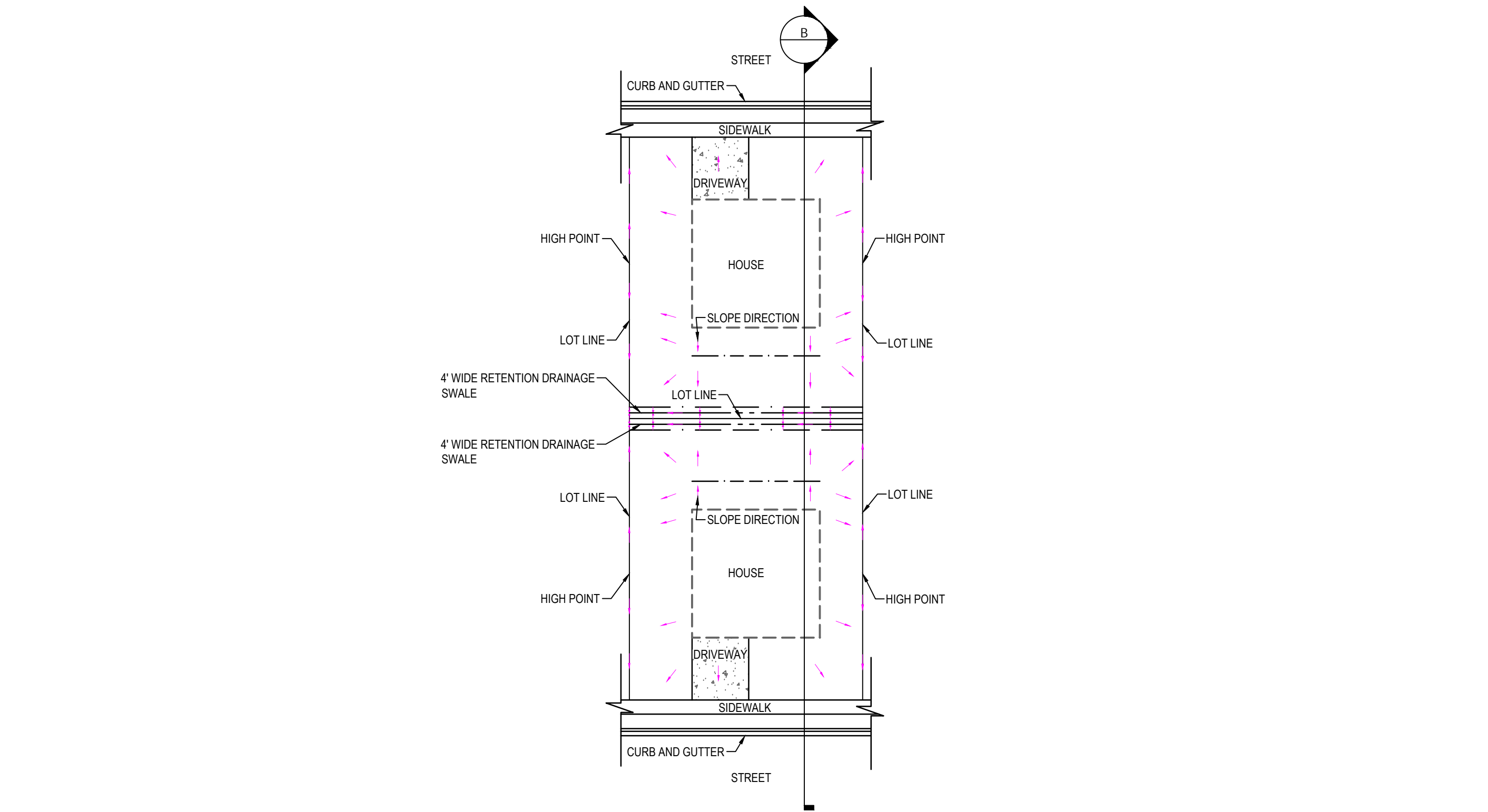




FOR:  
 KEYSTONE CONSTRUCTION  
 42 EAST 1100 SOUTH, SUITE 1B  
 AMERICAN FORK, UT 84003  
 CONTACT:  
 JEFF GLAZIER  
 PHONE: 801.623.7556

**WHITESTONE ESTATES  
 GENERAL LOT GRADING STANDARDS**

OREM, UTAH

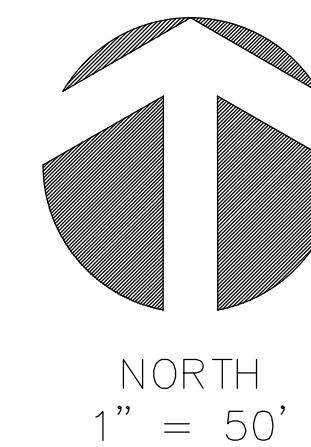


**SECTION 'B'**

**TYPICAL CASE II  
 BACK-TO-BACK LOTS**

PROJECT NUMBER: [blank] PRINT DATE: 10/22/2025  
 PROJECT MANAGER: JKJ DESIGNED BY: TJP

**EX-102**



**Storm Water Management Note:**

The disturbed area of the project = 14.01 Acres and therefore a State UPDES Storm Water General Permit from the Division of Water Quality is required. BMP's are required to be in place prior to any construction activity.

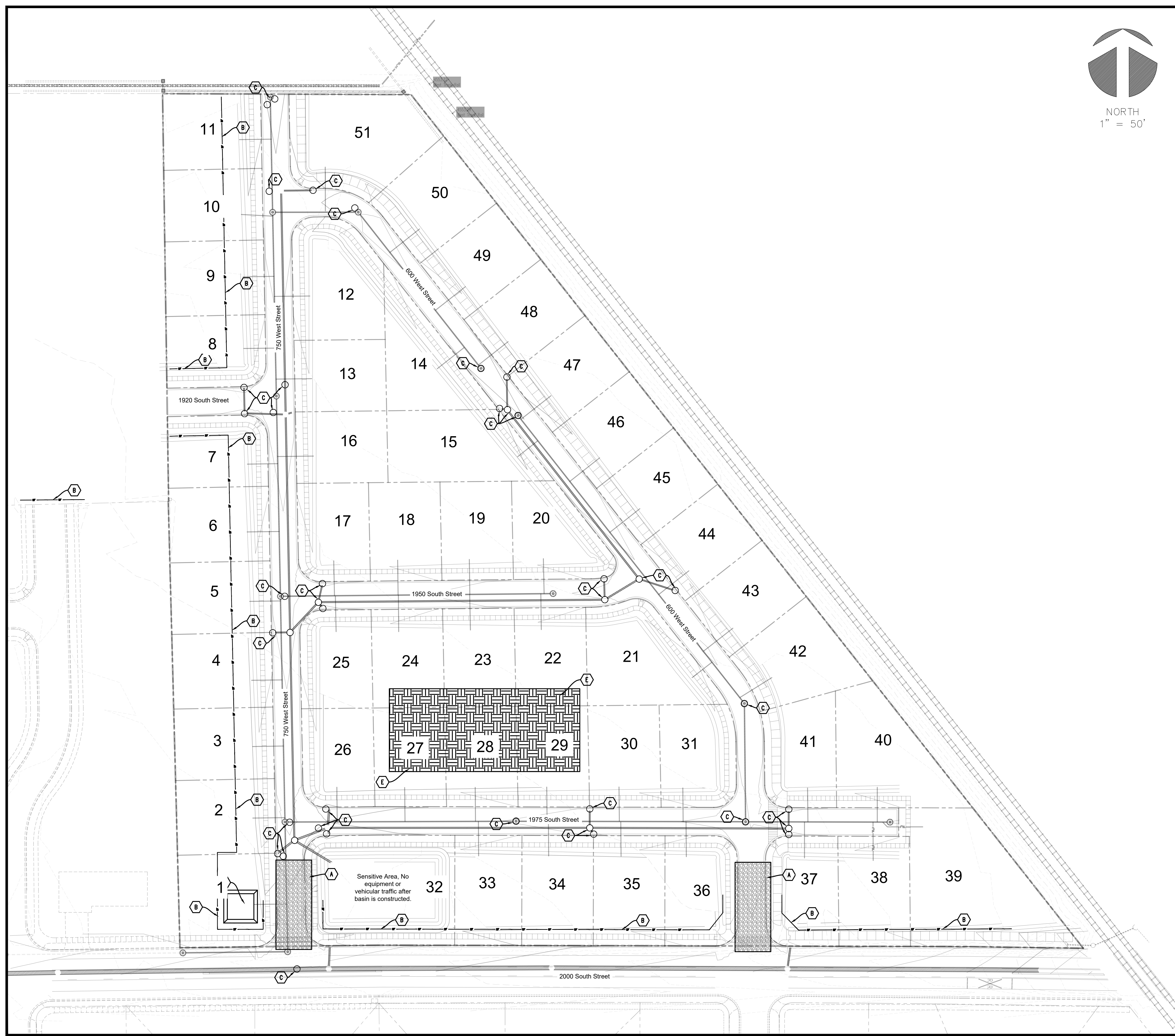
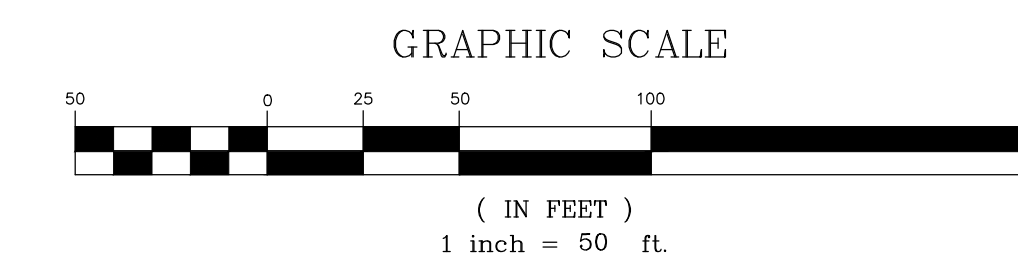
**NOTES:**

This plan is to be used to control storm water runoff and reduce pollutants in storm water runoff until construction is complete and the subject site is in operation.

THE FOLLOWING BEST MANAGEMENT PRACTICES (BMP'S) ARE TO BE USED AS A PART OF THE CONSTRUCTION SITE STORM WATER MANAGEMENT PLAN FOR THIS SITE

1. Contaminated or Erodible Surface Areas (CESA) Prevent the discharge, pollutants, and storm water from contaminated or erodible surface areas by maintaining undisturbed site until construction of Phase II is completed.
2. Dust Controls (DC) Dust control measures including vegetation, seeding, etc. to stabilize site from wind erosion and reduce dust until site is completely developed.
3. Detention/Infiltration Device Maintenance (DIDM) Detention basin and accompanying facilities will be regularly maintained and corrected to promote effective storm drain pollutant removal for pond, piping, and boxes.
4. Material Storage (MS) Any hazardous, toxic, or chemical substances will be stored and controlled inside building areas. No control substances will be discharged into storm water or sewage systems.
5. Portable Toilets (PT) Temporary on site sanitary facilities will be furnished and maintained during all construction activity until on site facilities are constructed and usable.
6. Stabilized Construction Entrance and Wash Area (SCEWA) A stabilized pad of crushed stone located at the construction entrance as shown will be provided and maintained during all construction activities.
7. Spill Cleanup (SCU) All on site materials used in construction will be maintained on site to prevent harmful materials from entering off site receiving waters.
8. Silt Fencing (SF) placed on the perimeter of the project where there is potential runoff from site to adjacent streets, or properties.

- Construct Stabilized Construction Entry (See Detail SCE)
  - Construct Silt Fencing as needed to prevent runoff onto existing street, adjacent properties and existing ditch. (See detail SF)
  - Install Filter Fabric in existing downstream and/or recently installed inlet boxes or manholes to prevent silt buildup.
- Portable toilet locations are to be determined by the contractor.
- Contractor concrete washout basin (see detail CWM).
  - Material Storage Area (see detail MS)



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**SWPPP**  
 Utah  
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Date  
 3-11-2026  
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Sheet No.  
**C - 12**

**BMP: Curb Sedimentation Trap** CST

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 A temporary sediment trap formed by excavation behind the curb.

**APPLICATION:**  
 • Interception of runoff containing sediment from the lot during construction  
 • Retain sediment on the lot during construction

**INSTALLATION/APPLICATION CRITERIA:**  
 • Excavate not behind curb to a depth of 2-4 inches  
 • Create slope of 2% from finished grade to curb for a distance of approximately 12 feet

**LIMITATIONS:**  
 • Inspect after each rainfall event  
 • Remove accumulated sediment as it reaches 25% of available storage

**MAINTENANCE:**  
 • Inspect weekly and after each rain

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL AND PANADOM ENGINEERING BMP FACT SHEET (Dirt Curb Curb)**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Concrete Waste Management** CWM

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 Prevent or reduce the discharge of pollutants to storm water from concrete waste by conducting washout off-site, performing on-site washing in a designated area, and testing employees and subcontractors.

**APPLICATION:**  
 This technique is applicable to all types of sites.

**INSTALLATION/APPLICATION CRITERIA:**  
 • Store dry materials under cover, away from drainage areas.  
 • Minimize excess mixing of fresh concrete, mortar or cement on site.  
 • Perform washout of concrete trucks off-site or in designated areas only.  
 • Do not wash out concrete trucks into storm drains, open ditches, streets, or streams.  
 • Do not allow excess concrete to be dumped on-site, except in designated areas.  
 • When washing concrete to remove fine particles and excess the aggregate, avoid emptying runoff by draining the water within a bermed or lined area (See Earth Berm Barrier Information Sheet).  
 • Train employees and subcontractors in proper concrete waste management.

**LIMITATIONS:**  
 • Off-site washout of concrete wastes may not always be possible.

**MAINTENANCE:**  
 • Inspect subcontractors to ensure that concrete wastes are being properly managed.  
 • If using a temporary pit, dispose hardened concrete on a regular basis.

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Dust Controls** DC

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 Dust control measures are used to stabilize soil from wind erosion and reduce dust by construction activities.

**APPLICATION:**  
 Dust control is useful in any construction area where dust is generated. Street sweeping is limited to areas that are paved.

**INSTALLATION/APPLICATION CRITERIA:**  
 • Water may be applied on the ground surface to reduce dry soils, making it less susceptible to wind erosion. Hopper as needed. At no time should the site be irrigated to the point that runoff begins to flow.  
 • Two kinds of ground sweepers are common, brush and vacuum. Vacuum sweepers are more efficient and work best when the area is dry.  
 • Mechanical equipment should be operated according to the manufacturers' recommendations and should be inspected regularly.

**LIMITATIONS:**  
 • Water spraying from water trucks must be done at a rate such that the water is absorbed in the soil. Excessive amounts of water are used, it may run off, carrying soil with it.  
 • Street sweeping in labor and equipment intensive and may not be effective for all pollutants.

**MAINTENANCE:**  
 • If excess water results from water spraying, dust-contaminated water should be allowed to run off site. Areas may need to be resprayed to keep dust from spreading.

**ADAPTED FROM PLUMBING GUY'S STORMWATER TECHNICAL MANUAL AND BEST MANAGEMENT PRACTICES**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Inlet Protection - Wattle** IP-W

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 Sediment barrier erected around storm drain inlet.

**APPLICATION:**  
 Construct of storm drainage inlets located down-gradient of areas to be disturbed by construction.

**INSTALLATION/APPLICATION CRITERIA:**  
 • Provide up-gradient sediment controls, such as silt fence during construction.  
 • When construction of curb and gutter and roadways is complete, install gravel filter and silt wattle around perimeter of inlet.

**LIMITATIONS:**  
 • Recommended maximum contributing drainage area of one acre  
 • Requires shallow slopes adjacent to inlet

**MAINTENANCE:**  
 • Inspect after storm following storm event and at a minimum of once every 4 days.  
 • Remove accumulated sediment when it reaches 4 inches in depth  
 • Look for toppling or undercutting and repair or replace as needed.

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Material Storage** MS

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 Controlled storage location, erosion protection, and equipment cover when not in use.

**APPLICATION:**  
 • Storage of hazardous, toxic, and all chemical substances.  
 • Any construction site with outside storage of materials.

**INSTALLATION/APPLICATION CRITERIA:**  
 • Designate a secured area with limited access as the storage location. Ensure no roadway or drainage paths are nearby.  
 • Construct compacted earthen berm (See Earth Berm Barrier Information Sheet), or similar perimeter containment around storage location for containment in the case of spills.  
 • Ensure an erosion protection device (sediment trap) is installed on the excessive amounts of material that will not be utilized on site.  
 • For areas of disturbed soil, store materials in a secured area. Materials are not set directly on the ground and are covered when not in use. Protect storm drainage during use.

**LIMITATIONS:**  
 • Does not prevent contamination due to mishandling of products.  
 • Spill Prevention and Response Plan still required.  
 • Only effective if materials are actively stored in controlled location.

**MAINTENANCE:**  
 • Inspect daily and repair any damage to perimeter containment or security fencing.  
 • Check materials are being correctly stored in a standing upright, in labeled containers. BMPs required that no materials are being stored near the designated location.

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Preservation of Existing Vegetation** PEV

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 Carefully planned preservation of existing vegetation minimizes the potential of nonpoint runoff, erosion, silt, and sediment.

**APPLICATION:**  
 This technique is applicable to all types of sites. Areas where preserving vegetation can be particularly beneficial are floodplains, wetlands, stream banks, steep slopes, and other areas where erosion controls would be difficult to establish, install, or maintain.

**INSTALLATION/APPLICATION CRITERIA:**  
 • Clearly mark flag or fence vegetation or areas where vegetation should be preserved.  
 • Prepare landscaping plans which include as much existing vegetation as possible and include proper care during and after construction.  
 • Define and protect with berms, fencing, signs, etc. a setback area from vegetation to be preserved.  
 • Prepare landscaping plans which do not include plant species that compete with the existing vegetation.  
 • Do not locate construction traffic routes, spoil piles, etc. where significant adverse impact on existing vegetation may occur.

**LIMITATIONS:**  
 • Requires forward planning by the construction, contractor and design staff.  
 • For sites with diverse topography, it is often difficult and expensive to save existing trees while grading the site satisfactorily for the planned development.  
 • May not be the most effective with high land costs.

**MAINTENANCE:**  
 • Inspect and maintenance requirements for protection of vegetation are low.  
 • Maintenance of native trees or vegetation should conform to landscape plan specifications.

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Portable Toilets** PT

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 Temporary on-site sanitary facilities for construction personnel.

**APPLICATION:**  
 All sites with no permanent sanitary facilities or where permanent facility is too far from activities.

**INSTALLATION/APPLICATION CRITERIA:**  
 • Locate portable toilets in convenient locations throughout the site.  
 • Prepare level, gravel surface and provide clear access to the sites for servicing and for site personnel.  
 • Consider earth berm perimeter (See Earth Berm Barrier Information Sheet), control for precipitation.

**LIMITATIONS:**  
 • No limitations.

**MAINTENANCE:**  
 • Portable toilets should be maintained in good working order by licensed operators.  
 • Regular waste collection should be arranged with licensed service.  
 • All waste should be disposed in sanitary sewer system for treatment with appropriate agency approval.

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Stabilized Construction Entrance** SCE

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 A stabilized pad of crushed stone located where construction traffic enters and exits the site from or to a paved surface.

**APPLICATION:**  
 At any point of ingress or egress at a construction site where adjacent traveled way is paved. Generally applies to sites over 2 acres unless special conditions exist.

**INSTALLATION/APPLICATION CRITERIA:**  
 • Clear and grade area and grade to provide minimum slope of 2%.  
 • Compact subgrade and place filter fabric if desired (minimum depth of entrance to be maintained for a minimum of 12 months).  
 • Place coarse aggregate, 1 to 2 1/2 inches in size, to a minimum depth of 4 inches.

**LIMITATIONS:**  
 • Require periodic top dressing with additional stones.  
 • Should be used in conjunction with street sweeping or adjacent public right-of-way.

**MAINTENANCE:**  
 • Inspect daily for loss of gravel or sediment buildup.  
 • Inspect adjacent roadway for sediment pickup and clean by sweeping or shoveling.  
 • Repair entrance and replace gravel as required to maintain control in good working condition.  
 • Extend stabilized area as required to accommodate traffic and prevent erosion at driveway.

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Silt Fence** SF

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 A temporary sediment barrier consisting of an embossed filter fabric stretched across and secured to supporting posts.

**APPLICATION:**  
 • Sediment barrier, place barrier at toe of slope or at stable toe.  
 • Protection of existing waterways, place barrier at top of stream bank.  
 • Inlet protection: place fence surrounding catchbasins.

**INSTALLATION/APPLICATION CRITERIA:**  
 • Place posts 8 feet apart on center along contour (or use pre-assembled units) and 2 feet minimum into ground. Excavate an anchor trench immediately up gradient of each post.  
 • Secure with mesh (1/4 inch mesh, with 3/8 inch openings) to support size of fabric. Attach with heavy duty 1 inch webbing straps, tie wires or tie rope.  
 • Check fabric to ensure tight, avoid along length of barrier and strap over edges to ensure tight fit with fabric, straps, or similar, with stringing edge extending into anchor trench.  
 • Inspect fence over that to be anchored.

**LIMITATIONS:**  
 • Recommended maximum drainage area of 0.5 acre per 100 feet of fence  
 • Recommended maximum gradient slope height of 100 feet  
 • Recommended maximum silt grade of 2:1 (slope)  
 • Recommended maximum flow rate of 5 cfs  
 • Poring should not be allowed behind fence

**MAINTENANCE:**  
 • Inspect immediately after any rainfall and at least daily during prolonged rainfall.  
 • Look for runoff bypassing ends of barriers or undercutting barriers.  
 • Repair or replace damaged areas of the barrier and remove accumulated sediment.  
 • Remove fence as necessary to prevent obstruction.  
 • Remove accumulated sediment when it reaches 1/2 the height of the fence.

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Surface Roughening** SR

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 Rough preparation of working areas leaving depressions and uneven surfaces. Depressions should be done parallel to contours.

**APPLICATION:**  
 Surface roughening is appropriate for a construction that will not be receiving impervious cover within 14 days of that will be exposed less than 60 days (need areas to be open in excess of 60 days).

**INSTALLATION/APPLICATION CRITERIA:**  
 • Surface should be left in rough condition during initial earthwork activity.  
 • Surface may have become smoothed or compacted due to equipment traffic should be roughened by use of disks, spring tines, teeth on front and back, or similar, operating along the contours of the slope. Treading (by crawler tractor driving up and down slope) may also be used to provide depressions parallel to contours.  
 • Avoid compaction of soils during roughening as this inhibits plant growth and promotes surface water runoff. Small boulders may be used to roughen soil and to break up areas to be exposed in excess of 60 days.  
 • Employ dust control. (See Dust Control Detail Sheet).

**LIMITATIONS:**  
 • Will not withstand heavy rainfall.  
 • Slopes steeper than 2:1 (50%) should be bench cut (see Bench Cut Detail Sheet).

**MAINTENANCE:**  
 • Inspect following any storm event and at a minimum of weekly.

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Temporary Drains And Swales** TDS

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 Temporary drains and swales are used to divert off-site runoff around the construction site, divert runoff from stabilized areas around disturbed areas, and direct runoff into sediment.

**APPLICATION:**  
 Temporary drains and swales are appropriate for diverting any runoff runoff around, stabilized or disturbed areas in the construction. Prevents erosion and transport of sediments into water ways. Increases the potential for infiltration. Diverts sediment from paved areas to storm basins or traps.

**INSTALLATION/APPLICATION CRITERIA:**  
 • Temporary drainage swales will effectively convey runoff and avoid erosion if built properly.  
 • Stone temporary drainage swales using local drainage design criteria. A permanent drainage channel must be designed by a professional engineer (see the local drainage design criteria for proper design).  
 • At a minimum, the discharge should conform to pre-development drainage patterns and capacities.  
 • Construct the swales with an undisturbed, positive grade to a stabilized outlet. Provide erosion protection or erosion discharge measures if the flow out of the drain or swale can reach an erodible velocity.

**LIMITATIONS:**  
 • Temporary drains and swales or any other diversion of runoff should not adversely impact erosion or downstream protection.  
 • Temporary drains and swales must conform to local floodplain management requirements.

**MAINTENANCE:**  
 • Inspect weekly and after each rain.  
 • Remove sediment which builds up in the swale and restrict its flow capacity.

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Vehicle And Equipment Cleaning** VEC

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 Prevent or reduce the discharge of pollutants to storm water from vehicle and equipment cleaning by using off-site facilities, washing in designated areas only, diverting discharges to the storm drain by diverting or recycling the wash water, and/or testing employees and subcontractors.

**APPLICATION:**  
 • Off-site commercial washing businesses as much as possible.  
 • Washing vehicle and equipment outdoors or in areas where wash water does not enter drainage or the drainage pathways can collect storm water. If you wash a large number of vehicles or pieces of equipment, consider installing a wash rack at an off-site commercial facility. These businesses are better equipped to handle and dispose of the wash water properly. Performing this off-site can also be economical if diverting the need for a separate washing operation at your site.  
 • If washing must occur on-site, use designated areas, located away from drainage courses, to prevent the runoff of storm water and the runoff of pollutants.  
 • Always use recirculating containers such as a drain pan or drop cloth, when washing to catch spills. Place a stackable silt trap or silt catchment device in front of the container. Use sediment traps on small spills rather than hosing down or burying the spill. Remove the accumulated materials promptly and dispose of properly.

**LIMITATIONS:**  
 • Clean philosophies have been shown to be toxic to fish before the soap degrades.  
 • Standing vehicle/equipment off-site should be done in conjunction with Stabilized Construction Entrance.

**MAINTENANCE:**  
 • Minimal, some berm repair may be necessary.

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Vehicle And Equipment Fueling** VEF

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 Prevent fuel spills and leaks, and reduce their impacts to storm water by using off-site facilities, fueling in designated areas only, excluding or covering storm fuel, implementing spill controls, and testing employees and subcontractors.

**INSTALLATION/APPLICATION CRITERIA:**  
 • Use off-site fueling stations as much as possible. Fueling vehicles and equipment on-site or in drainage pathways can pollute storm water. If you fuel a large number of vehicles or pieces of equipment, consider using an off-site fueling station. These businesses are better equipped to handle fuel and spills properly. Performing this off-site can also be economical by eliminating the need for a separate fueling area at your site.  
 • If fueling must occur on-site, use designated areas, located away from drainage courses, to prevent the runoff of storm water and the runoff of pollutants.  
 • Always use recirculating containers such as a drain pan or drop cloth, when fueling to catch spills. Place a stackable silt trap or silt catchment device in front of the container. Use sediment traps on small spills rather than hosing down or burying the spill. Remove the accumulated materials promptly and dispose of properly.

**LIMITATIONS:**  
 • Spilling vehicle/equipment off-site should be done in conjunction with Stabilized Construction Entrance.

**MAINTENANCE:**  
 • Keep ample supplies of spill cleanup materials on-site.  
 • Inspect fueling areas and storage tanks on a regular schedule.

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Waste Disposal** WD

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 Controlled storage and disposal of solid waste generated by construction activities.

**APPLICATION:**  
 All construction sites.

**INSTALLATION/APPLICATION CRITERIA:**  
 • Designate one or several waste collection areas with easy access for collection vehicles and personnel. Ensure no waterways or storm drainage inlets are located near the waste collection areas.  
 • Construct perimeter containment around collection area for containment in the case of spills and to trap any windblown trash. Use water tight containers with covers to remain closed when not in use. Provide erosion protection to collect waste from areas where appropriate and where personnel are aware of and utilize designated waste collection area properly and for intended use only (e.g. all bags, hazardous or recyclable materials shall be properly disposed of separately from general construction waste).  
 • Arrange for periodic pickup, transfer and disposal of collected waste at an authorized disposal location. Include regular PPE and spill response in waste management activities.

**LIMITATIONS:**  
 • On-site personnel are responsible for correct disposal of waste.

**MAINTENANCE:**  
 • Check waste management procedures at progress meetings.  
 • Repair or replace damaged areas of the barrier and remove accumulated sediment.  
 • Collect site trash daily and deposit in covered containers at designated collection areas.  
 • Check containers for leakage or inadequate covers and replace as needed.  
 • Randomly check disposed materials for any unauthorized waste (e.g. toxic materials).  
 • During daily site inspections, check that waste is not being incoincidentally disposed of on-site (e.g. buried, burning, surface discharge, discharge to storm drain) areas of driveway.

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**BMP: Spill Clean-Up** SCU

**OBJECTIVES:**  
 Housekeeping Practices  
 Contain Waste  
 Minimize Disturbed Areas  
 Stabilize Disturbed Areas  
 Protect Slopes/Channels  
 Control Site Perimeter  
 Control Internal Erosion

**DESCRIPTION:**  
 Practices to clean up leakage/spillage of on-site materials that may be harmful to receiving waters.

**APPLICATION:**  
 All construction sites.

**GENERAL:**  
 • Store controlled materials within a storage area.  
 • Educate personnel on prevention and clean-up techniques.  
 • Designate an Emergency Coordinator responsible for implementing preventative practices and for providing spill response.  
 • Monitor a supply of clean-up equipment on-site and post a list of local response agencies with phone numbers.

**METHODS:**  
 • Clean up spills immediately and immediately contain.  
 • Use a little water to contain. NEVER HOSE DOWN OR BURY SPILL CONTAMINATED AREA.  
 • Use high absorbent material for clean-up. Avoidinate contaminated soils.  
 • Dispose of clean-up material and soil in hazardous waste.  
 • Document all spills with date, location, volume, volume, action taken and other pertinent data.  
 • Contact local Fire Department and State Division of Environmental Response and Remediation Phone #501-534-4100 for any spill of reportable quantity.

**ADAPTED FROM SALT LAKE COUNTY BMP MANUAL**  
 STORMWATER DISCHARGE MANAGEMENT FROM CONSTRUCTION ACTIVITIES 2005

**EROSION CONTROL NOTES:**

- CONTROLLING SEDIMENT TRANSPORT AND PREVENTING AND/OR CORRECTING PROBLEMS ASSOCIATED WITH EROSION AND RUNOFF PROCESSES THAT COULD OCCUR BOTH DURING AND AFTER PROJECT CONSTRUCTION WILL BE CLOSELY MONITORED. PERIODIC MAINTENANCE AND INSPECTION OF SEDIMENT CONTROL DEVICES WILL BE SCHEDULED. PARTICULAR ATTENTION SHALL BE GIVEN TO EXISTING DRAINAGE PATTERNS THAT RUN THROUGH DISTURBED AREAS AND OVER EXTREME SLOPES. THESE PATTERNS WILL BE IDENTIFIED TO ISOLATE PROBLEM AREAS WHERE WATER WILL CONCENTRATE. PROVISIONS SHALL BE MADE TO CHANNEL RUNOFF AWAY FROM NEW OR EXISTING IMPROVEMENTS TO PREVENT UNDERMINING AND GENERAL SITE EROSION. THESE PROVISIONS SHALL BE STABILIZED AND SHALL REMAIN IN PLACE UNTIL THE PERMANENT STORM DRAINAGE FACILITIES ARE INSTALLED AND FUNCTIONAL.
- EROSION CONTROL - A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) HAS BEEN PREPARED IN ACCORDANCE WITH THE UTAH POLLUTANT DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR CONSTRUCTION. OUTLINING HOW EROSION AND SILTATION WILL BE CONTROLLED. A NOTICE OF INTENT (NOI) HAS BEEN SUBMITTED TO OBTAIN THE UPDES CONSTRUCTION PERMIT. A COPY OF THE PLAN MUST BE ON SITE AT ALL TIMES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING THE PLAN AND INSTALLING AND MAINTAINING THE EROSION CONTROL FACILITIES WITH EACH PHASE OF WORK. SHOULD SILT LEAVE THE SITE OR EROSION OCCURS, IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO TAKE CORRECTIVE ACTION AND REPAIR ANY DAMAGE CAUSED BY THE SILT OR EROSION IMMEDIATELY. ALL COSTS ASSOCIATED WITH THE MODIFICATION AND APPROVAL OF THE PLAN WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- BEFORE CONSTRUCTION BEGINS, THE LIMITS OF DISTURBANCE (LOD) BOUNDARY SHALL BE STAKED ON SITE AND APPROVED BY THE OWNER'S REPRESENTATIVE AND THE ENGINEER.
- EXCAVATION AND EMBANKMENT OPERATIONS SHALL PROCEED IN SUCH A MANNER SO THAT FINISHING OF SLOPES, INCLUDING REVEGETATION SHALL BE ACCOMPLISHED AS SOON AS POSSIBLE AFTER ROUGH GRADING. ALL SLOPES 1:1 OR FLATTER SHALL BE SCARIFIED WITH HEAVY EQUIPMENT, LEAVING TRACKS PERPENDICULAR TO THE SLOPE. SLOPES OVER 1:1 SHALL UTILIZE EROSION CONTROL/REVEGETATION MATTING.
- CUT AND FILL SLOPES SHALL BE CONDUCTED PER THE GEOTECHNICAL REPORT. THE TOPS OF ALL CUT SLOPES IN SOIL SHALL BE ROUNDED FOR A HORIZONTAL DISTANCE OF THREE (3) FEET BEYOND THE CATCH POINT. SLOPE ROUNDING SHALL OCCUR AS THE SLOPE IS BEING BROUGHT DOWN. THE OVERALL SHAPE, HEIGHT AND GRADE OF ANY CUT AND/OR FILL SLOPE SHALL BE DEVELOPED IN CONCERT WITH THE EXISTING NATURAL CONTOURS, SCALE AND VEGETATION OF NATURAL TERRAIN.
- EXISTING VEGETATION SHOULD BE PRESERVED WHEREVER POSSIBLE AND DISTURBED PORTIONS OF THE SITE SHALL BE STABILIZED. STABILIZATION PRACTICES MAY INCLUDE, BUT NOT BE LIMITED TO, TEMPORARY SEEDING, PERMANENT SEEDING, MULCHING, GEOTEXTILES, SOD STABILIZATION, VEGETATIVE BUFFER STRIPS, PROTECTION OF TREES, PRESERVATION OF NATURAL VEGETATION AND OTHER APPROPRIATE MEASURES. USE OF IMPERVIOUS SURFACES FOR STABILIZATION SHALL BE AVOIDED. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS POSSIBLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE PERMANENTLY CEASED.
- SPECIFICALLY OUTLINED DISTURBED AREAS, BOTH ON AND OFF-SITE SHALL BE REVEGETATED. THESE AREAS SHALL INCLUDE, BUT NOT BE LIMITED TO, ALL UNSURFACED AREAS WITHIN THE STAKED LOD, STAGING AND STORAGE AREAS, MATERIAL WASTE AREAS, UNDERGROUND UTILITY CONSTRUCTION AREAS, BENCH AREAS, INCLUDING RETAINING WALL BENCHES, AND TEMPORARY EXISTING ACCESS ROADS USED FOR CONSTRUCTION ACTIVITIES.
- A SWALE SEDIMENT TRAP FOR ALL DRAINAGEWAYS INTERCEPTED BY PROPOSED ROAD CONSTRUCTION WILL BE FORMED. TRAPS WILL BE PLACED IN SURFACE DRAIN DITCHES JUST BEFORE THE RUNOFF LEAVES THE PROPERTY, ENTERS A WATERCOURSE OR IMMEDIATELY PRECEDING DITCH INLETS OR STABILIZED OUTLETS. SEDIMENT TRAPS MUST OUTLET INTO STABILIZED (PREFERABLY UNDISTURBED) GROUND OR LEFT TO PERCOLATE INTO THE GROUND.
- CONTROLLED OUTLETS SHALL DIRECT COLLECTED RUNOFF THROUGH SILT FENCES OR STRAW BALES
- TYPICAL FUGITIVE DUST SHALL BE CONTROLLED BY WATERING AND/OR CHEMICAL STABILIZATION, PROVIDING VEGETATIVE OR SYNTHETIC COVER AND WIND BREAKS CONSISTENT WITH THE UTAH STATE DIVISION OF AIR QUALITY STANDARDS.
- ANY SEDIMENT TRACKED OFF-SITE SHALL BE REMOVED PRIOR TO THE END OF THE WORK SHIFT OR PRIOR TO SUNSET, WHICHEVER COMES FIRST.
- CONTRACTOR MAY ADJUST THE LOCATIONS OF THE CONSTRUCTION FENCE, CONSTRUCTION TRAILERS, AND CONSTRUCTION MATERIALS RECEIVING AND STORAGE AREAS, AS NEEDED TO ACCOMPLISH THE CONSTRUCTION. ALL CHANGES SHALL BE NOTATED ON THE EROSION CONTROL PLAN.
- THE CONTRACTOR SHALL CONDUCT PERIODIC INSPECTIONS OF THE EROSION CONTROL MEASURES, AS REQUIRED AND NOTATED IN THE SWPPP. THE CONTRACTOR WILL MAINTAIN A LOG ON-SITE OF ALL INSPECTIONS WITH THE SWPPP.
- ANY TREE 12" IN DIAMETER OR LARGER WILL NOT BE REMOVED UNTIL LOCATED BY SURVEY AND THE REMOVAL APPROVED BY THE OWNER OR EQUAL.
- ALL DITCHES AND SWALES GREATER THAN 5% SHALL BE ARMORED WITH AN APPROPRIATE EROSION CONTROL/REVEGETATION STABILIZATION MAT TO PROMOTE REVEGETATION.
- PORTABLE TOILETS MAY BE LOCATED UPON ANY INDIVIDUAL HOME LOT.
- CONTRACTOR MAY ADJUST THE LOCATION OF CONCRETE WASHOUT AREAS AS NEEDED TO ACCOMPLISH THE CONSTRUCTION.

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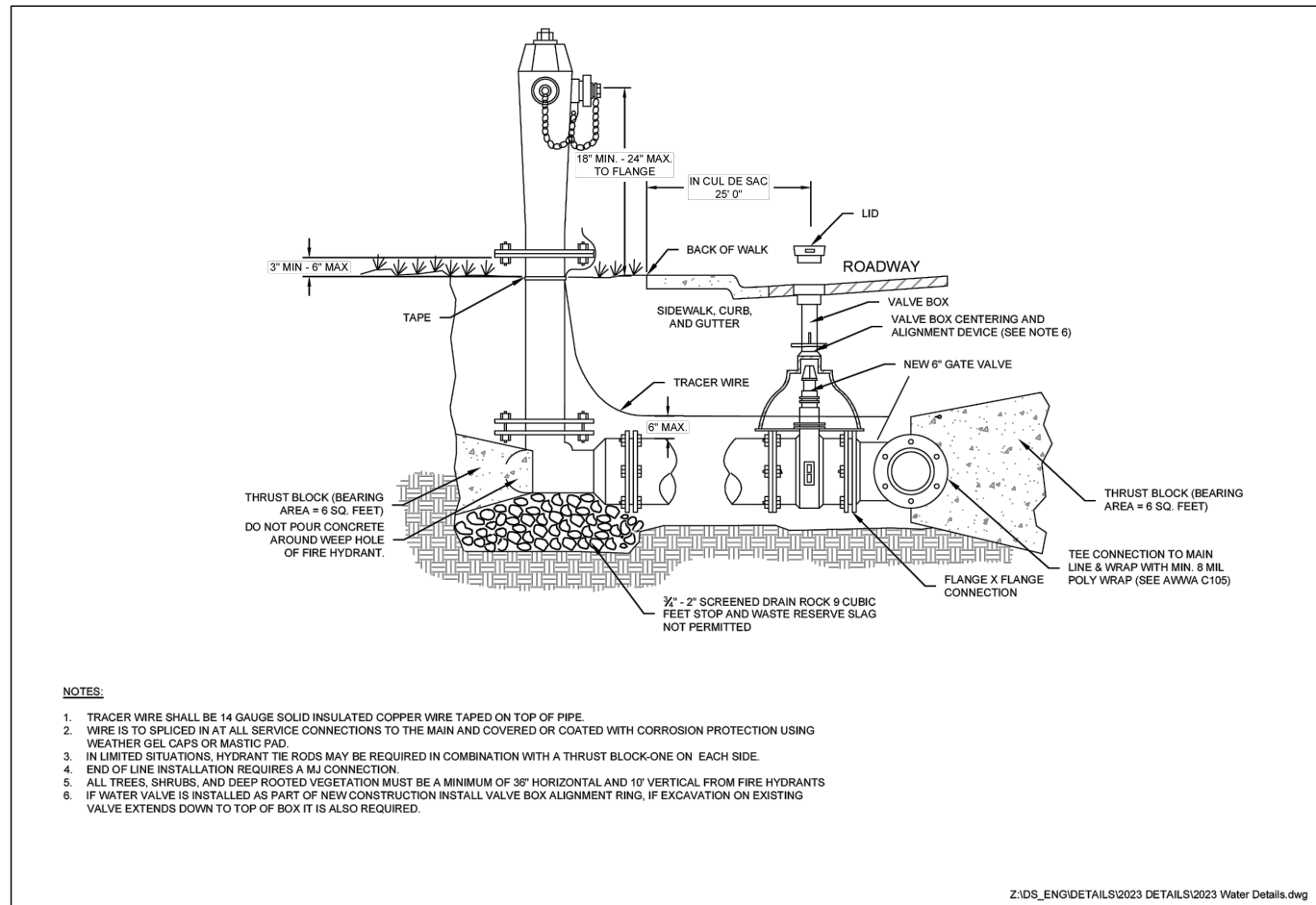
**BMP DETAILS**

Revisions

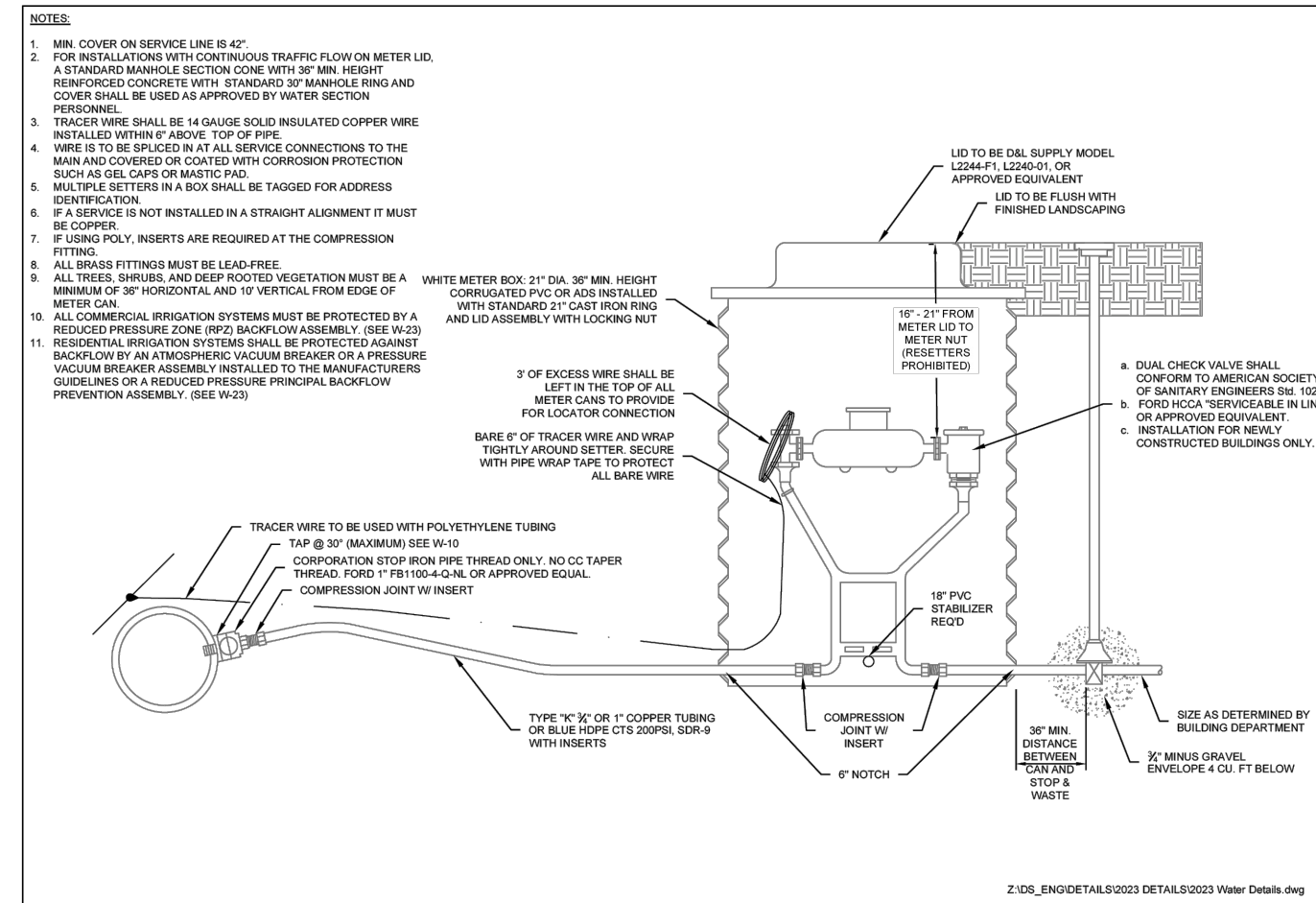
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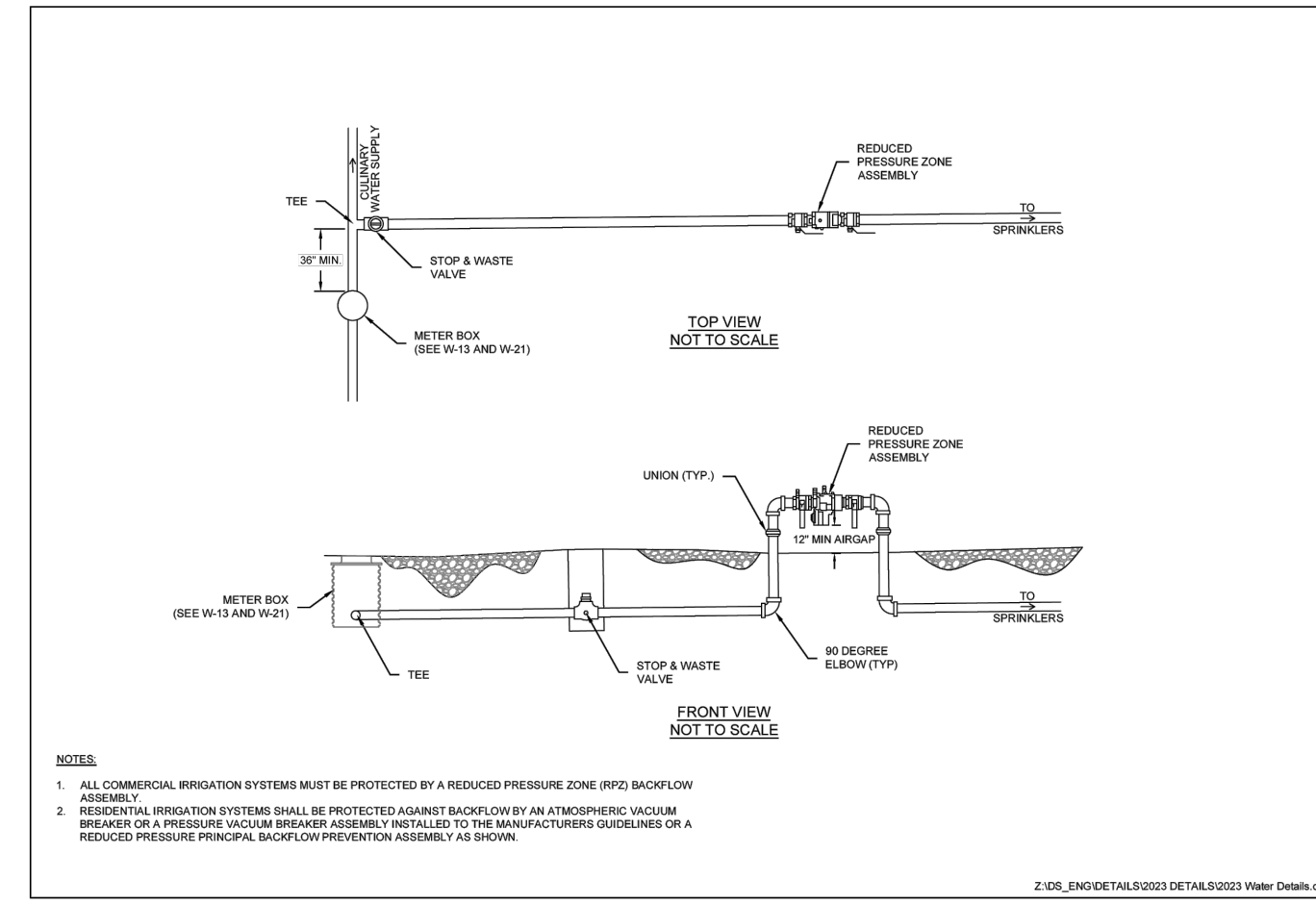




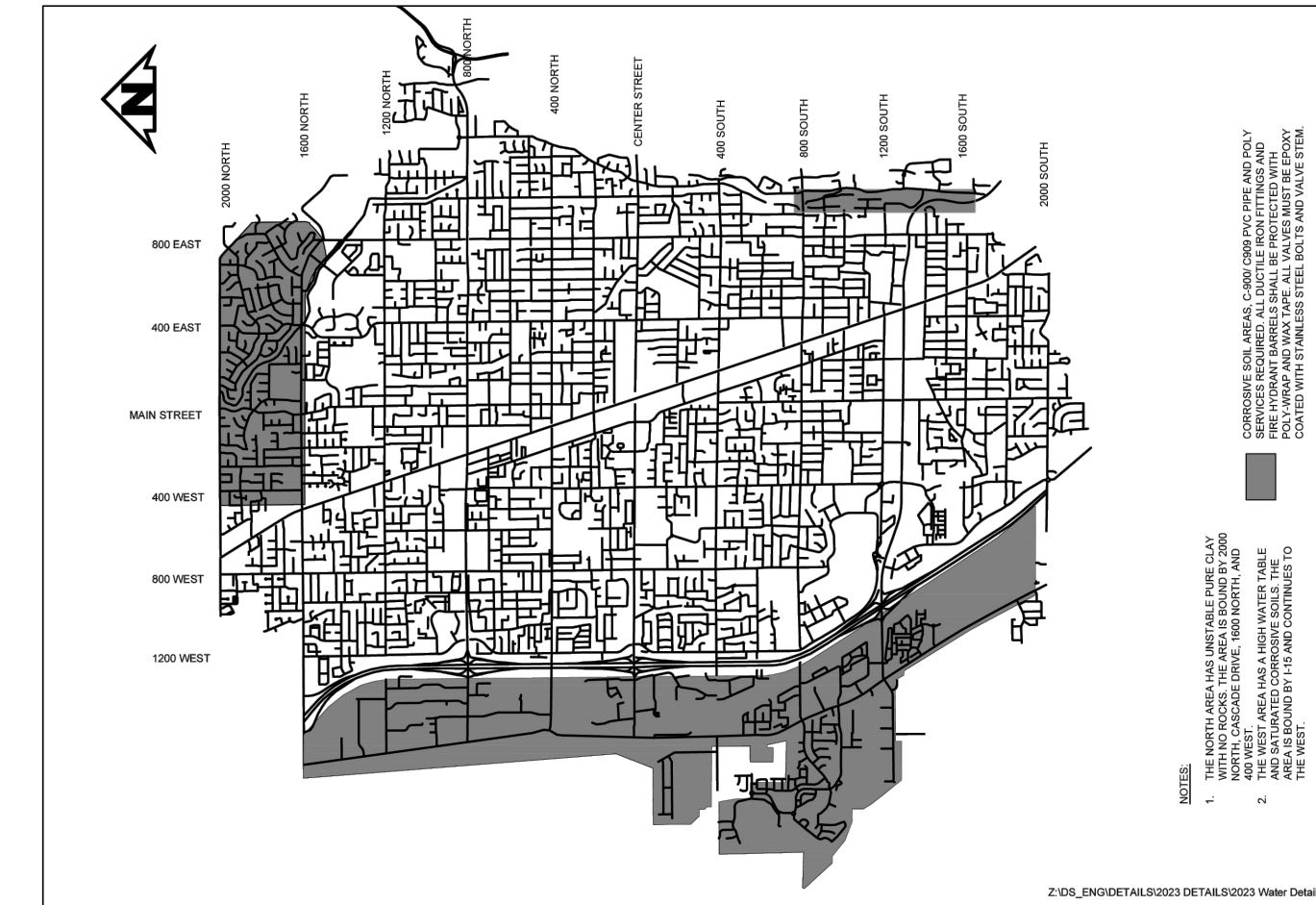
CONSTRUCTION STANDARD CITY OF OREM FIRE HYDRANT ASSEMBLY W-7



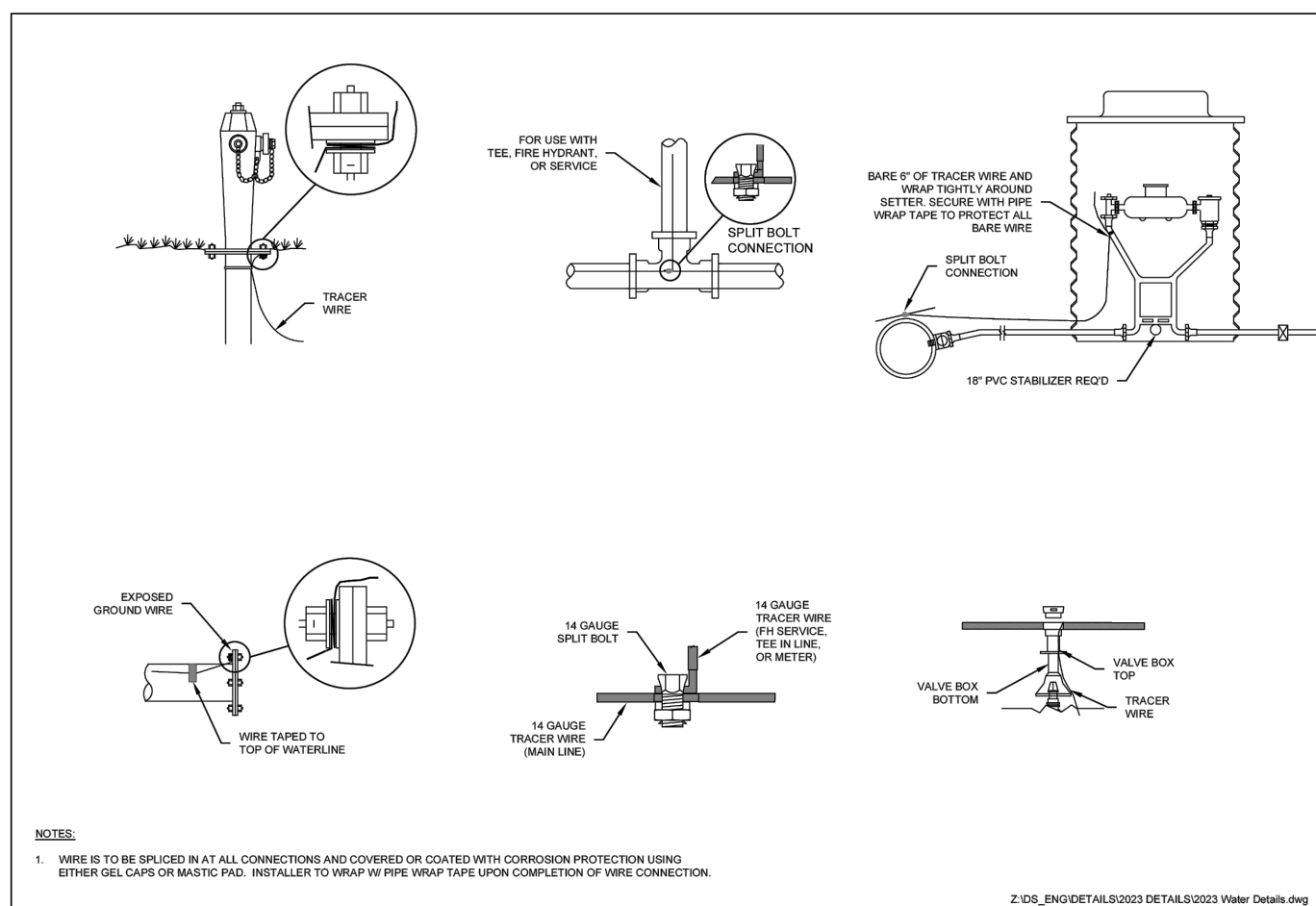
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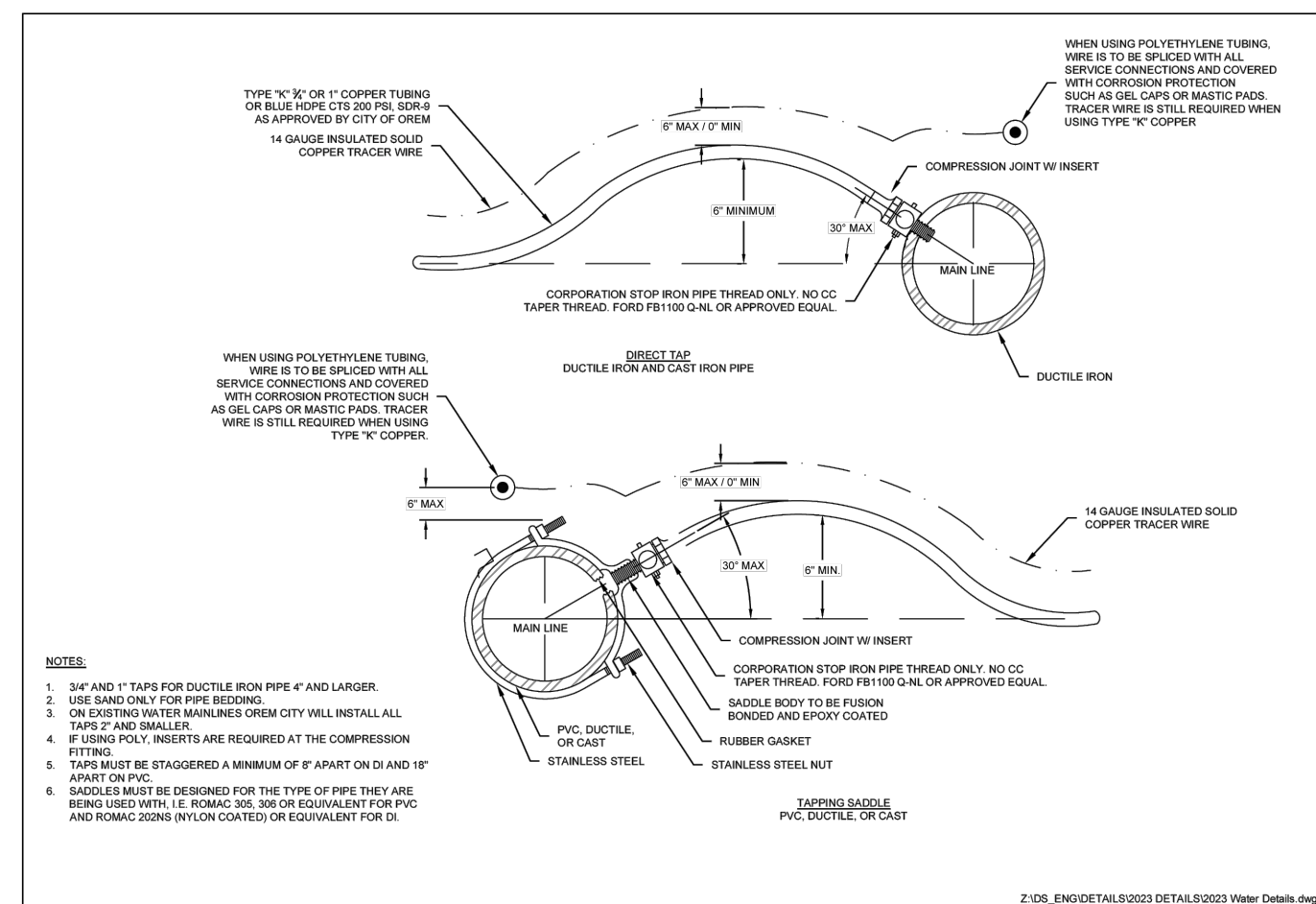
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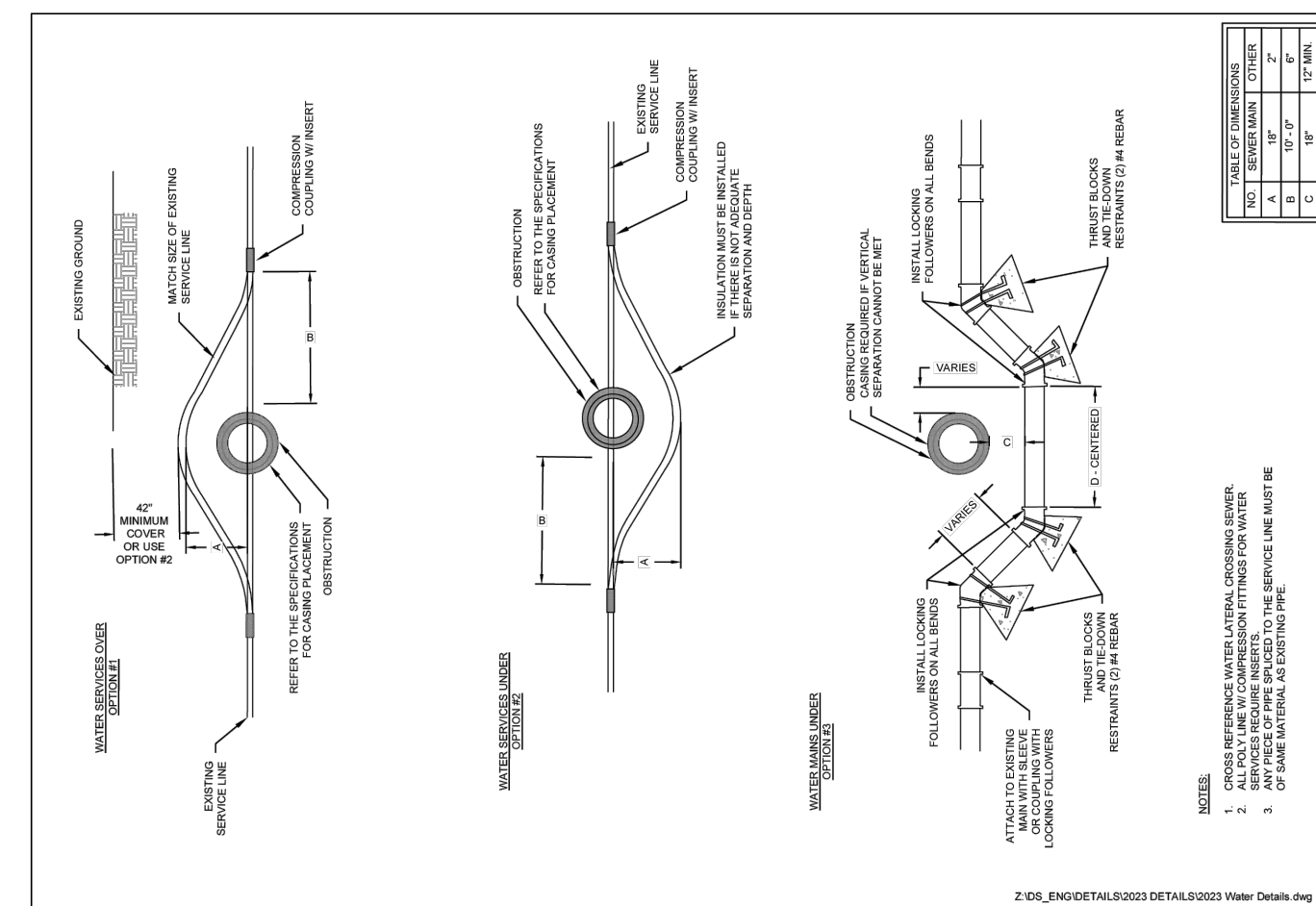
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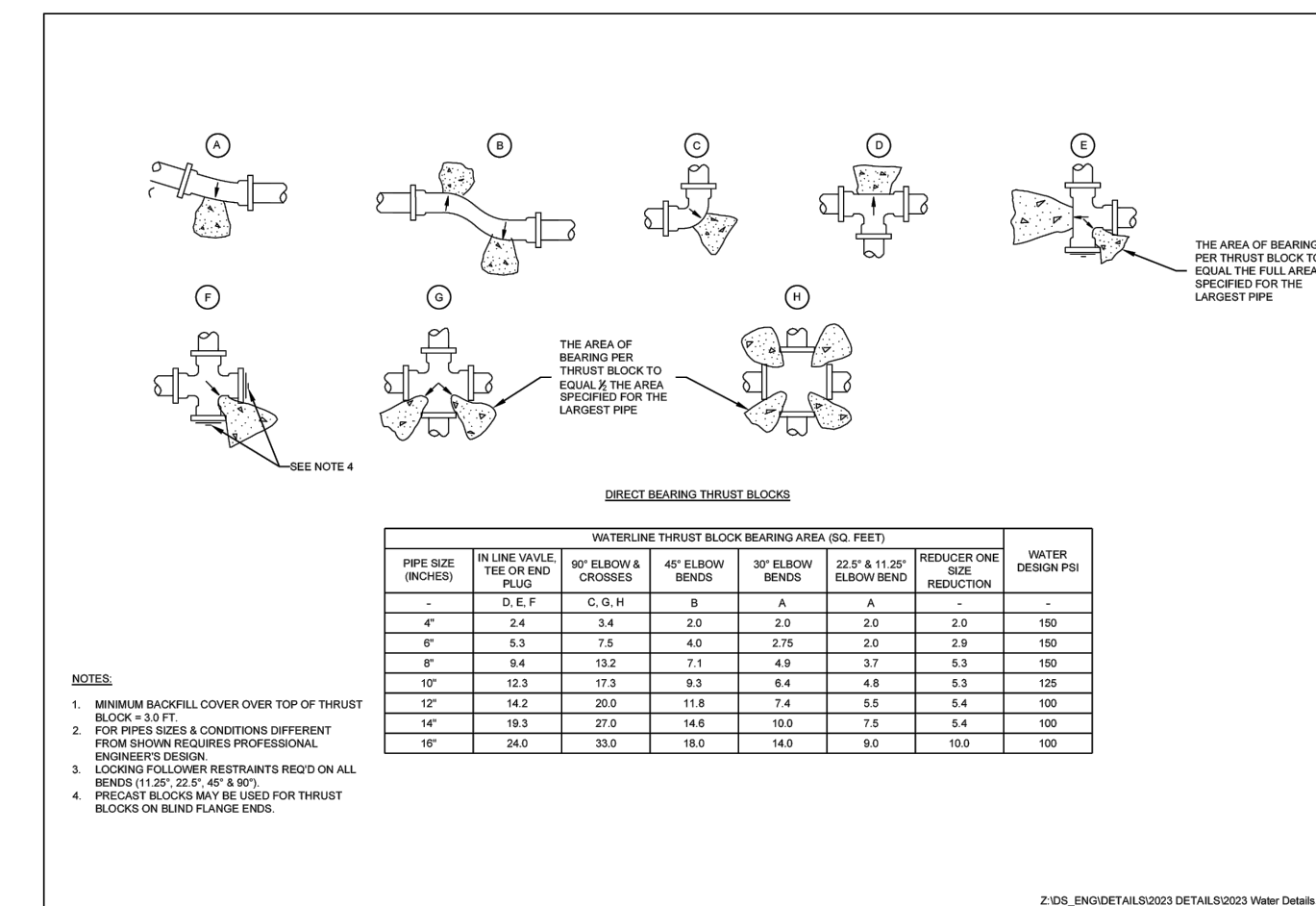
CONSTRUCTION STANDARD CITY OF OREM TRACER WIRE DETAILS W-11



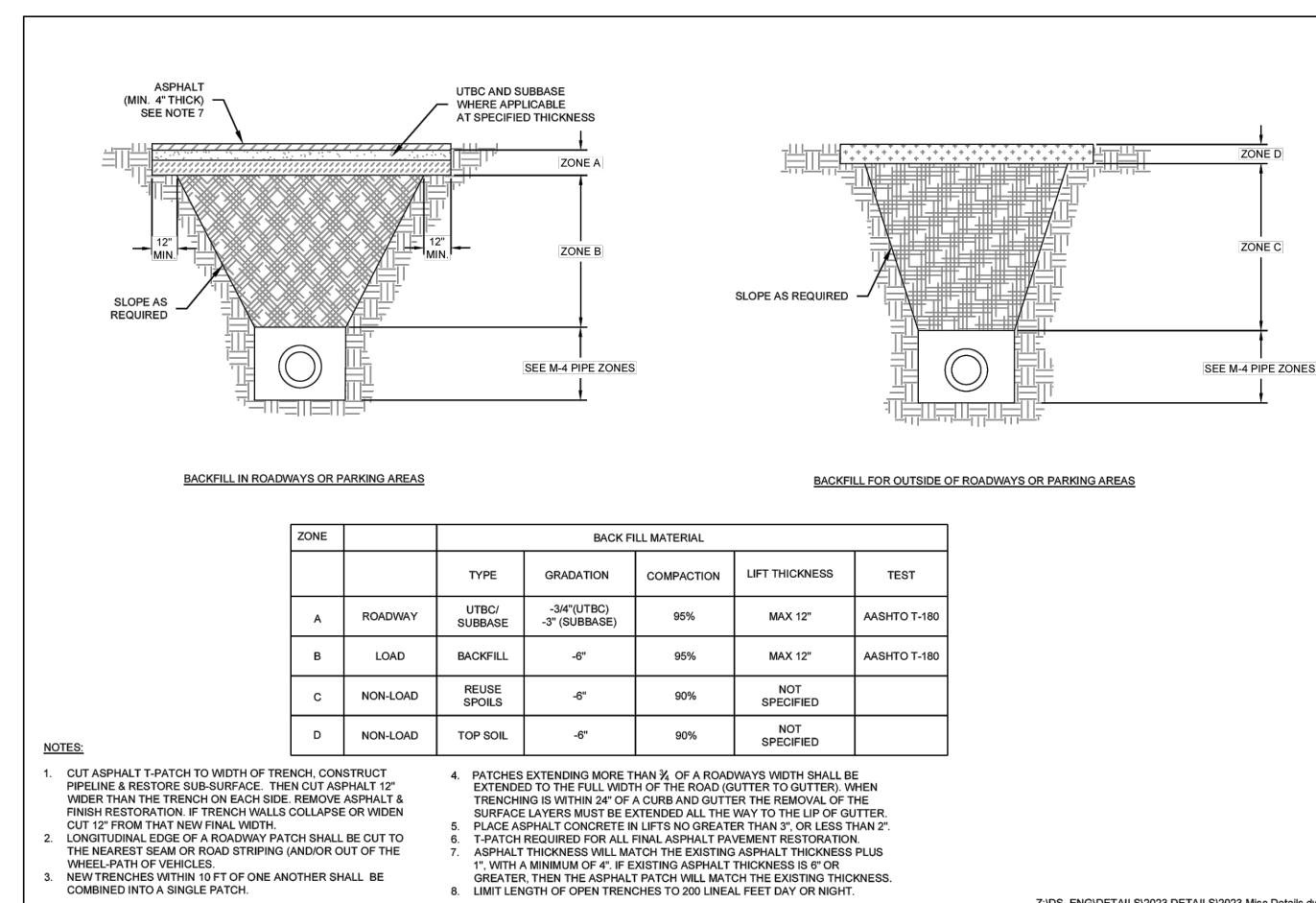
CONSTRUCTION STANDARD CITY OF OREM WATERMAIN TAPS W-10



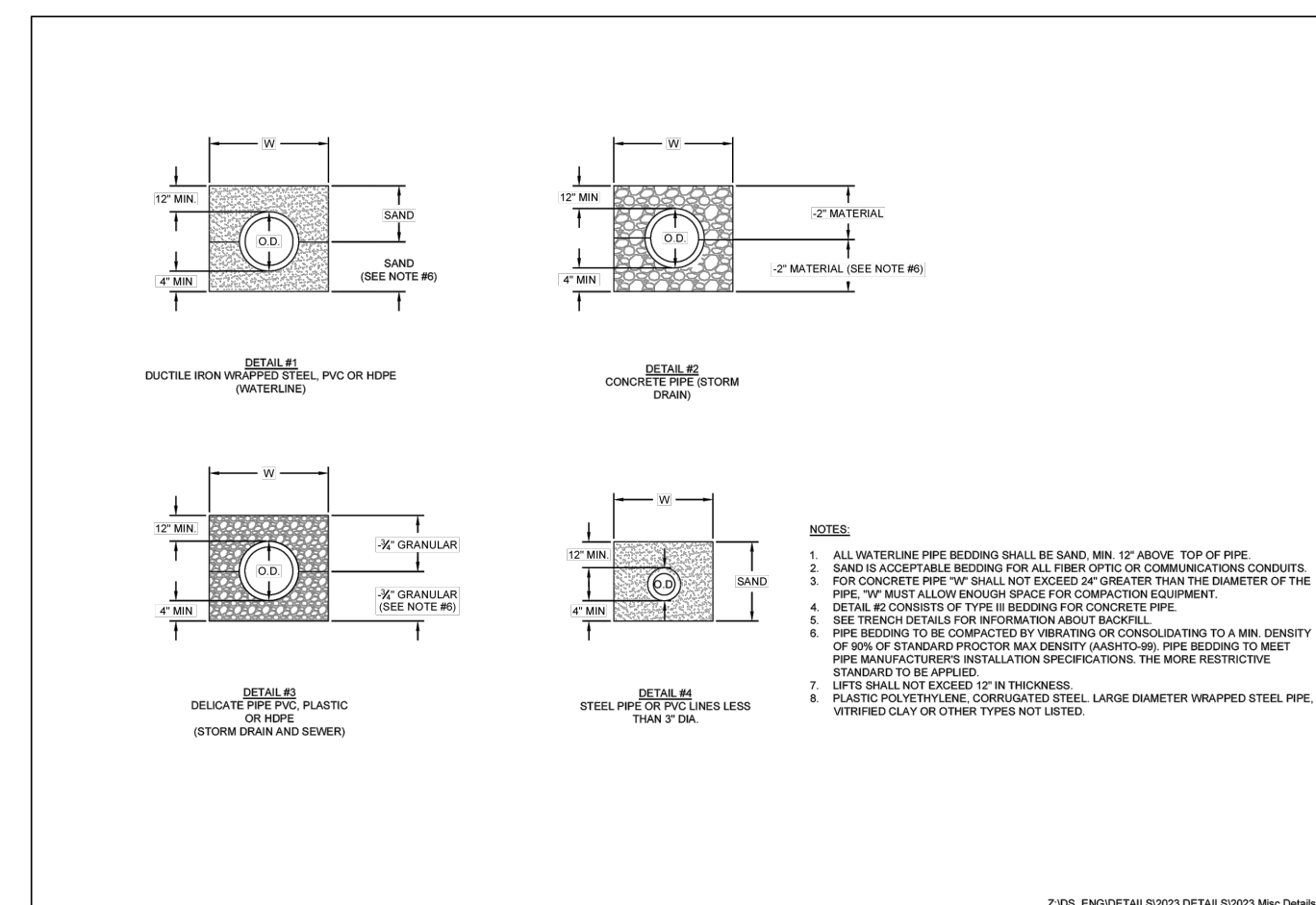
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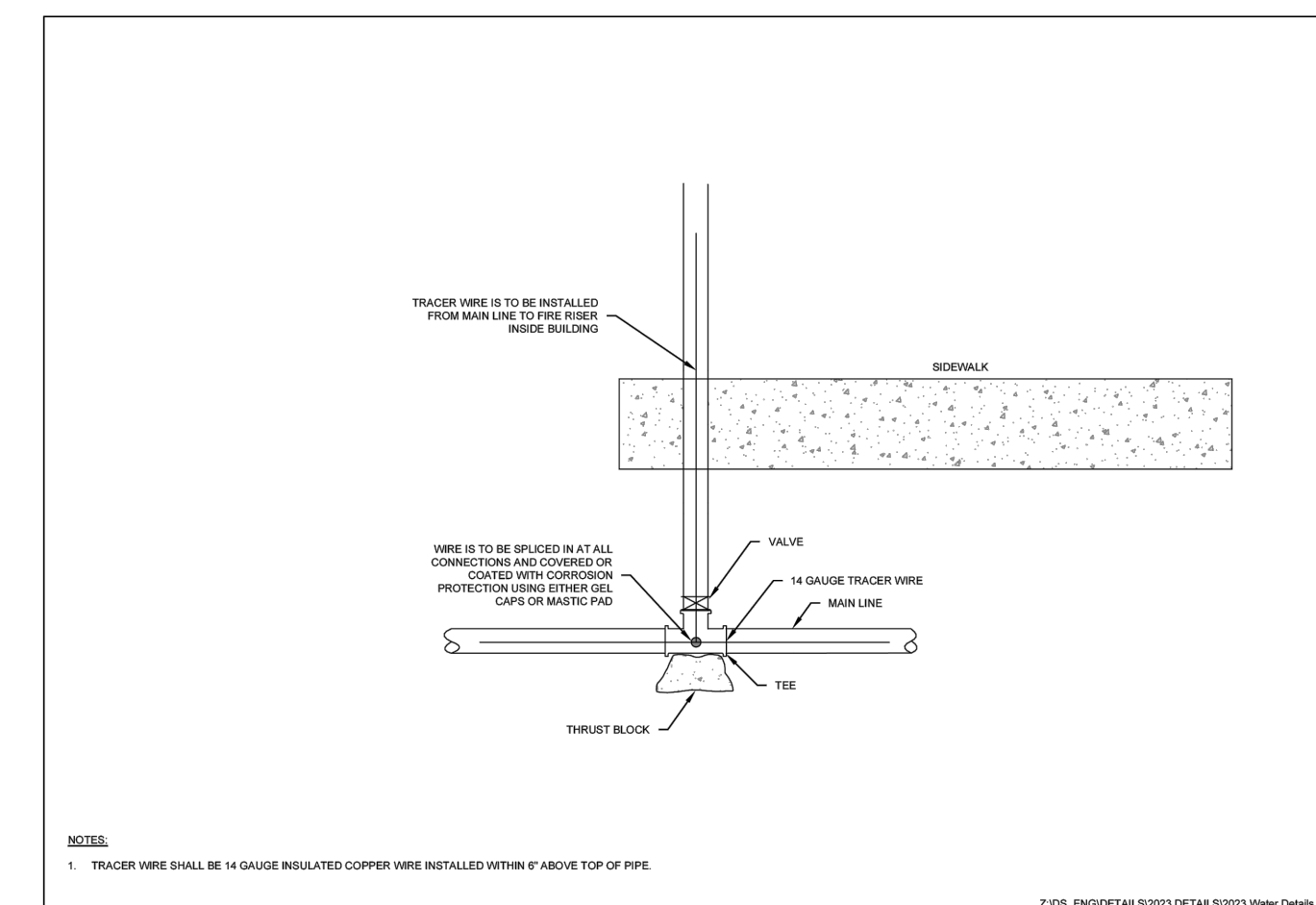
CONSTRUCTION STANDARD CITY OF OREM THRUST BLOCK SIZES W-8



CONSTRUCTION STANDARD CITY OF OREM TRENCH DETAILS M-3



CONSTRUCTION STANDARD CITY OF OREM PIPE ZONES M-4



CONSTRUCTION STANDARD CITY OF OREM FIRE LINE PLAN W-12

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Orem, Utah 84058  
801-224-1252

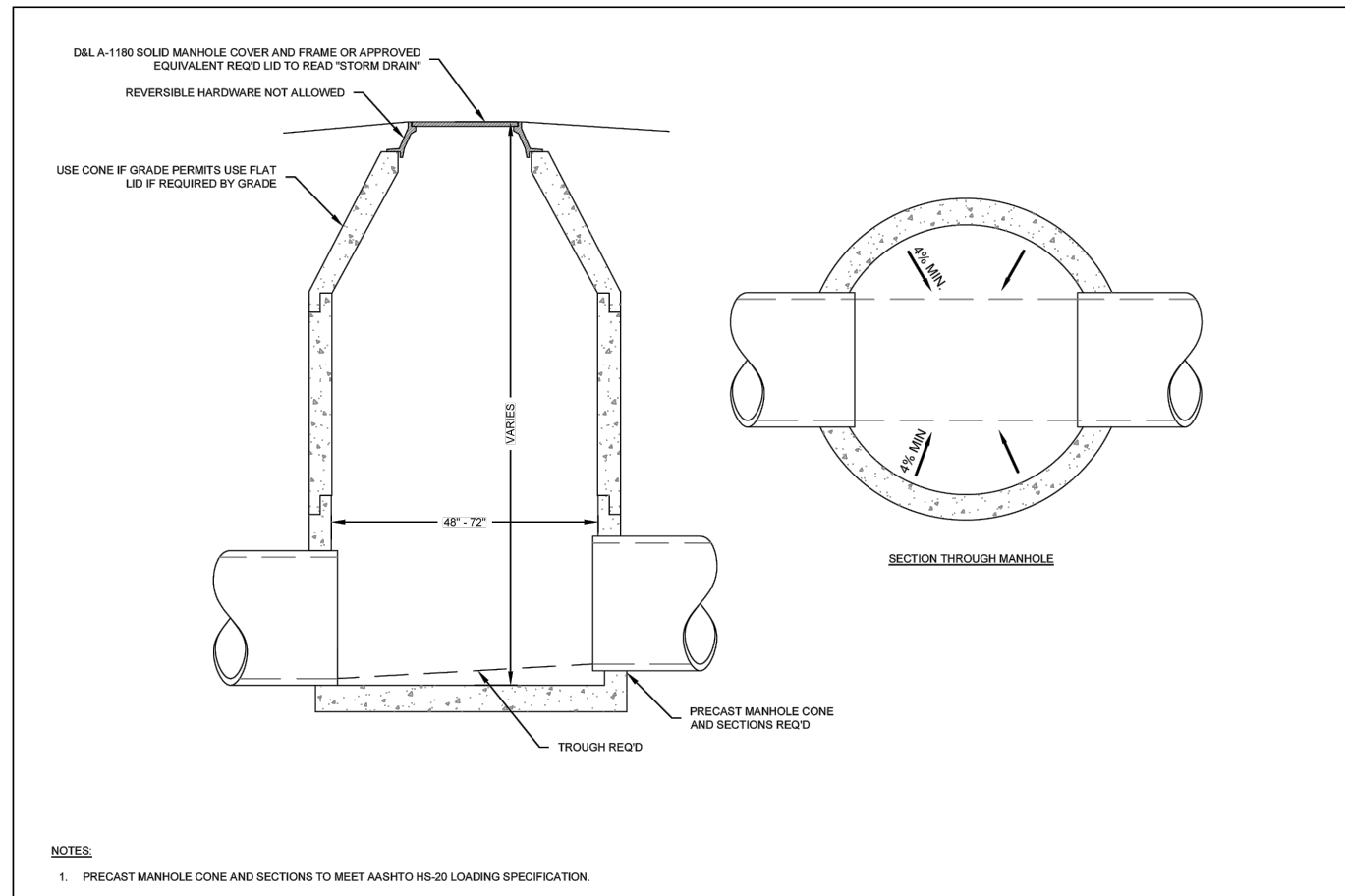
Water Detail Sheet

REVISIONS

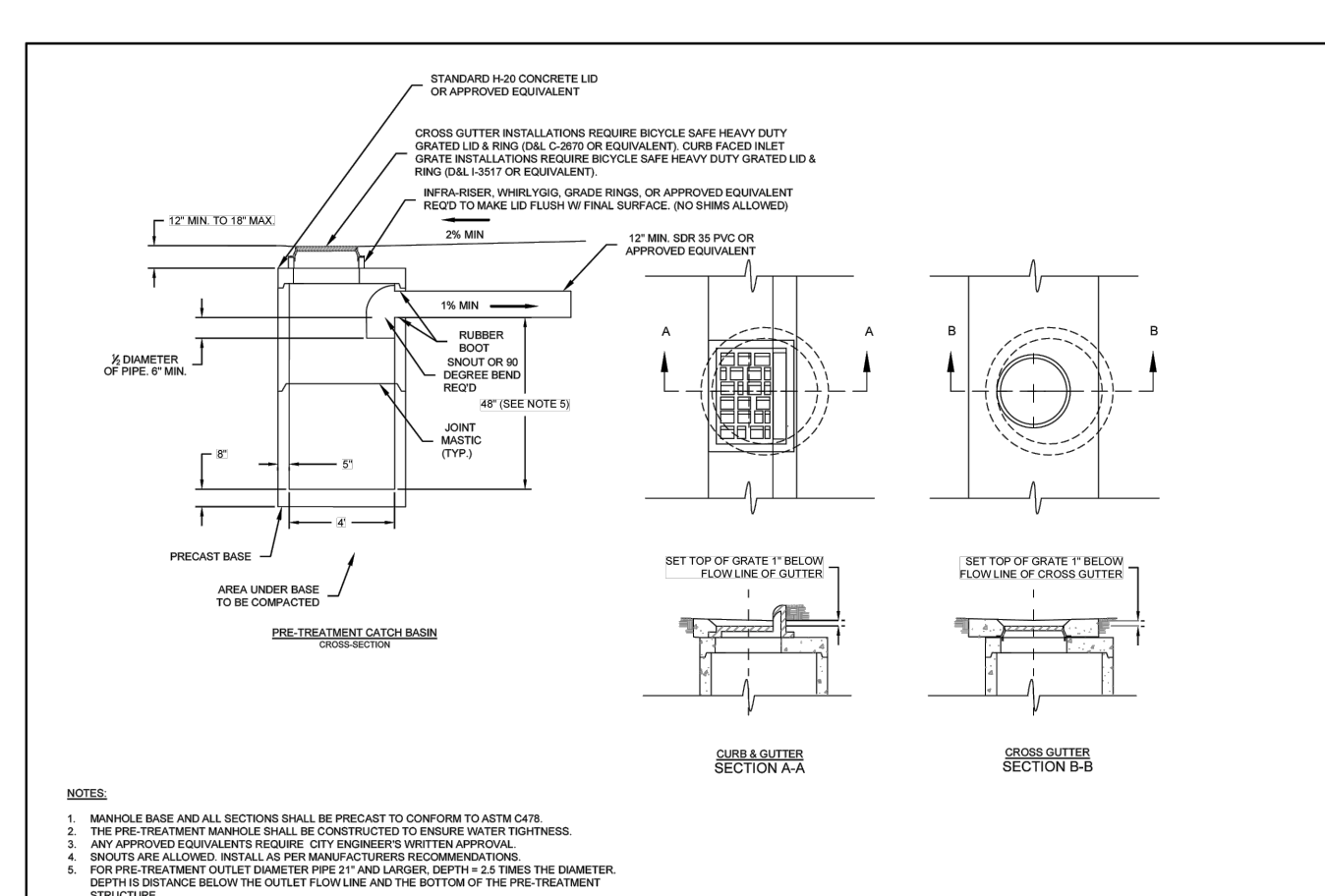
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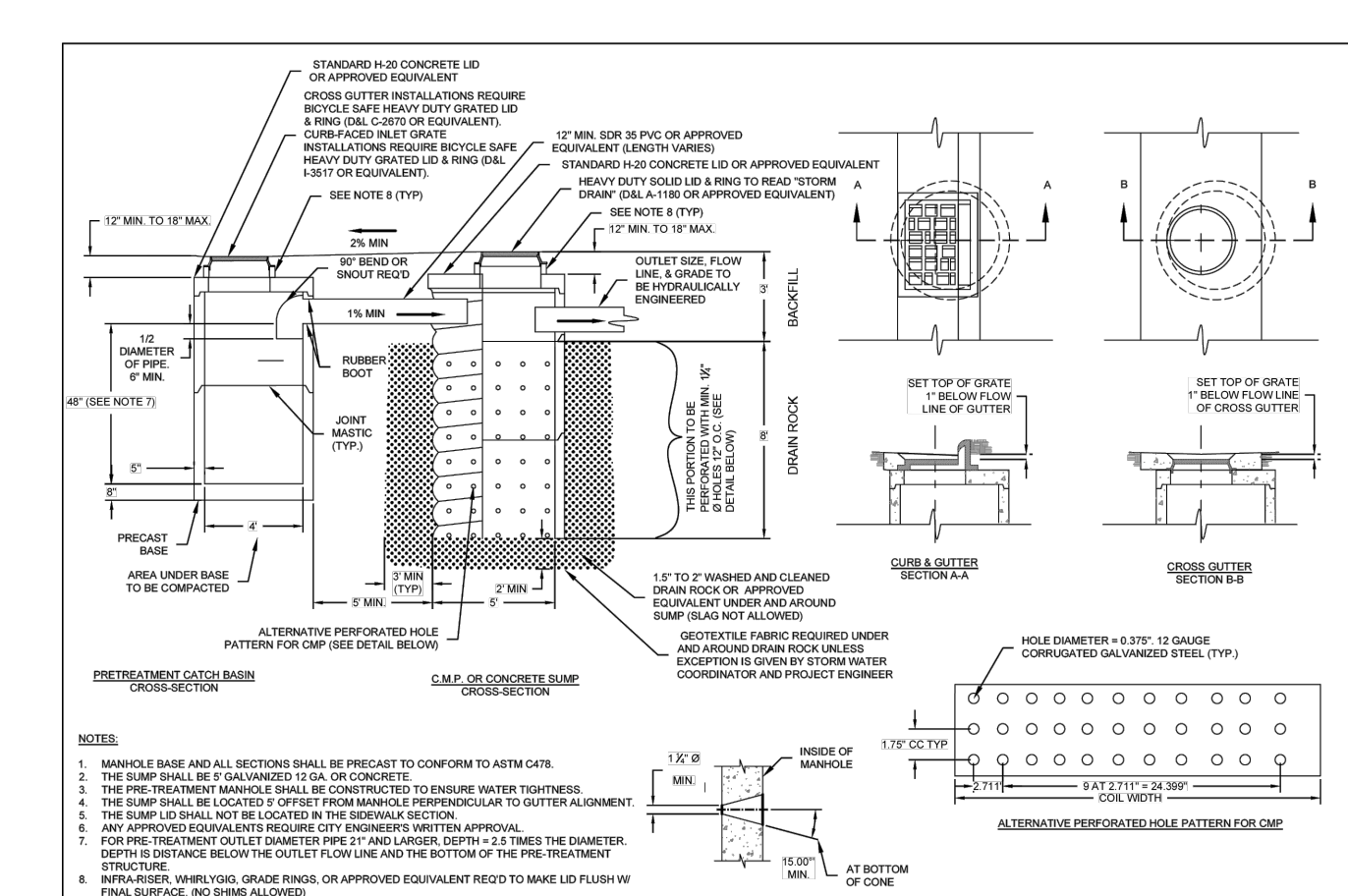
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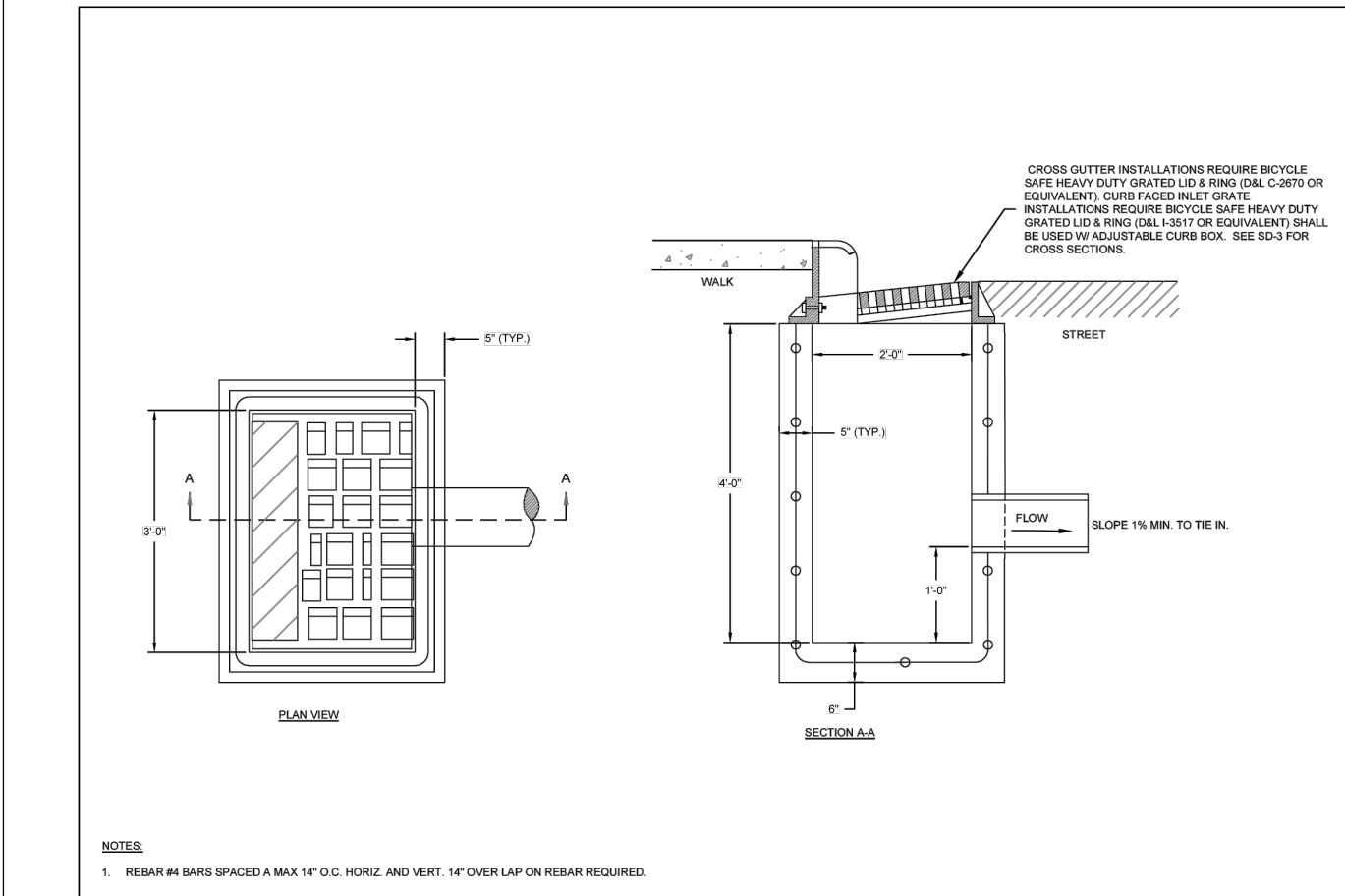
CONSTRUCTION STANDARD DRAWINGS CITY OF OREM 48\"/>



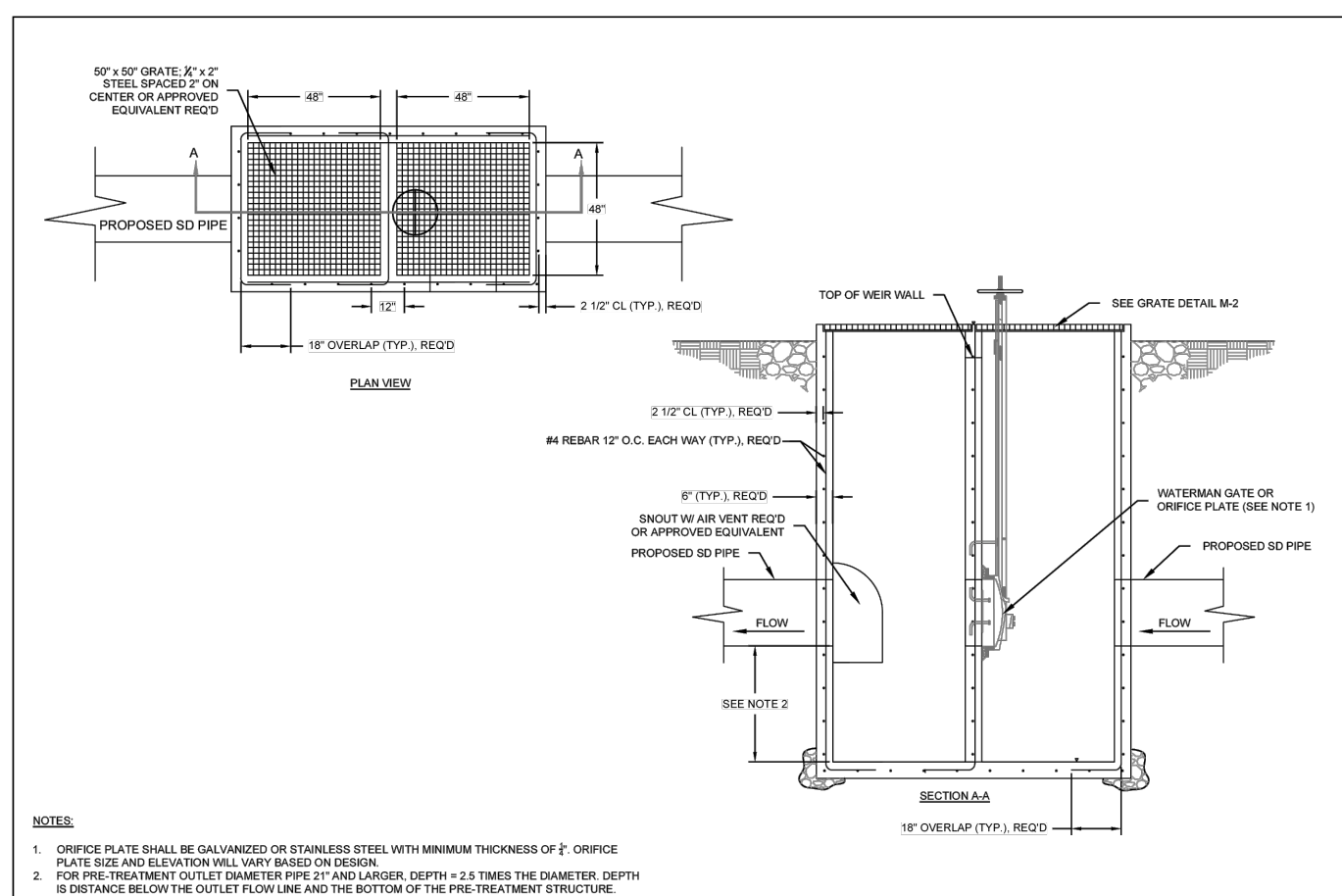
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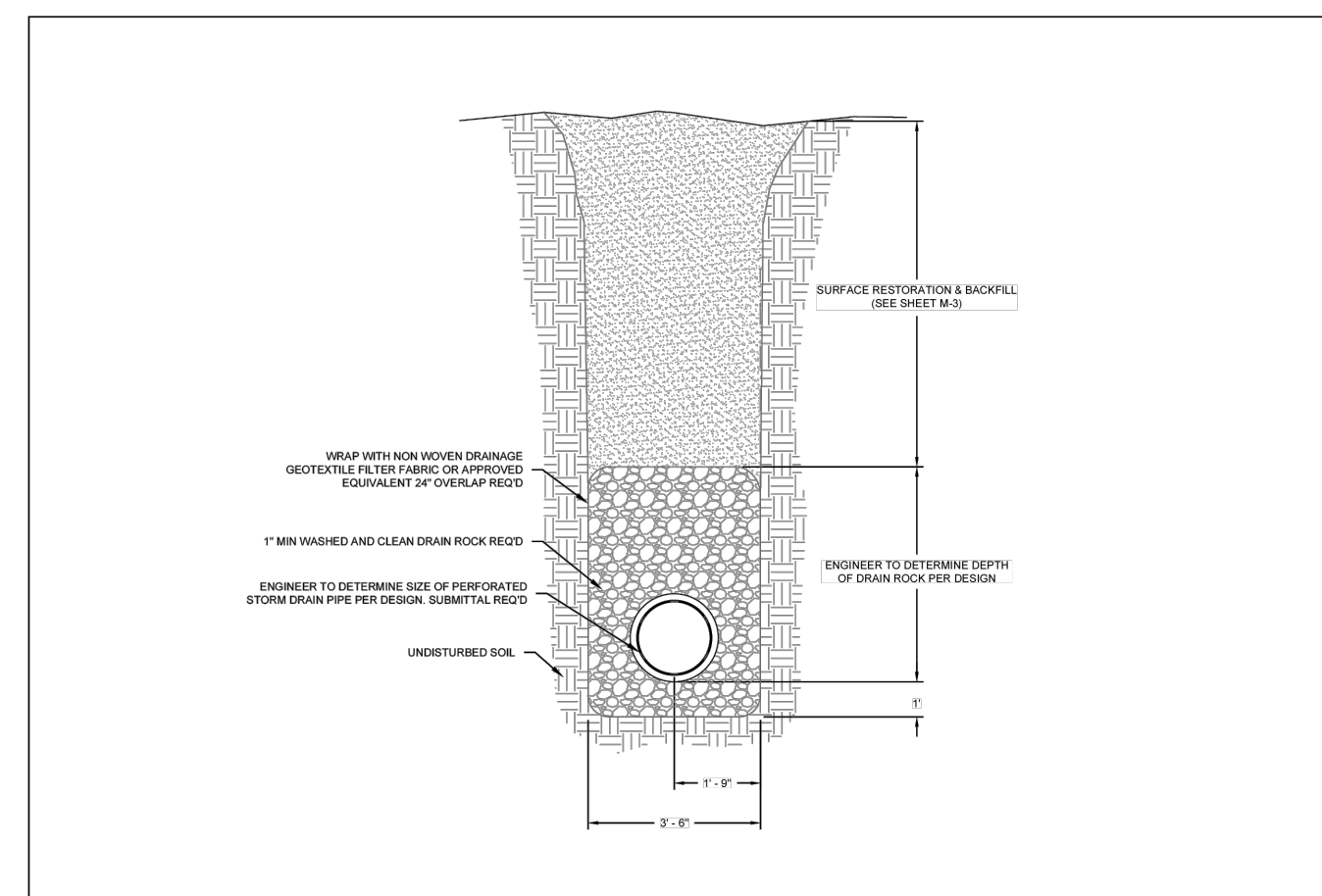
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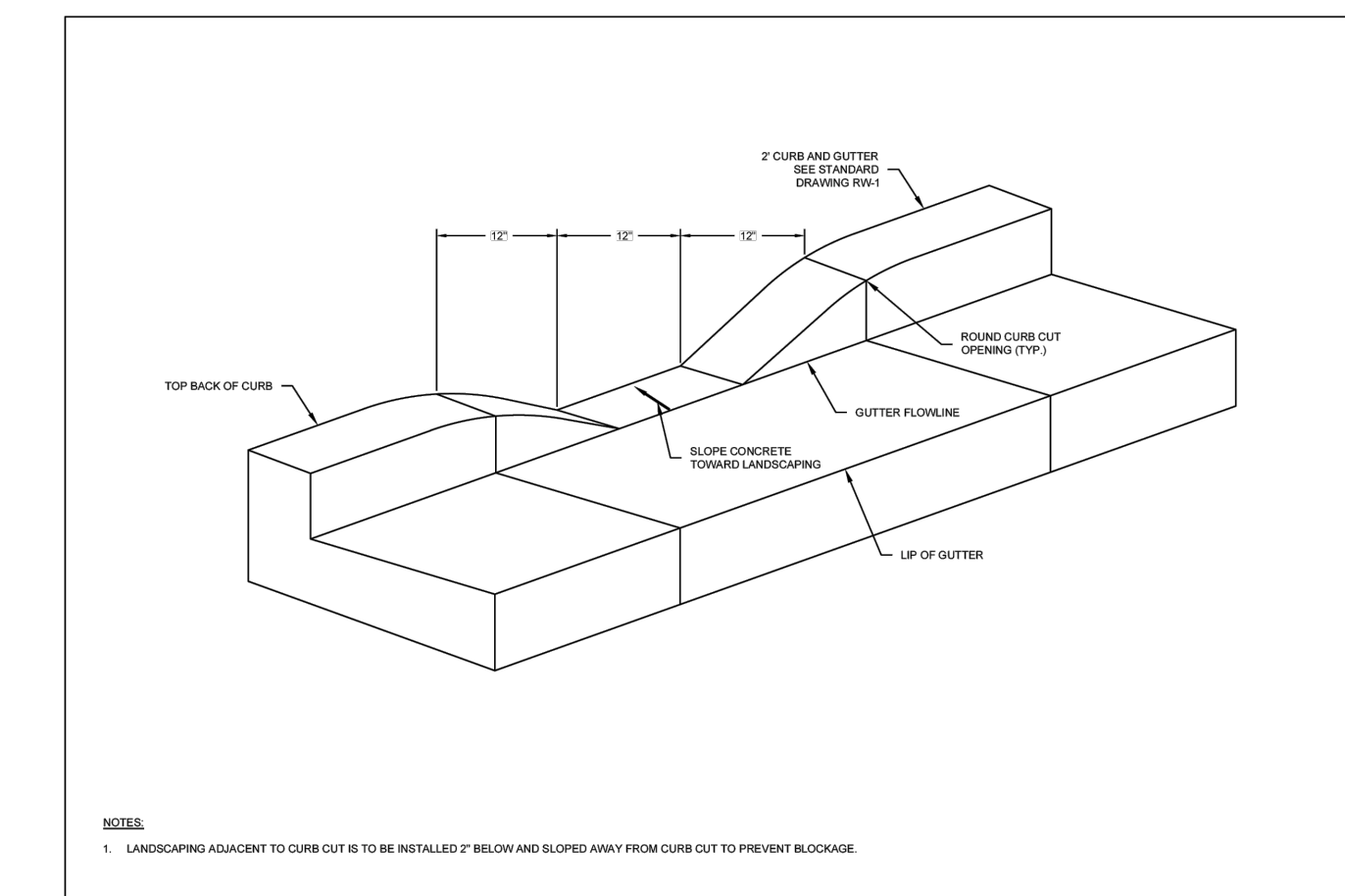
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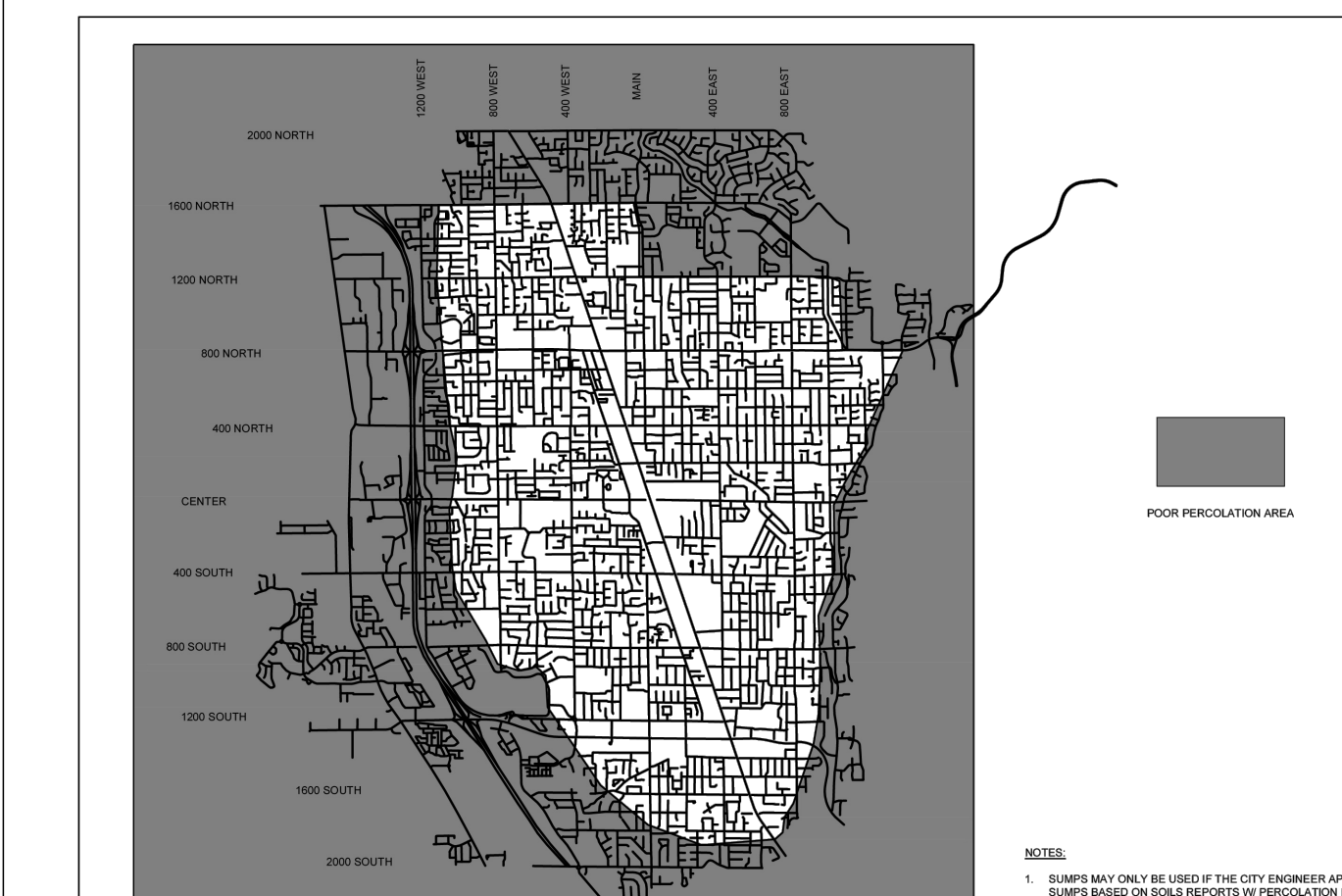
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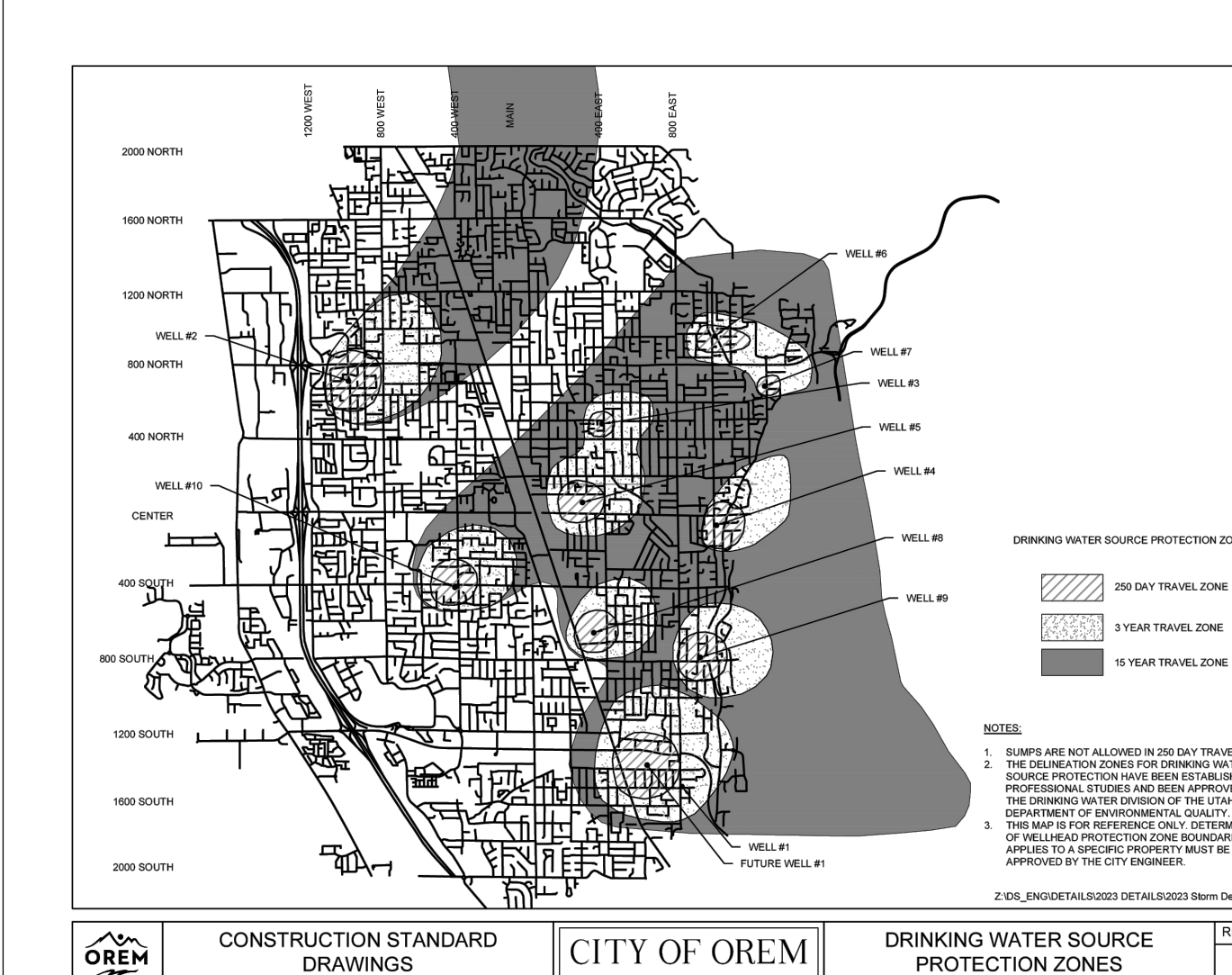
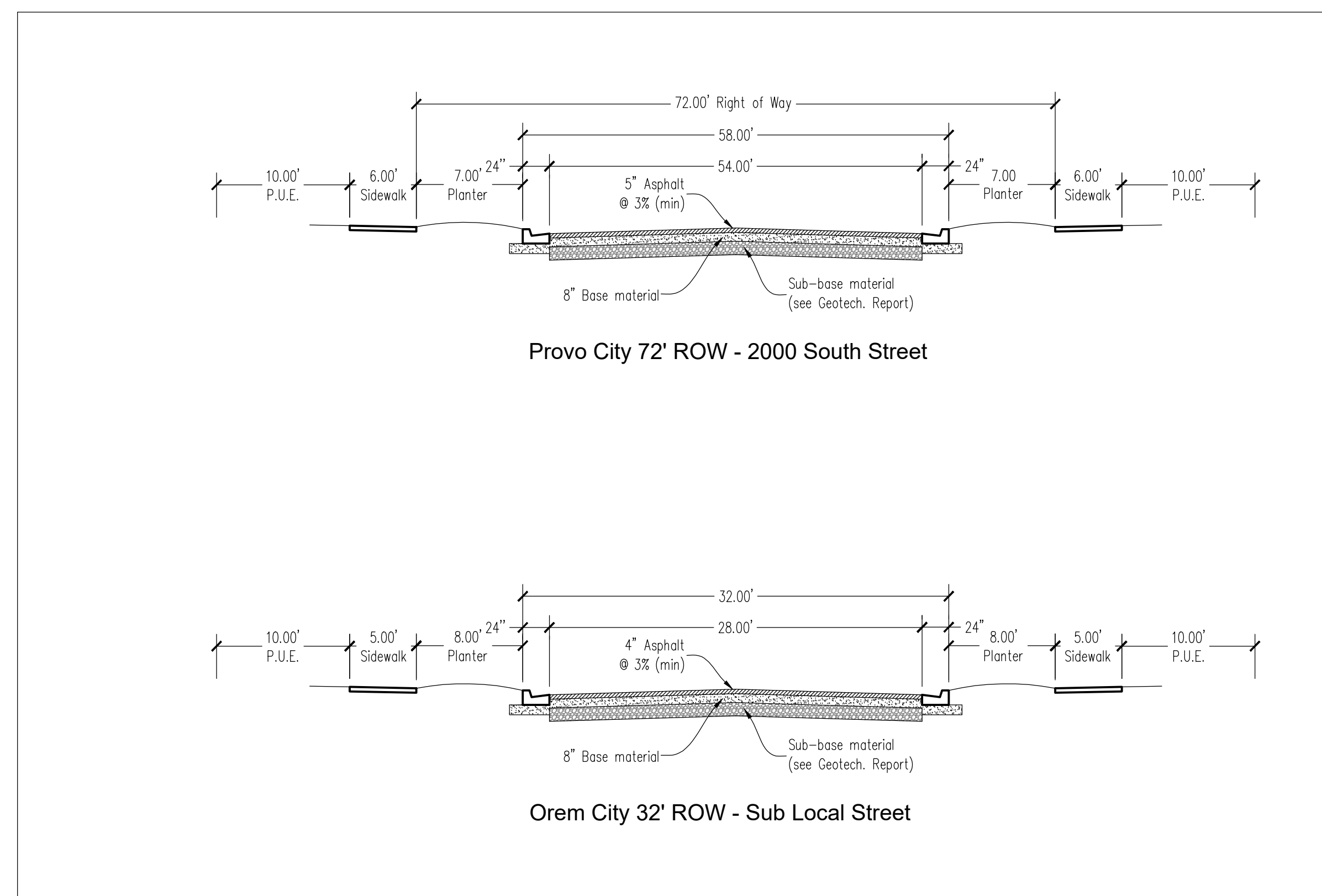
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CONSTRUCTION STANDARD DRAWINGS CITY OF OREM CURB CUT



CONSTRUCTION STANDARD DRAWINGS CITY OF OREM FLOOR PERCOLATION MAP



CONSTRUCTION STANDARD DRAWINGS CITY OF OREM DRINKING WATER SOURCE PROTECTION ZONES

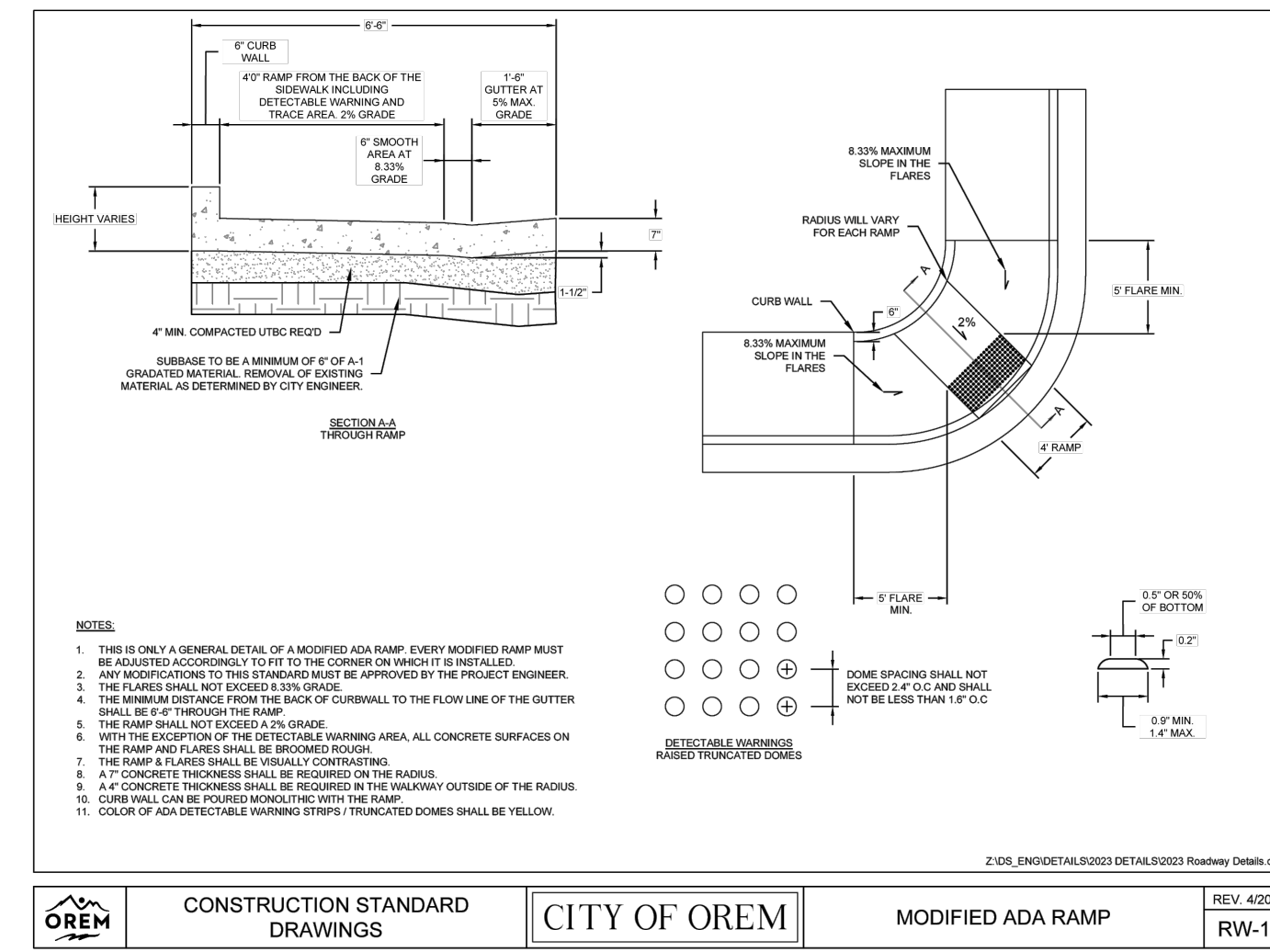
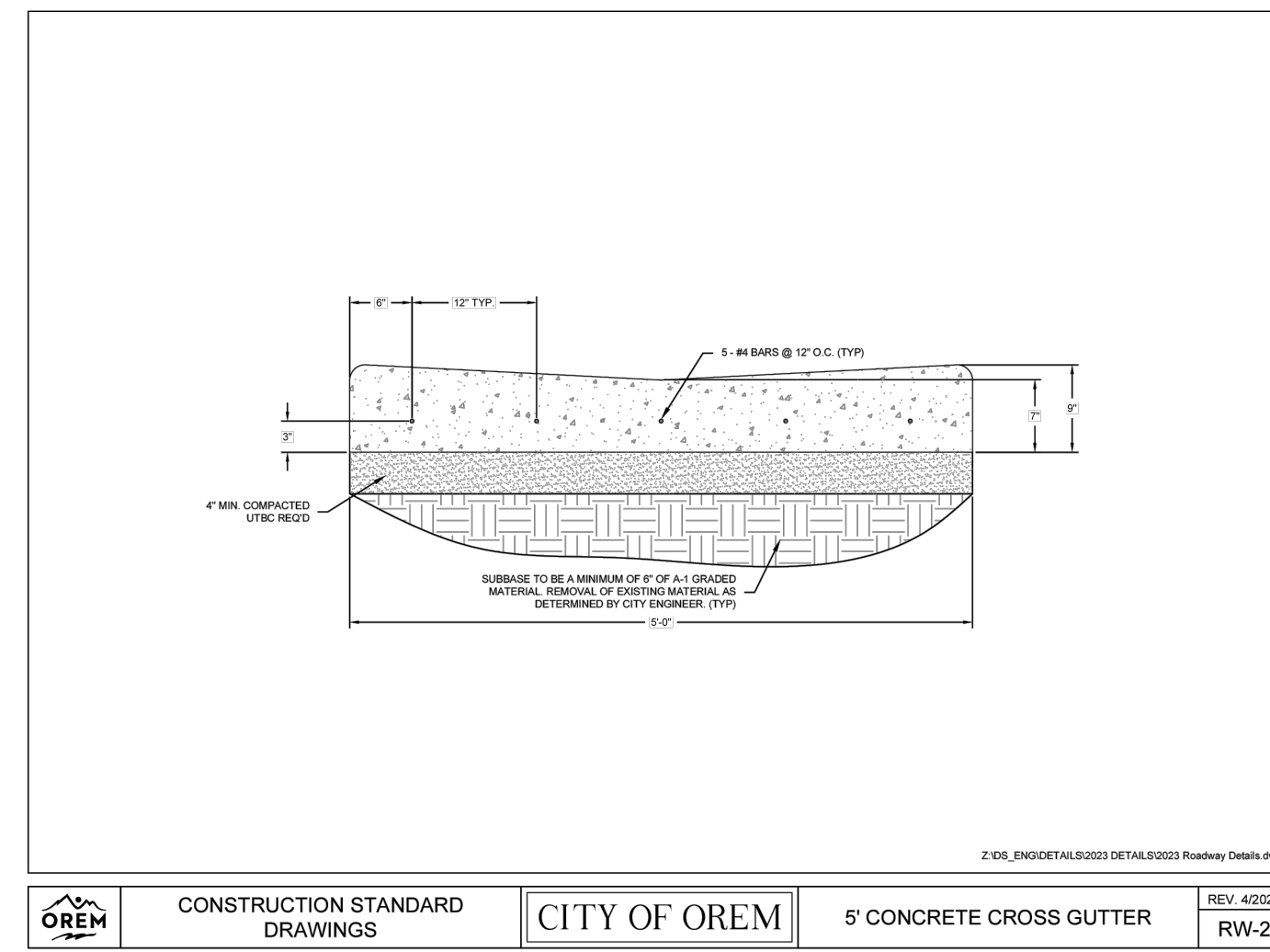
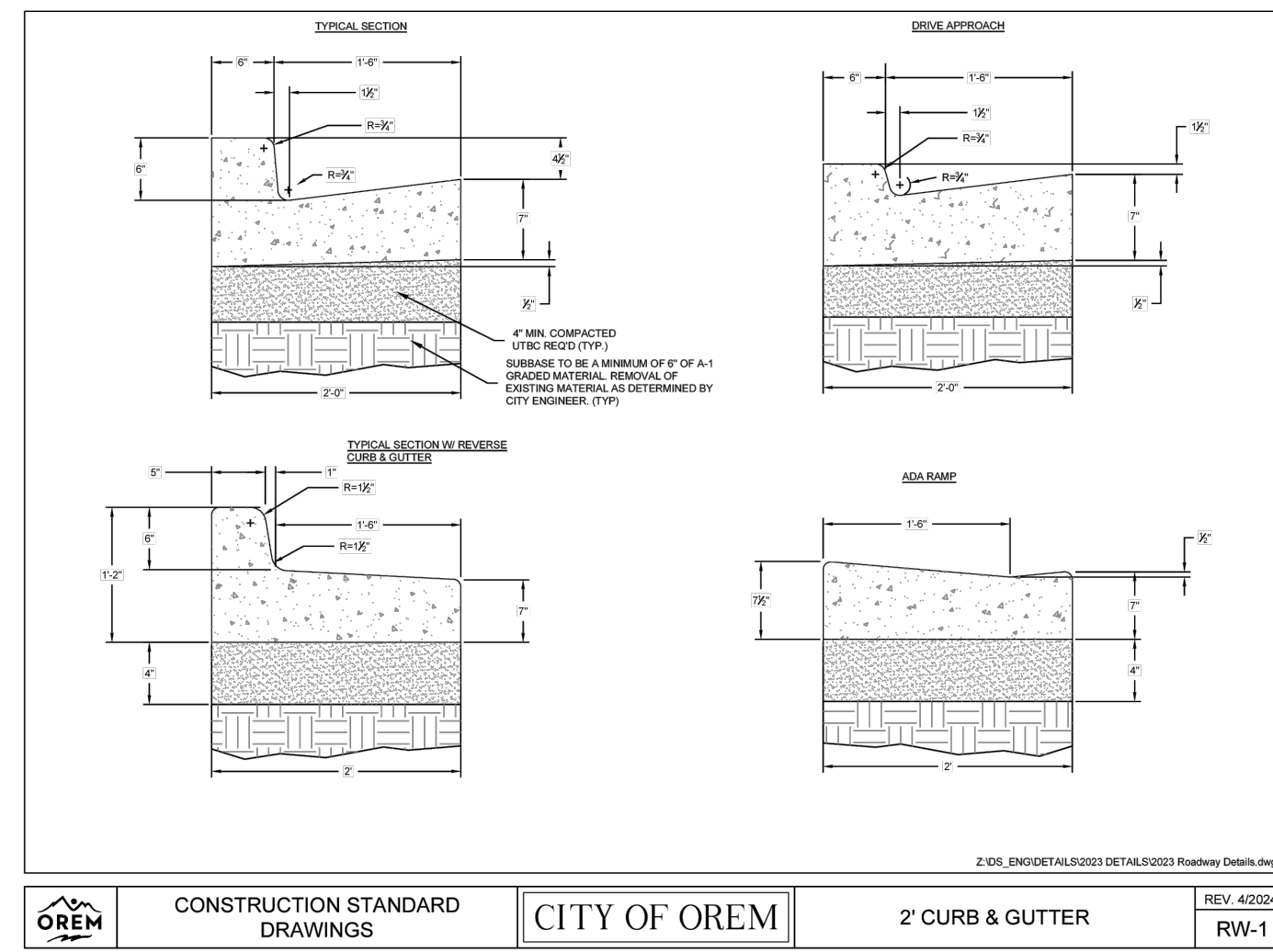
Dudley and Associates, Inc.  
 Engineers Planners Land Surveyors  
 353 East 1200 South  
 Orem, Utah 84058  
 801-224-1252

Storm Drain Detail Sheet  
 Utah  
 Orem City

REVISIONS


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**Trench Backfill & Surface Restoration**

1. GENERAL  
A. The offset for the second asphalt cut shall be measured from the edge of the final trench wall which may result from undermining of the asphalt or sloughing of the trench wall during the construction process as shown in the detail.  
B. If a new cut in the direction of vehicular travel is within a street path, ENGINEER may order additional pavement removal to save cut falls outside of a street path.  
C. If the width of existing pavement left in place between trenches and/or curb and gutter, waterway, edge of pavement, etc. is less than 3 feet, CONTRACTOR shall remove the additional existing pavement and restore pavement according to the typical pavement restoration details.  
D. Install pipe in the center of the trench or no closer than 6 inches from the wall of the pipe to the wall of the trench.

2. PRODUCT  
A. Curbed 18" Section 31 05 13M. Maximum particle size 2 inches.  
B. Gravel Section 31 05 13M. Do not use pea gravel or recycled RAP aggregate.  
C. Uncurbed Base Course. Uncurbed base course, Grade 3, APWA Section 32 11 23.  
D. Sand Section 31 05 13M. Do not use pea gravel or recycled RAP aggregate.  
E. Flowable Fill APWA Section 31 05 15. Target 40 psi in 28 days and 60 psi maximum in 28 days. Material must flow easily requiring no vibration for consolidation.  
F. Border Section 31 05 13M. Maximum particle size 3 inches.  
G. Drainage Border Section 31 05 13M. Maximum particle size 3 inches.  
H. Tack Coat APWA Section 32 12 13.  
I. Bituminous Concrete AC-10-OM-34 Section 32 12 04.  
J. Using Wearing Type: install between pipe zone and trench zone.

3. EXECUTION  
A. Excavate the Pipe Zone. Width is measured at the pipe spring line and includes an necessary sheathing. Provide width recommended by pipe manufacturer. Follow manufacturer's recommendations when using trench boxes.  
B. Foundation Stabilization. Use ENGINEER's permission before making common fill. Work to stabilize. Installation of stabilization/consolidation equipment will be required to separate backfill material and native subsurface material if common fill cannot provide a working surface or prevent soil migration.  
C. Pipe Base Placement APWA Section 32 05 13. Maximum lift thickness before compaction is 8 inches when using riding equipment or 6 inches when using hand tool compaction. Compaction of 8 inches or greater material to a modified proctor density APWA Section 32 22 26.  
D. Flowable Fill Where Required. Place controlled low strength material in the trench APWA Section 31 05 15. Cure to initial set before placing aggregate base or install pavement. Place pipe location by installing in the and providing pipe supports as required by pipe manufacturer. Place pipe to the and grade if pipe "float" out of position.  
E. Trench Backfill DO NOT USE pea gravel, one grade, or recycled RAP aggregate in trench backfill. Water pitting is NOT allowed. Submission of quality control compaction test results data developed for manufacturing may be requested by ENGINEER at any time. Provide results of tests immediately upon request. Moisture material obtained from excavation may be used as fill upon removal of organic material, cobbles, sticks, and other objectionable materials are removed.  
F. Tack Coat. Clean all horizontal and vertical surfaces. Apply full coverage.  
G. Asphalt Pavement. Match existing thickness plus 1 inch but not more than 6 inches on total streets or 8 inches on collector and arterial streets (as identified by Project CD). Install in lifts no greater than 3 inches for compaction. Compact to 98 percent of AASHTO D 2941 (road density) plus or minus 2 percent if asphalt pavement is substituted for concrete subbase, curb, and gutter and provide 1.5 inches of pavement for each 1 inch of concrete subbase/subgrade.  
H. Concrete Subbase. Cure to initial set before placing new asphalt concrete.  
I. Replacement. Required if thickness of existing Portland cement concrete subbase is 6 inches or greater. Not required if (1) less than 6 inches thick, (2) existing concrete is deteriorating, (3) if elevation is less than 3 feet square, or (4) if asphalt pavement is substituted for Portland cement concrete subbase.  
J. Surface Restoration  
J.A. Landscaped Surface. Re-tiler to match existing grade. Replace vegetation to match pre-construction conditions. Follow APWA Section 32 92 00 (soil and grass).  
J.B. Paved Surface. Do not install asphalt of concrete surfacing until trench compaction is acceptable to ENGINEER. Follow APWA Section 32 05 25 (asphalt surfacing).  
K. Joint Repair. If Crack Occurs at a connection to the existing pavement or any street future, flush and seal the crack per APWA Plan 265.  
L. Patch Repair. Repair patch any of the following conditions within the trench zone:  
L.A. Placement surface elevation exceeds 2-inch deviation in 10-foot repair section. Place off surface distortions. Coat placed surface with a calcium or acrylic emulsion and complete with APWA Section 32 12 13.  
L.B. Cracks at least 1/8 inch long and 1/4 inch wide occur more often than 1 in 10 square feet. Repair joint. Crack seal. APWA Section 32 01 17.  
L.C. Asphalt ravelling greater than 1 square foot per 100 square feet. Repair Option: Mill and Patch.

PROVO PUBLIC WORKS  
TRENCH BACKFILL AND SURFACE RESTORATION  
STANDARD DETAIL P-255  
NOT TO SCALE  
REVISED DATE: 11/29/15

**TRENCH BACKFILL AND SURFACE RESTORATION**

STORM DRAIN  
LOCATION: TRENCH  
FOUNDATION: TRENCH WALL  
CONCRETE: 4" MIN. THICKNESS  
REINFORCEMENT: 1" DIA. BARS @ 18" O.C.  
FINISH GRADE: 2" MIN. THICKNESS  
SUBGRADE: 4" MIN. THICKNESS  
DRAINAGE: 1" DIA. BARS @ 18" O.C.  
CONCRETE: 4" MIN. THICKNESS  
REINFORCEMENT: 1" DIA. BARS @ 18" O.C.  
FINISH GRADE: 2" MIN. THICKNESS  
SUBGRADE: 4" MIN. THICKNESS

WATER LINE  
LOCATION: TRENCH  
FOUNDATION: TRENCH WALL  
CONCRETE: 4" MIN. THICKNESS  
REINFORCEMENT: 1" DIA. BARS @ 18" O.C.  
FINISH GRADE: 2" MIN. THICKNESS  
SUBGRADE: 4" MIN. THICKNESS

SANITARY SEWER  
LOCATION: TRENCH  
FOUNDATION: TRENCH WALL  
CONCRETE: 4" MIN. THICKNESS  
REINFORCEMENT: 1" DIA. BARS @ 18" O.C.  
FINISH GRADE: 2" MIN. THICKNESS  
SUBGRADE: 4" MIN. THICKNESS

PROVO PUBLIC WORKS  
TRENCH BACKFILL AND SURFACE RESTORATION  
STANDARD DETAIL P-255  
NOT TO SCALE  
REVISED DATE: 11/29/15

**RESIDENTIAL/TRAIL STREET LIGHTING**

1. USE THE INLINE FUSE HOLDER APPROVED BY CITY.  
2. USE SINGLE CONDUCTOR COPPER CABLE NO. 18 AWG TYPE THIN, THIN OR THINWALL FOR ALL CONDUCTORS.  
3. FURNISH POWER SOURCE AND INSTALL AS SHOWN.  
4. USE NO. 10 AWG SOLID COPPER GROUND WIRE.  
5. WHEN LIGHTS ARE CONNECTED IN SERIES INSTALL AN INJECTION BOX NEXT TO EACH LIGHT POLE BASE.  
6. PROVIDE PROTECTION ON SERIES METALLIC CONDUIT TO BE ABOVE FINISHED GRADE.  
7. USE 1/2" DIA. BARS @ 18" O.C. FOR ALL REBAR.  
8. BASE PAINT A RED-BROWN ANEAL SILENT POLE BASE OR APPROVED EQUIVALENT.

PROVO PUBLIC WORKS  
TRENCH BACKFILL AND SURFACE RESTORATION  
STANDARD DETAIL P-255  
NOT TO SCALE  
REVISED DATE: 11/29/15

**CORRIDOR STREET LIGHTING**

1. USE THE INLINE FUSE HOLDER APPROVED BY CITY.  
2. USE SINGLE CONDUCTOR COPPER CABLE NO. 18 AWG TYPE THIN, THIN OR THINWALL FOR ALL CONDUCTORS.  
3. FURNISH POWER SOURCE AND INSTALL AS SHOWN.  
4. USE NO. 10 AWG SOLID COPPER GROUND WIRE FROM GROUNDING BUS TO GROUNDING BUS.  
5. WHEN LIGHTS ARE CONNECTED IN SERIES INSTALL AN INJECTION BOX NEXT TO EACH LIGHT POLE BASE.  
6. PROVIDE PROTECTION ON SERIES METALLIC CONDUIT TO BE ABOVE FINISHED GRADE.  
7. USE 1/2" DIA. BARS @ 18" O.C. FOR ALL REBAR.  
8. BASE PAINT A RED-BROWN ANEAL SILENT POLE BASE OR APPROVED EQUIVALENT.

PROVO PUBLIC WORKS  
TRENCH BACKFILL AND SURFACE RESTORATION  
STANDARD DETAIL P-255  
NOT TO SCALE  
REVISED DATE: 11/29/15

**(for 2000 South Street)**

24" LOW-BACK CONCRETE CURB & GUTTER  
8" MIN. COMPACTED UTIC REED (TYP.)  
SUBBASE TO BE A MINIMUM OF 8" OF A-1 GRADATED MATERIAL REMOVAL OF EXISTING MATERIAL AS DETERMINED BY CITY ENGINEER, (TYP.)  
DOWELS RECD 1" DIA REBAR AT 24" O.C.

DRIVE APPROACH W/ 2' CURB AND GUTTER, 8' PARK STRIP AND 5' SIDEWALK  
REV. 4/2024  
RW-18

**POWER POLE RISER**

1. USE SINGLE CONDUCTOR COPPER CABLE NO. 18 AWG TYPE THIN, THIN OR THINWALL FOR ALL CONDUCTOR.  
2. USE BROWN POWER SOURCE AND INSTALL AS SHOWN.  
3. USE NO. 10 AWG SOLID COPPER GROUND WIRE.  
4. PROVIDE PROTECTION ON SERIES METALLIC CONDUIT TO BE ABOVE FINISHED GRADE.  
5. MEET LOCAL POWER UTILITY SERVICE REQUIREMENTS.

PROVO PUBLIC WORKS  
TRENCH BACKFILL AND SURFACE RESTORATION  
STANDARD DETAIL P-255  
NOT TO SCALE  
REVISED DATE: 11/29/15

**CORRIDOR STREET LIGHTING W/ CONCRETE BASE**

1. USE THE INLINE FUSE HOLDER APPROVED BY CITY.  
2. USE SINGLE CONDUCTOR COPPER CABLE NO. 18 AWG TYPE THIN, THIN OR THINWALL FOR ALL CONDUCTORS.  
3. FURNISH POWER SOURCE AND INSTALL AS SHOWN.  
4. USE NO. 10 AWG SOLID COPPER GROUND WIRE FROM GROUNDING BUS TO GROUNDING BUS.  
5. WHEN LIGHTS ARE CONNECTED IN SERIES INSTALL AN INJECTION BOX NEXT TO EACH LIGHT POLE BASE.  
6. PROVIDE PROTECTION ON SERIES METALLIC CONDUIT TO BE ABOVE FINISHED GRADE.  
7. USE 1/2" DIA. BARS @ 18" O.C. FOR ALL REBAR.  
8. BASE PAINT A RED-BROWN ANEAL SILENT POLE BASE OR APPROVED EQUIVALENT.

PROVO PUBLIC WORKS  
TRENCH BACKFILL AND SURFACE RESTORATION  
STANDARD DETAIL P-255  
NOT TO SCALE  
REVISED DATE: 11/29/15

**Dudley and Associates, Inc.**  
Engineers Planners Land Surveyors  
353 East 1200 South  
Orem, Utah 84058  
801-224-1252

Utah  
**Lighting and Street Detail Sheet**  
Orem City

REVISIONS

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12-29-2025  
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SHEET No.  
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**PLANNING COMMISSION**  
March 18<sup>th</sup>, 2026

**Item 4.2**

**Berkshire Plat U**  
**1469 South 1020 East**

Plat Amendment  
Combining 2 single family lots into one double frontage lot

**Prepared By:**  
Rebecca Gourley

**Applicant:**  
Ty Mattingly

**Notices:**

Posted in 2 public places.  
Posted on City Webpage and City hotline.  
Posted at Utah.gov/pmn.

**Site Information:**

General Plan Designation:  
**Low Density Residential**

Zoning: PD-18,  
**“Residential Estate” - Single Family**

Total Acreage: **1.26-acre combined**

**Action:**

The Planning Commission is the Land Use Authority and the approving body for this item.

**REQUEST:** The applicant requests approval to combine two lots into one to allow for the creation of a pool in the backyard.

**BACKGROUND:** The applicant, Ty Mattingly, applied for a plat amendment on January 16<sup>th</sup>, 2026. Mr. Mattingly lives at 1469 South 1020 East, and owns the vacant lot located directly behind the property at 1470 South 1080 East. He is proposing to combine the lots so that he may include the area in his future backyard plans, which include a terraced patio, covered deck, putting green, sledding hill, pool, spa, pool house, and additional lawn and garden space. Also proposed is a 6-ft wide access gate fronting 1080 East. No new curb cuts or changes to the Public Utility Easement (PUE) have been proposed.



*Figure 1, Existing lots at 1469 South 1020 East and 1470 South 1080 East*

If approved, the plat amendment will result in a double frontage lot. Per section 17-7-10(E), additional conditions for approval will apply. These regulations are described below.

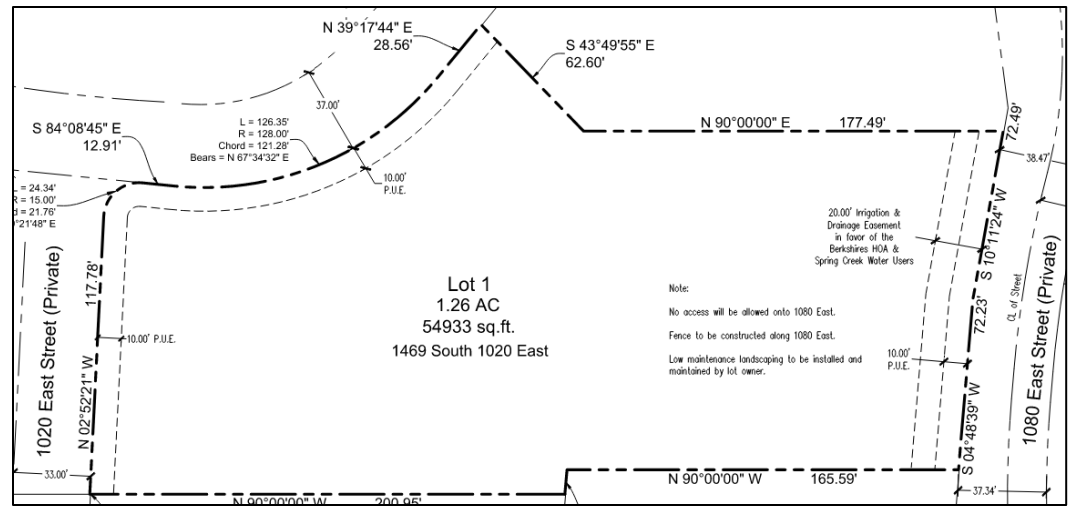


Figure 2, Proposed plat amendment

**REVIEW:**

**Zoning:** The subject properties and all surrounding lots are zoned PD-18, “Residential Estate.” The PD-18 zone is a single-family zone that has larger than standard side yard and front yard setbacks for the main dwelling, allows for 10 ft tall residential fences and a maximum building height of 55 ft (*Ref. 22-1-30*). The minimum lot size is 0.5 acres. The proposed plat amendment would result in a 1.26-acre lot.



Figure 3, Proposed landscaping plan (enlarged and included in Agenda Packet)

**Double Frontage Requirements:**

Per section 17-7-10(E), a double frontage lot may be allowed if, “*In the opinion of the City, it is necessary to reduce traffic hazards, allow for unusual site conditions, or if a proposed subdivision and any area adjacent thereto will be aesthetically enhanced thereby.*” The rear portions of the lot that are adjacent to a street must be enclosed by a site-obscuring fence no greater than six feet (6’).

To satisfy these requirements, the applicant has proposed to fully enclose the rear yard with a 6 ft tall aluminum fence, and to create a 6 ft wide landscaped park strip along 1080 East. To ensure ease of access for landscaping maintenance, the applicant has also proposed a 6 ft wide gate on the rear fence.

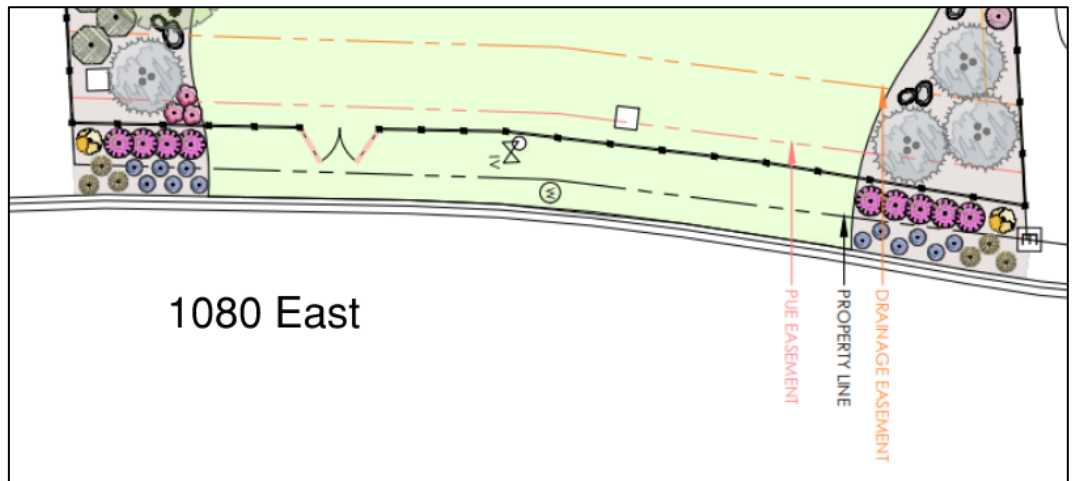
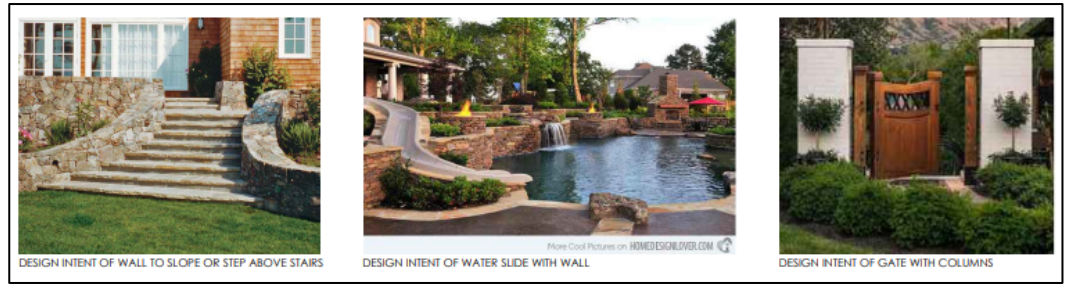


Figure 4, Proposed landscaping elements (above) & Figure 5, Proposed landscape strip (below)

No portion of the fence, landscaping, or gate conflict with clear vision codes.

**Conditions for Approval:** To ensure the upkeep of the landscaping strip and meet the requirements of 17-7-10(E), Legal Staff requests the following conditions, should the Commission choose to approve the plat amendment:

1. The submitted landscaping plan shall be approved as a part of the plat amendment.
2. The rear access gate shall be approved as part of the plat amendment.
3. The applicant shall enter into a Development Agreement, ensuring the continued maintenance of the landscaped strip along 1080 East, as exhibited by the adopted landscaping plan. This agreement shall run with the land. Any changes to the plan or agreement must be applied for; This includes but is not limited to: changes in landscaping material, laying of pavement, and new curb cuts.

**Performance Bonds:**

If the plat amendment is approved, a bond ensuring the construction of a site-obscuring fence and installation of landscaping will be required.

**DEVELOPMENT REVIEW COMMITTEE:** The Development Review Committee (DRC) reviewed the plat amendment application on Monday, March 9<sup>th</sup>, 2026. The DRC determined that the double frontage lot would not impact traffic flow, and the park strip would contribute to enhancing the aesthetics of the neighborhood. The DRC unanimously recommended approval to the Planning Commission.

**ACTIONS:** The Planning Commission is the designated Land Use Authority for plat amendments. The Commission may approve or deny the request for a plat amendment or may choose to continue their consideration of the request and ask for additional information or analysis. If the plat amendment is approved, city staff will coordinate with the applicants to prepare bonds, fees, and a mylar for recording. Staff has noted conditions that should be included if the Planning Commission chooses to approve the plat amendment subdivision.

**DRAFT CONDITION:**

Motion to Approve or Deny:

“I move that the Planning Commission [choose: **APPROVE** or **DENY**] the Plat Amendment for Berkshire Plat U subject to the following conditions:

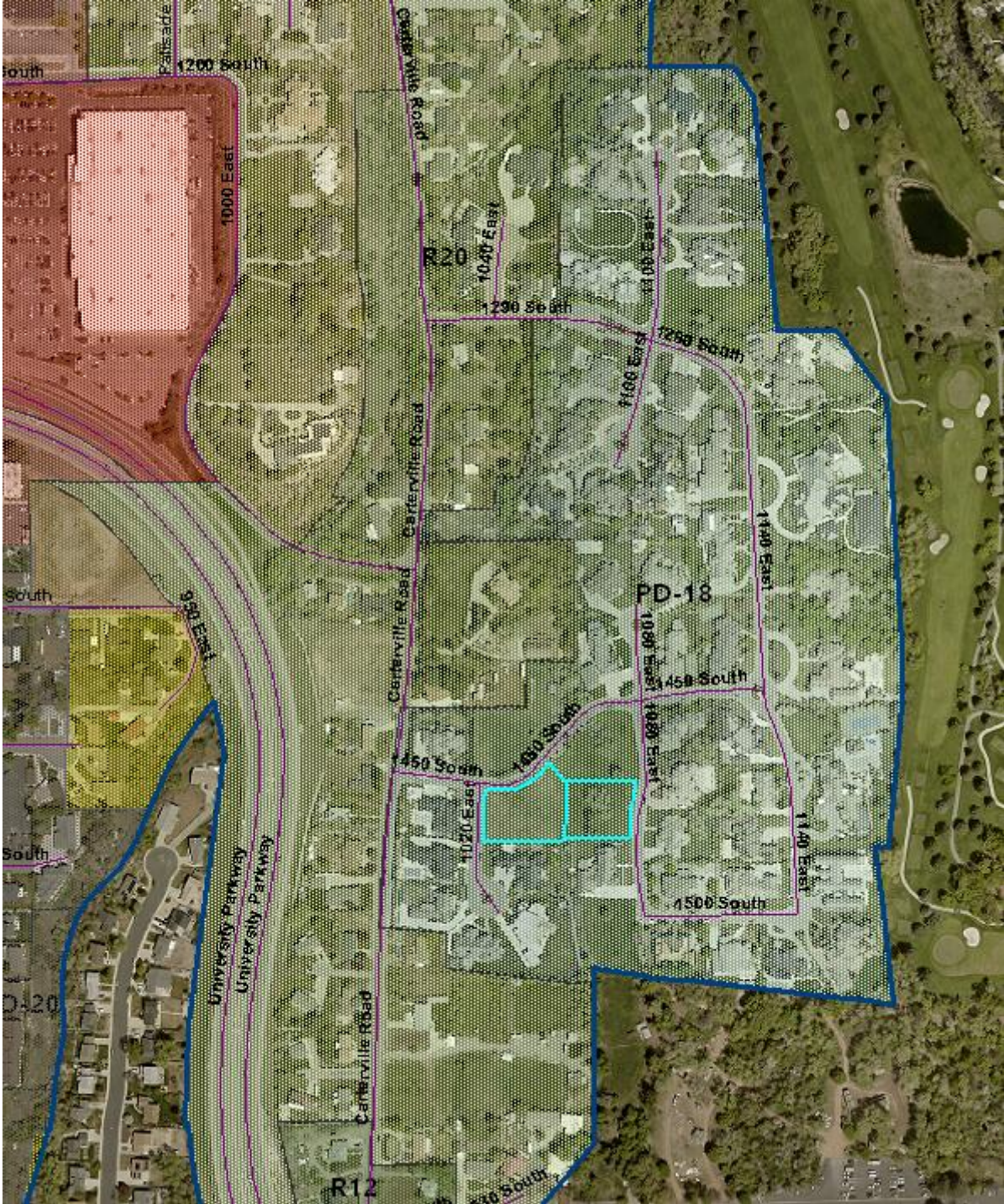
1. The applicant shall construct and maintain the rear access per the submitted landscaping plan.
2. The applicant shall install landscaping in the area along the frontage of 1080 East per the landscaping plan and shall maintain it in good condition to meet the requirements of sections 22-14-13(B) and (D).
3. The applicant shall enter a Development Agreement to ensure the maintenance of conditions 1 and 2.

**ALTERNATIVE MOTIONS:**

Motion to Continue:

“I move that the Planning Commission continue this request to [choose appropriate date or condition].”

Berkshires Plat U – 1469 S 1020 East



**Vicinity & Zoning Map**

Zone PD-18

Acres: Approx 1.26



# Berkshires Plat U Street View

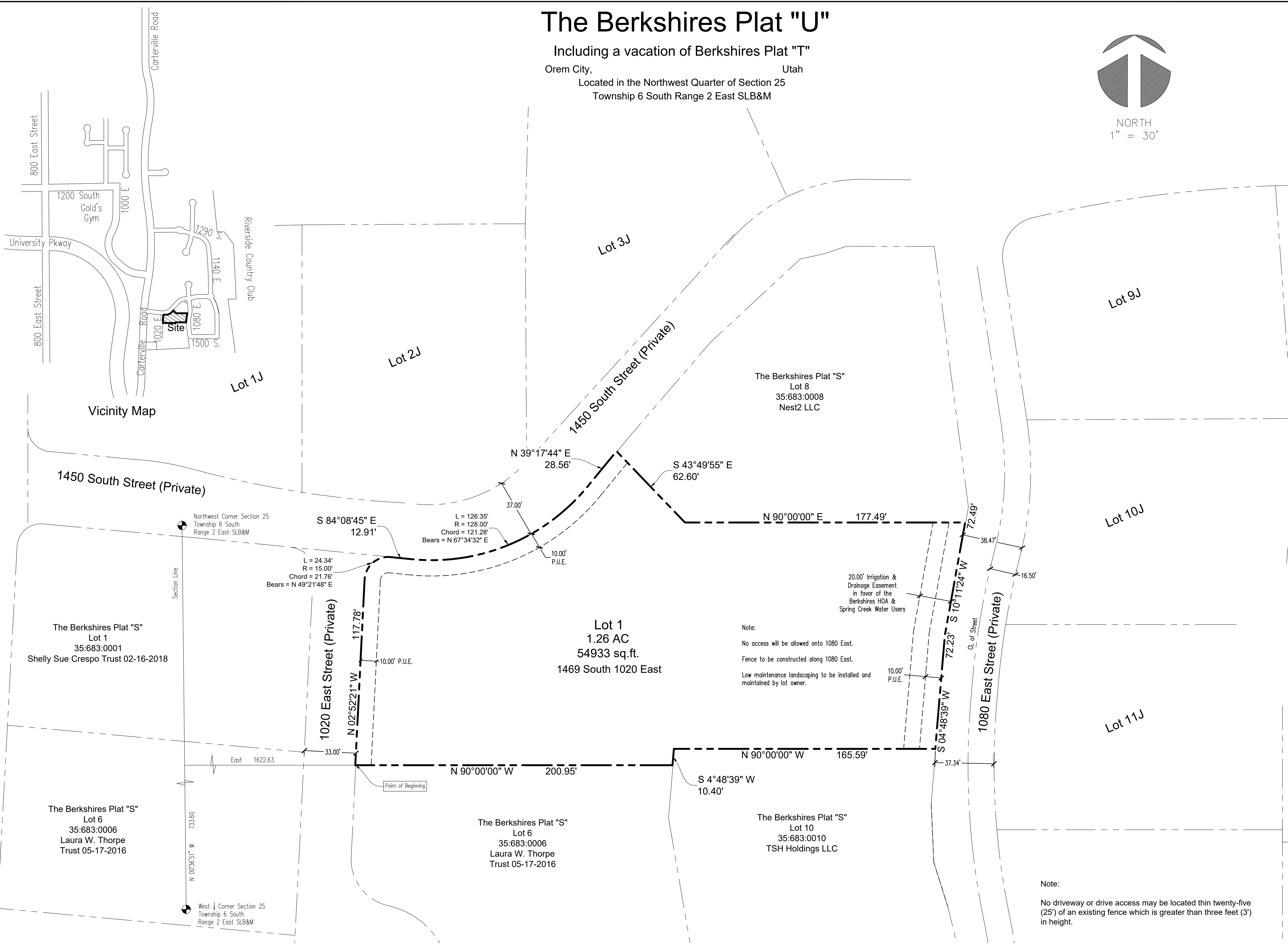
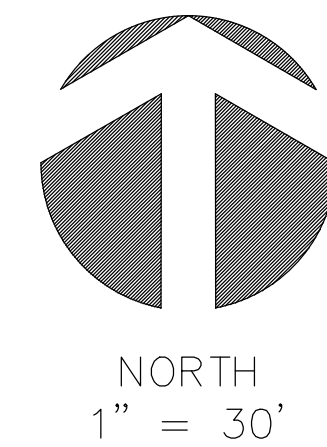
## (1469 S 1025 East)



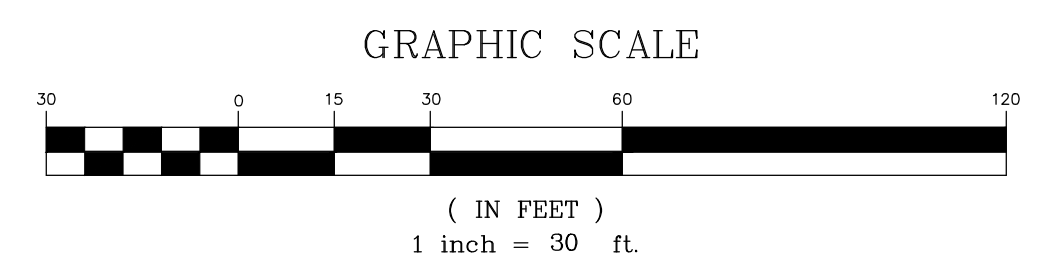
# The Berkshires Plat "U"

Including a vacation of Berkshires Plat "T"

Orem City, Utah  
 Located in the Northwest Quarter of Section 25  
 Township 6 South Range 2 East SLB&M



Prepared by:  
**Dudley and Associates, Inc.**  
 353 East 1200 South  
 Orem, Utah 84058  
 office 801-224-1252  
 fax 801-224-1264



Note:  
 No access will be allowed onto 1080 East.  
 Fence to be constructed along 1080 East.  
 Low maintenance landscaping to be installed and maintained by lot owner.

20.00' Irrigation & Drainage Easement in favor of the Berkshires HOA & Spring Creek Water Users

Note:  
 No driveway or drive access may be located thin twenty-five (25') of an existing fence which is greater than three feet (3') in height.

**Plat Vacation Notice**

The City of Orem is satisfied that neither the public nor any person will be materially injured by the Vacation of The Berkshires, Plat "T". The Berkshires, Plat "T" is hereby vacated

Approved as to Form

City Attorney \_\_\_\_\_ Date \_\_\_\_\_

### Surveyor's Certificate

I, DUDLEY, do hereby certify that I am a Professional Land Surveyor and that I hold a license, Certificate No. 147089, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct to the best of my knowledge.

### Boundary Description

Commencing at a point located North 00°36'51" West along the Section line 733.60 feet and East 1622.63 feet from the West quarter corner of Section 25, Township 6 South, Range 2 East, Salt Lake Base and Meridian; thence North 02°52'21" East 117.78 feet; thence along the arc of a 15.00 foot radius curve to the right 24.34 feet (chord bears North 49°21'48" East 21.76 feet); thence South 84°08'45" East 12.91 feet; thence along the arc of a 128.00 foot radius curve to the left 126.35 feet (chord bears North 67°34'32" East 121.28 feet); thence North 39°17'44" East 28.56 feet; thence South 43°49'55" East 62.60 feet; thence East 177.49 feet; thence South 10°11'24" West 72.49 feet; thence South 04°48'39" West 72.23 feet; thence West 165.59 feet; thence South 04°48'39" West 10.40 feet; thence West 200.95 feet to the point of beginning.

AREA=54,933 sq. ft. or 1.26 acres  
 Basis of Bearing =North 00°36'51" West along the Section line from the West 1/4 Corner of Section 25, Township 6 South, Range 2 East, SLB&M

Date \_\_\_\_\_ Surveyor \_\_\_\_\_  
 (See Seal Below)

### Owner's Dedication

Know all men by these presents that we, all of the undersigned owners of all the property described in the Surveyor's Certificate hereon and shown on this map, have caused the same to be subdivided into Lots, Blocks, Streets, and Easements and do hereby dedicate the streets and other public areas as indicated hereon for perpetual use of the public.

In witness hereof we have hereunto set our hands this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

Ty Mattingly \_\_\_\_\_ Julie Mattingly \_\_\_\_\_  
 (See Seal Below)

### Acknowledgement

STATE OF UTAH } S.S.  
 COUNTY OF UTAH }

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by Ty Mattingly & Julie Mattingly who represented that they are the owners of the Berkshires Plat "U" and have the authority to execute this instrument.

My Commission Number \_\_\_\_\_ Signed (a Notary Public Commissioned in Utah)

My Commission Expires \_\_\_\_\_ Print name of Notary

### Acceptance by the City of Orem

The City of Orem, County of Utah, approves this subdivision and hereby accepts the dedication of all Streets, Easements, and other parcels of land intended for public purposes for the perpetual use of the public. Signed this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

Approved: \_\_\_\_\_ Attest: \_\_\_\_\_  
 City Engineer City Recorder

Approved: \_\_\_\_\_  
 Development Services Director

### Occupancy Restriction Notice

The City of Orem has an Ordinance which restricts the occupancy of buildings within this subdivision. Accordingly, it is unlawful to occupy any building located within this subdivision without first having obtained a Certificate of Occupancy issued by the City.

### Planning Commission Approval

Approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by the City of Orem Planning Commission.

Director-Secretary Chairman, Planning Commission Resolution No. \_\_\_\_\_

### County Recorder

\_\_\_\_\_  
 County Recorder

## The Berkshires Plat "U"

Including a vacation of Berkshires Plat "T"  
 Located in the Northwest Quarter of Section 25  
 Township 6 South Range 2 East SLB&M

Subdivision  
 Orem City, \_\_\_\_\_ Utah County, Utah  
 Scale: 1" = 30' Feet

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDER SEAL
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# Planning Commission

March 18<sup>th</sup>, 2025

**5.1 Westerly Way, PRD**

**PUBLIC HEARING – ZONING MAP & TEXT AMENDMENT**

Request to rezone property located generally at 1875 South Geneva Road from OS-5, Open Space to PRD, Planned Residential Development (approximately 2.9 acres) and to amend Appendix KK “Site Plan – Farm Haven” to include the property.

**Prepared By:**  
Jared Hall

**Applicant:**  
Craig Brady,  
Utah Autism Academy

**Notices:**

Posted in 2 public places  
 Posted on City Webpage and City hotline  
 Posted at Utah.gov/pmn  
 Notices sent to property owners within a 1,000-foot radius

**Site Information:**

General Plan Designation:  
**Low Density Residential SW**  
 Current Zone: **OS5**  
 Acreage: **2.9 acres**  
 Neighborhood: **Lakeview**

**Action:**

The Planning Commission is an advisory body in legislative applications and should forward a recommendation to the City Council to approve or deny the requested Zone Map Amendment or may vote to continue the hearing to a future date to allow for further review, additional information, or public comment as may be needed to make a decision.

**REQUEST:** The applicant requests the Planning Commission forward a recommendation to the City Council to rezone the subject property at 1875 South Geneva Road to be included in the existing PRD property adjacent to the north, and to amend the text of Appendix KK for the Farm Haven Cottages to include it, and to make the existing cottage lots of Farm Haven into twin-home lots like those proposed in the subject property to be added.

**BACKGROUND:** A Planned Residential Development (PRD) called Farm Haven Cottages was previously approved on the rear acreage of the Autism Academy building property. Since that time, the subject property at 1875 S. Geneva Road (immediately south of the Autism Academy and Farm Haven Cottages PRD) became available to the applicants. This application seeks to modify the existing PRD into a twin-home project and extend it onto the subject property.

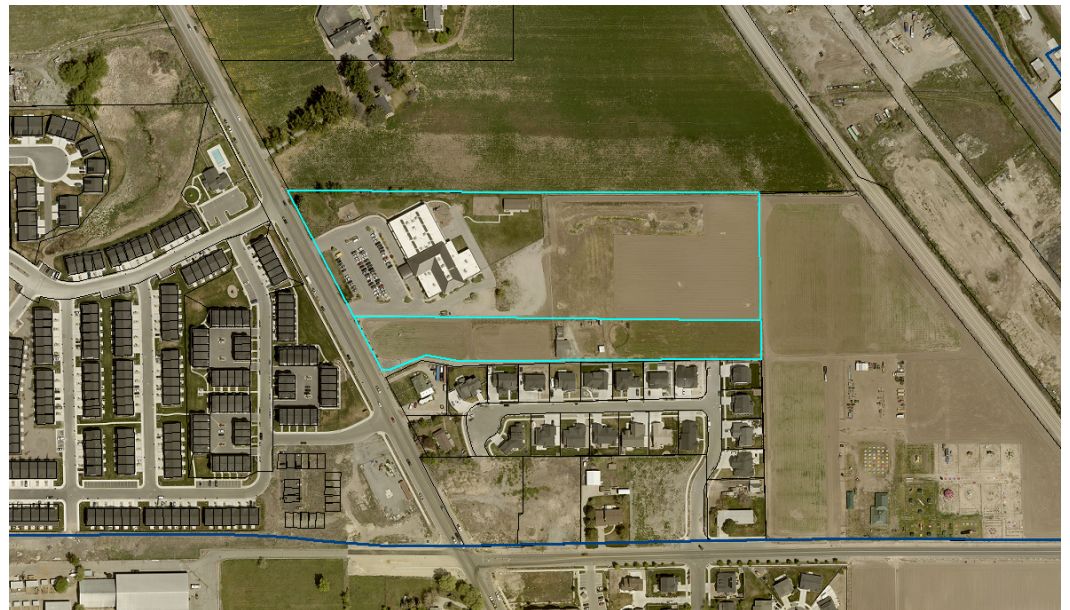


Figure 1: Subject Properties, aerial view. |

**REVIEW & ANALYSIS:**

**Process** – The application has two components. The first is a change of zoning on the parcel at 1875 S. Geneva Road from OS-5, Open Space, to PRD, Planned Residential Development. The second component is technically a text amendment. When property is rezoned to PRD a concept site plan and elevations have to be approved and recorded in the City Code under Appendix KK. If this request is

approved, Appendix KK will be modified to include a concept and elevations for “Westerly Way PRD” in place of the existing “Farm Haven PRD.”

While the rezone and concept plan recorded in Appendix KK would rezone the property and make the project possible, before it could be constructed it would still require site plan (for multi-family projects, which would include the proposed twin-homes because they are attached units) and subdivision approval, both of which require additional applications and reviews by the Planning Commission. The subdivision and site plan will have to comply with the concept plan that established the PRD.

Review – The subdivision and site plan reviews that would follow if the PRD changes requested here were to be approved would be more in-depth, and additional civil engineering and other work would be required to provide those details. The review of the Concept plan establishing the PRD is intended to help the city determine whether the broader concept of planned housing is appropriate in this location.

General Plan – The property to be added to the existing PRD Zone (1875 S. Geneva Road) is designated “Low Density Residential, SW” on the Future Land Use Map. This land use category prioritizes single-family zoning, but the subcategory of “SW” was created to allow for the possibility of PRDs and other housing options in the area if appropriate.

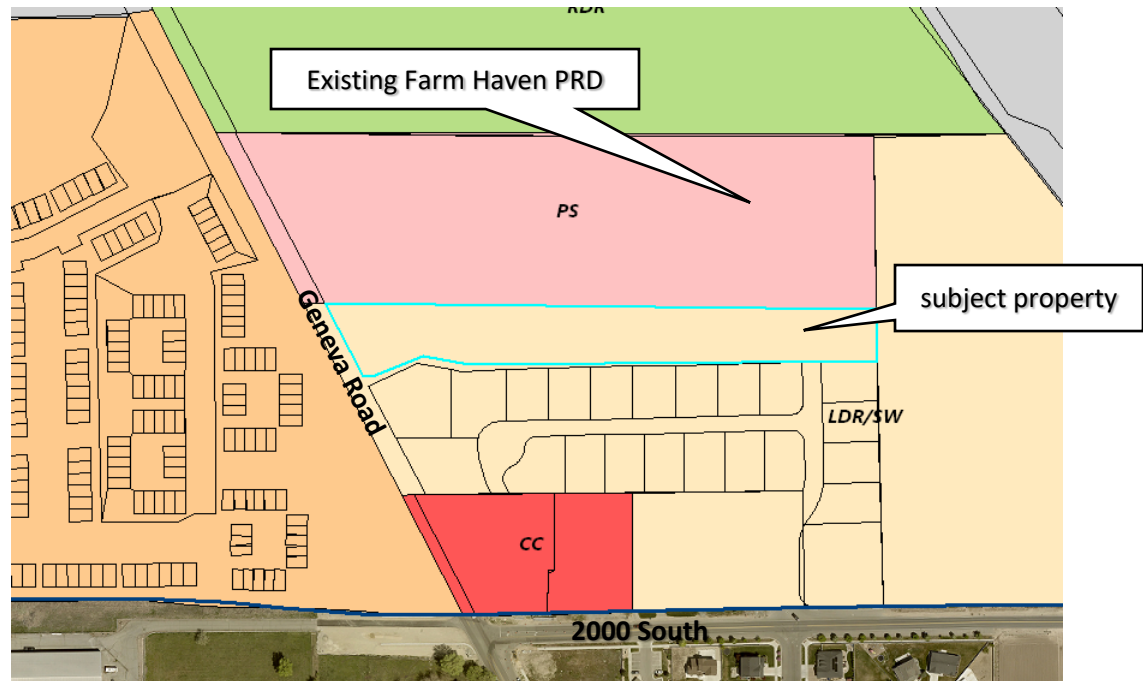


Figure 2: Subject Property, General Plan designation LDR SW

The surrounding area is a mix of open space (Cherry Hill conservation area to the north) single-family like the Payton Crossing subdivision and proposed Whitestone Estates to the east and south, higher-density residential across Geneva Road and non-residential uses like the Autism Academy and commercial zoning at the corner of Geneva Road and 2000 South. The proposed residential as twin-homes (approximately 6 units per acre) would be considered medium density residential.

**Current Zoning** – The subject property is currently zoned OS-5, Open Space. The OS-5 zone is a very low density residential and agriculture zone, allowing one single-family residential development with a minimum 5-acre lot size, and various agricultural uses.

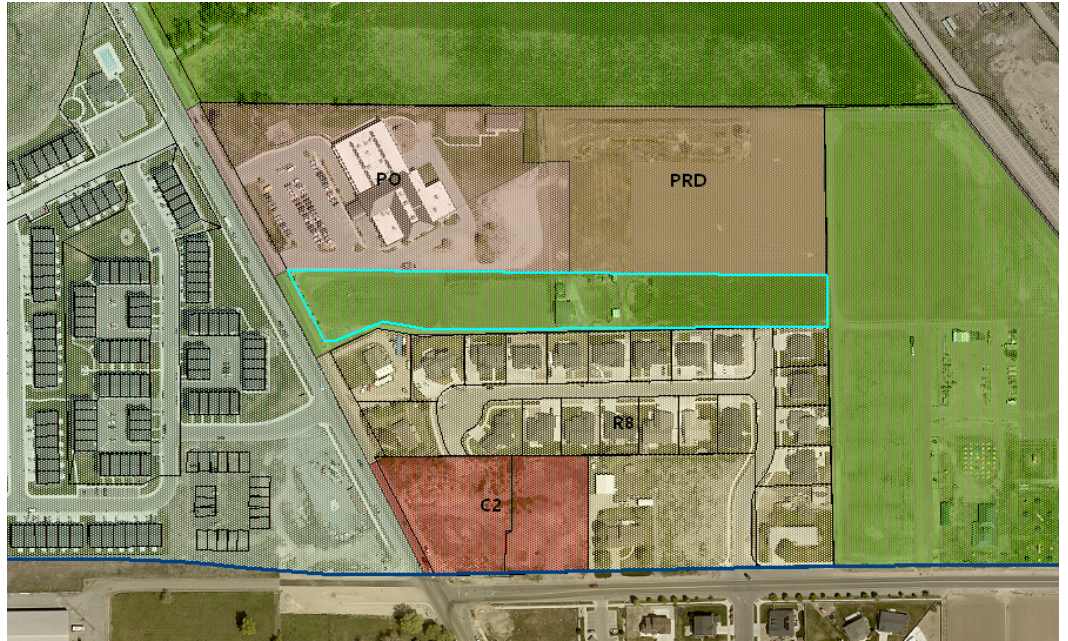


Figure 3: Existing Zoning, OS-5

**Proposed Zoning** – The applicants have proposed PRD Zoning which allows residential development of greater densities and which include attached housing types such as townhomes, condominiums, twin homes, zero lot-line developments, and apartments. Although many types of housing are allowed, the PRD is tied to the concept plan adopted when the PRD is established. In this case, if a PRD Zone is approved it will only allow the development of the number and type of units proposed in the concept plan. Any changes would have to go through the same process to amend the PRD again.

**Concept Plan** – The existing PRD, Farm Haven, is made up of cottage lots which are smaller than regular zoning. See below.

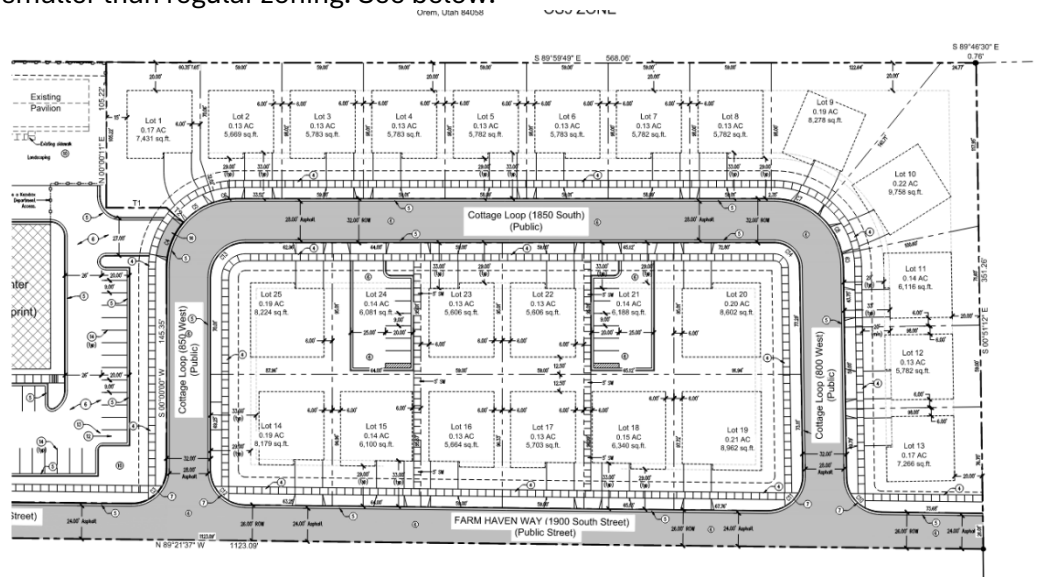


Figure 4: Existing Site Plan, Farm Haven (cottage lots)

The proposed concept plan consists of 44 twin-home lots. Each twin home is a single-family home sharing a zero-lot line with the interior side with another twin home. The overall density of the residential portion of the PRD is 5.5 units per acre. Some aspects of the concept plan are reviewed below:

- **Parking.** Each twin home will have a driveway and two-car garage. Because the twin driveways will make on-street parking limited or impossible, 39 additional parking spaces are offered in three separate locations on the site. The resulting parking ratio is almost three spaces per unit, not including driveways. PRDs are required to provide a minimum of 2.5 spaces per unit.
- **Streets.** The proposed PRD subdivision would be served by public dedicated rights-of-way (ROWs) meeting Orem City sub-local standards: 28' of asphalt, curb + gutter, park strips, and sidewalks. All twin home lots have access to one of these ROWs.
- **Access.** The subdivision is proposed to be accessed primarily from existing 800 West (which is a road through Payton Crossing subdivision, currently stubbed into the subject property) and a proposed stub road in the Whitestone Estates subdivision. The concept proposes a third point of potential access to Geneva Road, but that access is secondary: it runs not through public ROWs but through parking lot areas associated with the Autism Academy building and the project itself.

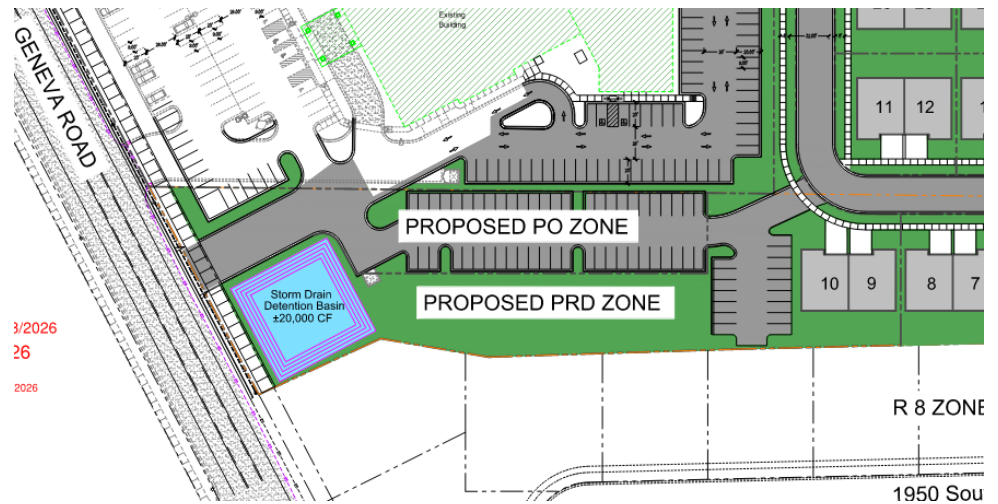


Figure 5: Secondary access from Geneva Road

- **Utilities & Drainage.** Preliminary civil engineering has been reviewed for utilities and drainage. For purposes of the concept, a project like this could be served by the utilities in the area. A storm drain basin is proposed near Geneva Road that could serve the subdivision and some additional storm flow from the Autism Academy.
- **Traffic.** Traffic Impact Studies have been reviewed for the concept and could be updated if a PRD Zone is approved before site plan and subdivision reviews. The proposed and existing ROWs appear to be adequate for the proposed levels of development.

- **Height.** PRDs have limitations on height, depending upon location and unit type. The proposed twin homes are all single-story and would meet the height requirements.
- **Fencing.** The concept plan will need to be modified to meet the requirements for 6' solid perimeter fencing per the requirements of PRDs.
- **Elevations.** Elevations and floor plans have been attached with this report for your review. PRDs require that front elevations of units include a minimum of 60% finish of brick, stone, stucco, wood, or a combination. The proposed front elevations meet these requirements. Rear elevations must have at least 40% in the same exterior finishes. The rear elevations will need to be modified to include 40% in those finishes to meet requirements.

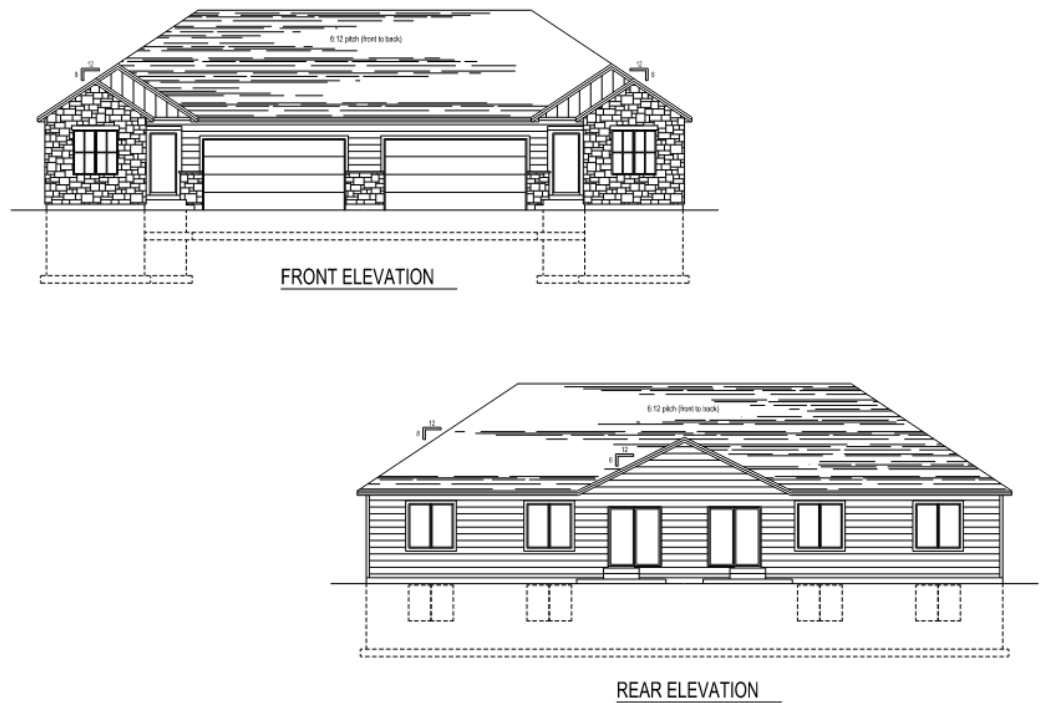


Figure 6: Proposed Elevations. Rear lacks the necessary 40% finish materials required by code.

**Neighborhood Meeting:** A neighborhood meeting is required for all zone map amendment applications. The applicants held the required meeting at the Autism Academy building. The meeting notes are included for your review. Residents' concerns include access through the Payton Crossing subdivision specifically and increased traffic from the new development. The original Farm Haven PRD had principal access onto Geneva Road. There were also some concerns about traffic from the Autism Academy filtering through the existing neighborhoods as a result of the connection.

**DEVELOPMENT REVIEW COMMITTEE (DRC):** The proposed zone change and amendment to the existing PRD have been reviewed by the DRC. The DRC has voted to move the request to the Planning Commission for the public hearing.

**STATE REQUIRED PROCESS FOR LAND USE AMENDMENTS:**

For land use amendments like the requested zone change, Utah State Code states that the “planning commission shall... review and recommend to the [Orem City Council (“Council”)] a proposed land use regulation that represents the planning commission's recommendation for regulating the use and development of land within all or any part of the area of the municipality. See Utah Code 10-9a-502(1)(d)(i).

The Council “may not make any amendment [to the land use ordinance or zoning map] unless the Council... first submits the amendment to the planning commission for the planning commission's recommendation.” See Utah Code 10-9a-503(2).

**ALTERNATIVE ACTIONS**

After review and consideration of the application, the Planning Commission may:

**Recommend Approval** of the proposed amendment to the Zoning Map and Appendix KK.

**Recommend Denial** of the proposed amendment to the Zoning Map and Appendix KK.

**Continue the Request** to a future date for further review, additional information, or public comment.

**ALTERNATIVE MOTIONS:**

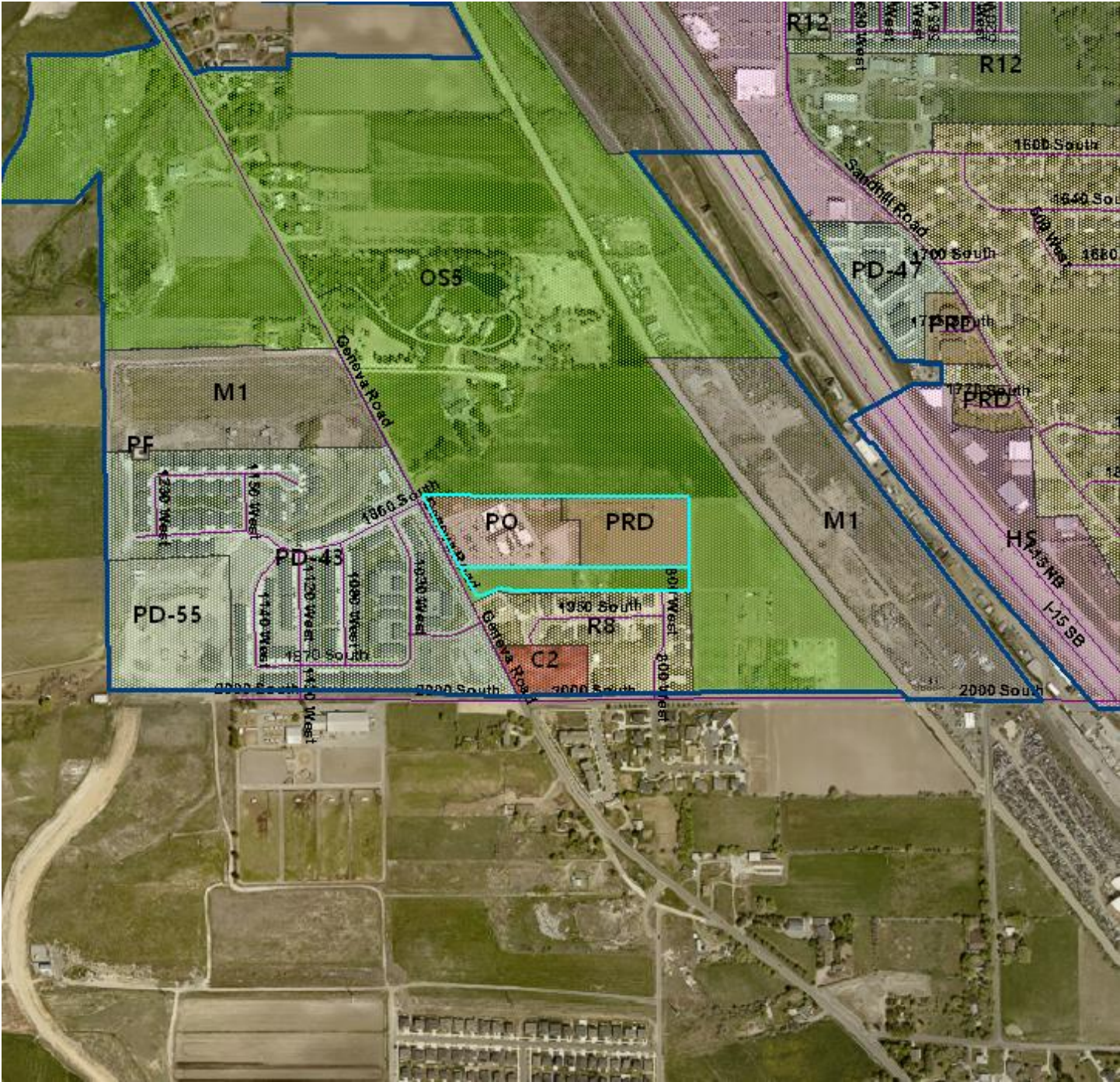
**Motion to Approve or Deny**

“I move that the Planning Commission forward a recommendation of [**choose APPROVAL or DENIAL**] to the City Council for the request to rezone the property located generally at 1875 S. Geneva Road from OS-5, Open Space to PRD, Planned Residential Development (approximately 2.9 acres) and to amend Appendix KK “Site Plan – Farm Haven” of the Orem City Code.

**Motion to Continue the Request**

“I move that the Planning Commission continue this request for further consideration to (choose another date as appropriate).”

# Westerly Way – 1875 S Geneva Road



## Vicinity & Zoning Map

Zone: OS-5 to PRD

Acres: Approx 2.9 Acres



# Westerly Way Street View (1875 S Geneva Road)

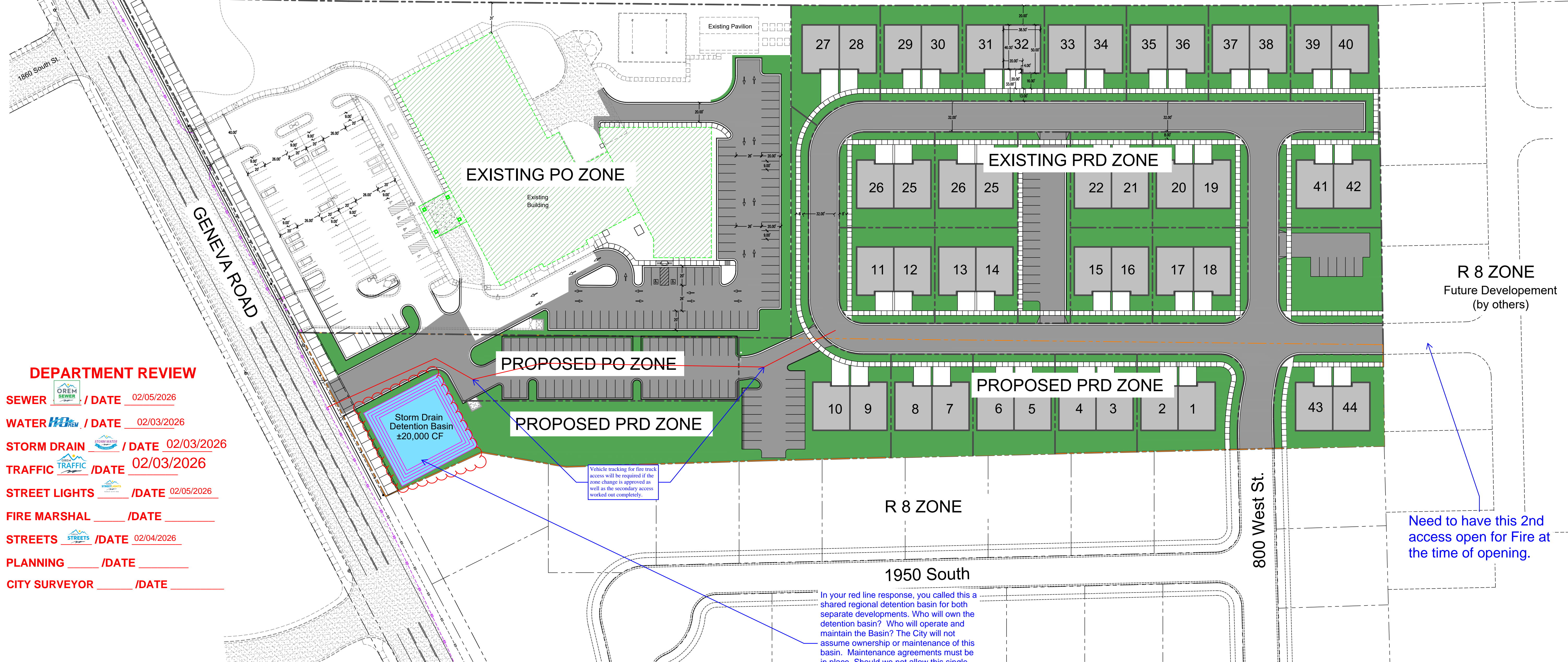


# Westerly Way



Note to developer: HOA will be needed to maintain all common areas which means a Storm Water Maintenance Agreement and Plan will be requested by the Storm Water Division. The public streets will have city owned and operated storm facilities, but the private parking lots will need their own drainage system.

OS5 ZONE



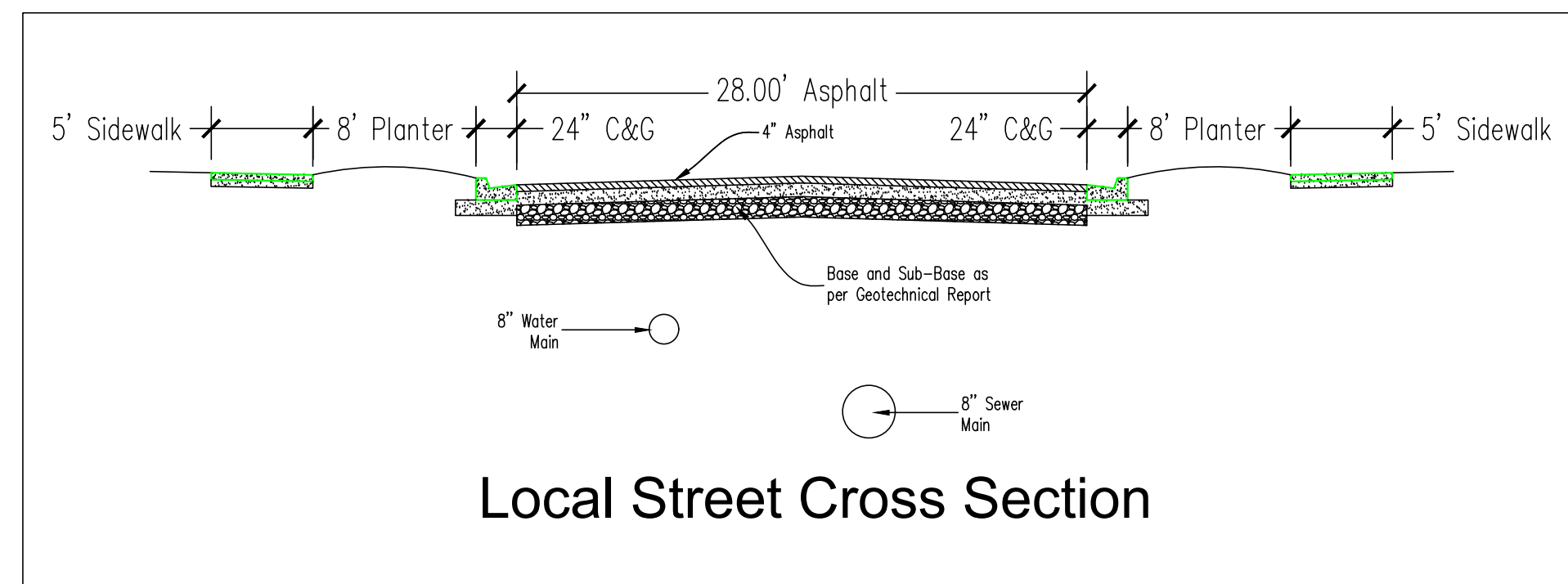
### DEPARTMENT REVIEW

- SEWER / DATE 02/05/2026
- WATER / DATE 02/03/2026
- STORM DRAIN / DATE 02/03/2026
- TRAFFIC / DATE 02/03/2026
- STREET LIGHTS / DATE 02/05/2026
- FIRE MARSHAL \_\_\_\_\_ / DATE \_\_\_\_\_
- STREETS / DATE 02/04/2026
- PLANNING \_\_\_\_\_ / DATE \_\_\_\_\_
- CITY SURVEYOR \_\_\_\_\_ / DATE \_\_\_\_\_

Vehicle tracking for fire truck access will be required if the zone change is approved as well as the secondary access worked out completely.

Need to have this 2nd access open for Fire at the time of opening.

In your red line response, you called this a shared regional detention basin for both separate developments. Who will own the detention basin? Who will operate and maintain the Basin? The City will not assume ownership or maintenance of this basin. Maintenance agreements must be in place. Should we not allow this single basin to be shared but rather require two separate basins? This will need to be worked out if rezoning is approved.



### Owner / Developer:

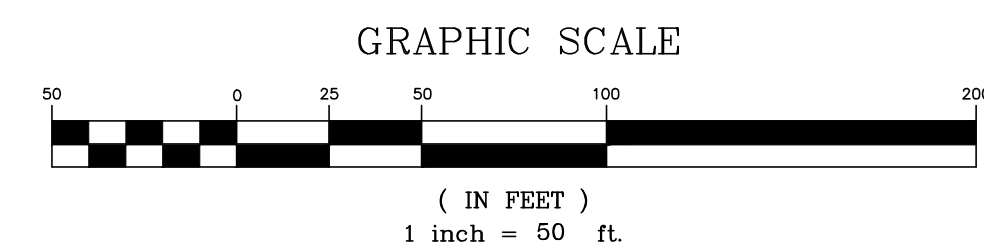
Utah Autism Academy  
 Craig Brady  
 1875 South Geneva Road  
 Orem, Utah 84058  
 Office (801)437-0490  
 cbrady@utahautismacademy.com

### Engineer:

Dudley and Associates, Inc.  
 353 East 1200 South  
 Orem, Utah 84058  
 801-224-1252

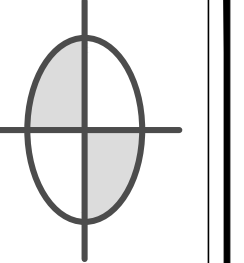
### Site Data:

The PO portion of the zone change request has increased in size by .65 acres to allow for more parking.  
 The PRD portion has increased to 7.32 acres (approx 2.44 additional acres)  
 The number of PRD units is 44, which is 6/acre.  
 The number of visitor parking stalls has increased to 39.



**CAUTION!!! Notice to contractors**  
 The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field. The information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to request the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.

**Know what's below. 811**  
**Call 811 before you dig.**  
 BLUE STAKES OF UTAH  
 UTILITY NOTIFICATION CENTER, INC.  
 www.bluestakes.org  
 1-800-662-4111



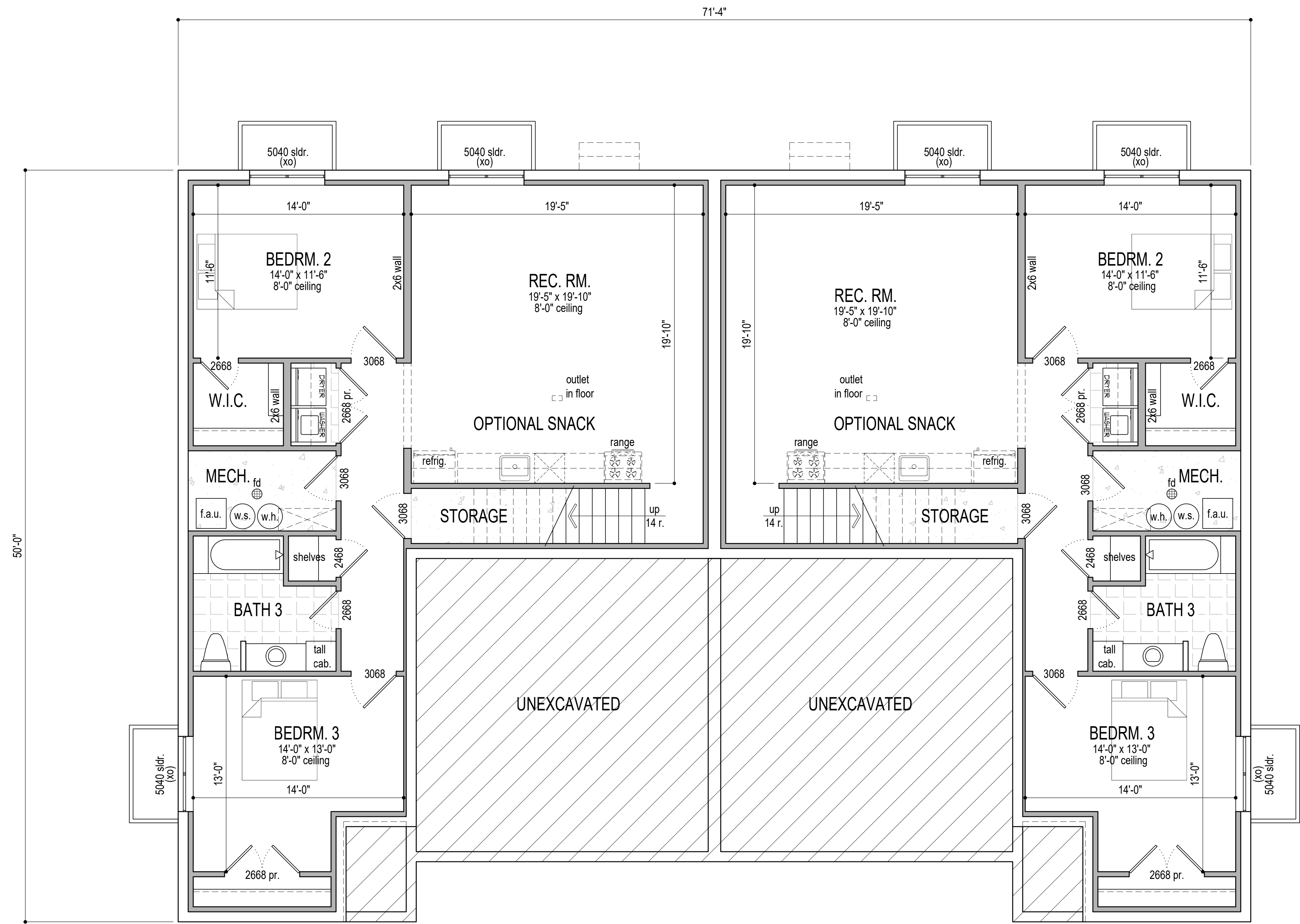
DUDLEY AND ASSOCIATES  
 ENGINEERS PLANNERS SURVEYORS  
 353 EAST 1200 SOUTH, OREM, UTAH  
 801-224-1252

Utah  
 Orem  
**Concept Plan**

Revisions

Date	1-28-2026
Scale	1" = 50'
By	TD
Tracing No.	L - 14701

Sheet No.  
**C - 2.0**



**DEPARTMENT REVIEW**

- SEWER / DATE 02/05/2026
- WATER / DATE 02/03/2026
- STORM DRAIN \_\_\_\_\_ / DATE \_\_\_\_\_
- TRAFFIC / DATE 02/03/2026
- STREET LIGHTS / DATE 02/05/2026
- FIRE MARSHAL \_\_\_\_\_ / DATE \_\_\_\_\_
- STREETS / DATE 02/04/2026
- PLANNING \_\_\_\_\_ / DATE \_\_\_\_\_
- CITY SURVEYOR \_\_\_\_\_ / DATE \_\_\_\_\_

**GENERAL & KEYED NOTES**

- 1 Header heights u.n.o.  
Exterior header heights - 7'-6" a.s.f.  
Interior header heights - 6'-8" a.s.f.
- 2 Provide shelves as per owner

**FLOOR FINISH SCHEDULE**

- Carpet
- Tile
- LVP

LIVING AREA - 1,274 sq. ft.



PROJECT TITLE:

**Westerly Way Twinhomes**

800 West 1900 South      Orem, Utah

DRAWING TITLE

**BASEMENT LEVEL FLOOR PLAN**

All dimensions and size designations given are subject to verification on the job site and adjustment to fit job conditions. Designer is not an architect or engineer.

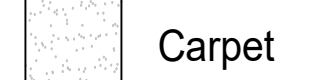


Job # 25MD-027  
October 14, 2025  
1/8" = 1'-0" on 12"x18"  
1/4" = 1'-0" on 24"x36"

**A4**

**GENERAL & KEYED NOTES**

- 1 Header heights u.n.o.  
Exterior header heights - 7'-0" a.s.f.  
Interior header heights - 6'-8" a.s.f.
- 2 This header height to be at 7'-0" a.s.f.
- 3 This header height to be at 6'-8" above garage slab
- 4 Provide cased opening w/ top at 7'-3" a.s.f.
- 5 Provide shelves as per owner
- 6 Vented hood to have makeup air provided when 400 CFM or more
- 7 Location of electrical panel

**FLOOR FINISH SCHEDULE**

	Carpet		Tile
	LVP		

MAIN LIVING - 1,220 sq. ft.  
GARAGE - 413 sq. ft.  
COVERED PORCH - 26 sq. ft.



PROJECT TITLE:

**Westerly Way Twinhomes**

800 West 1900 South Orem, Utah

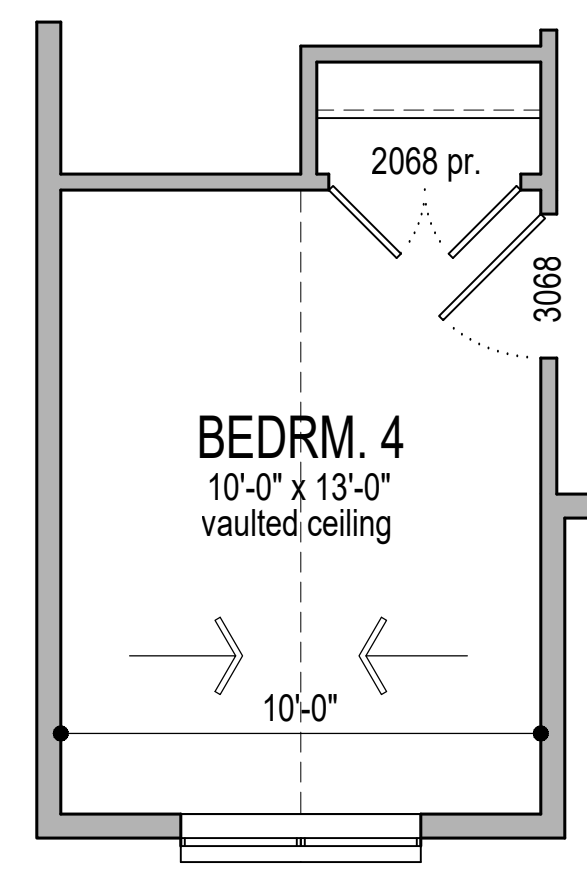
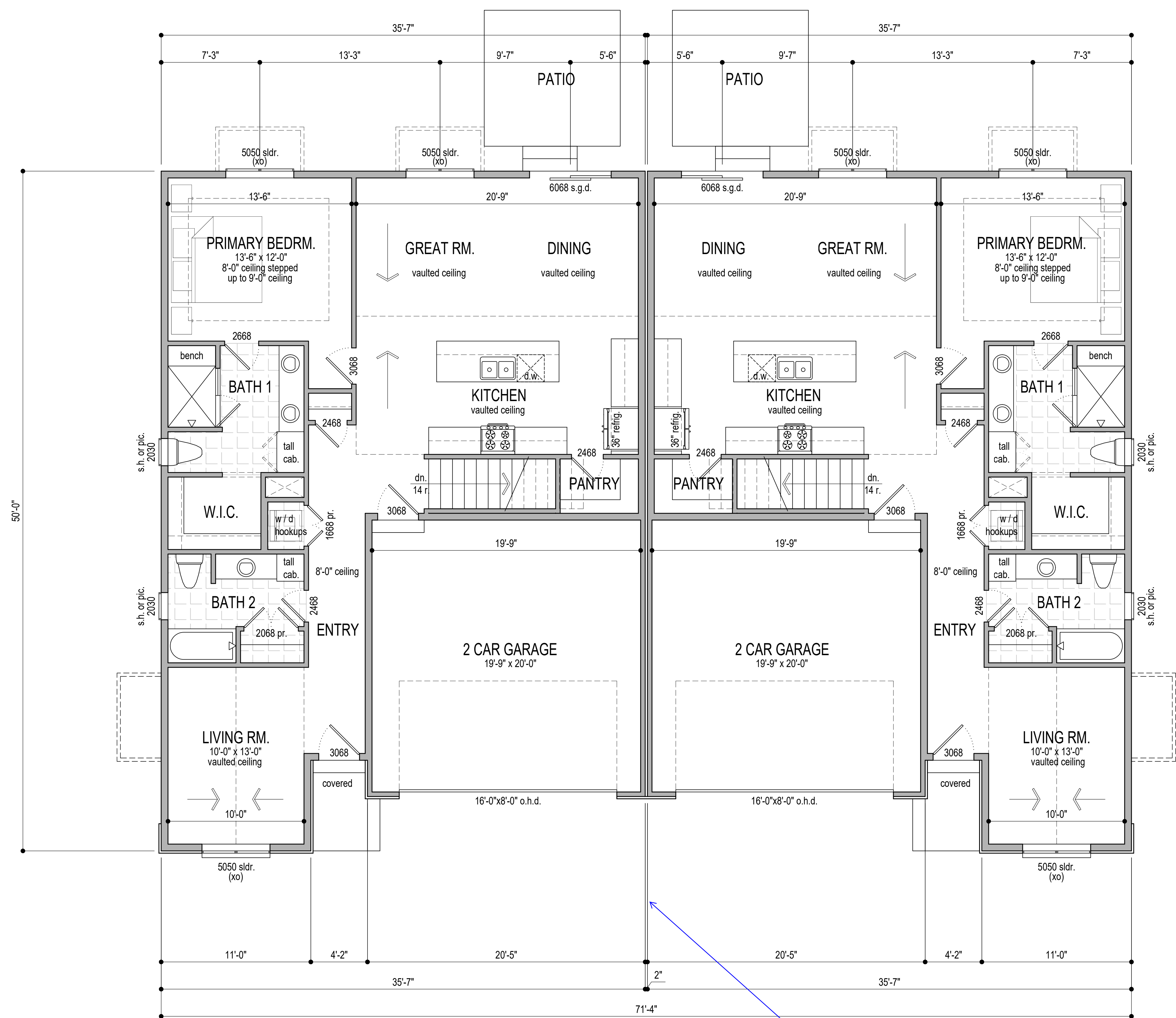
DRAWING TITLE

**MAIN LEVEL FLOOR PLAN**

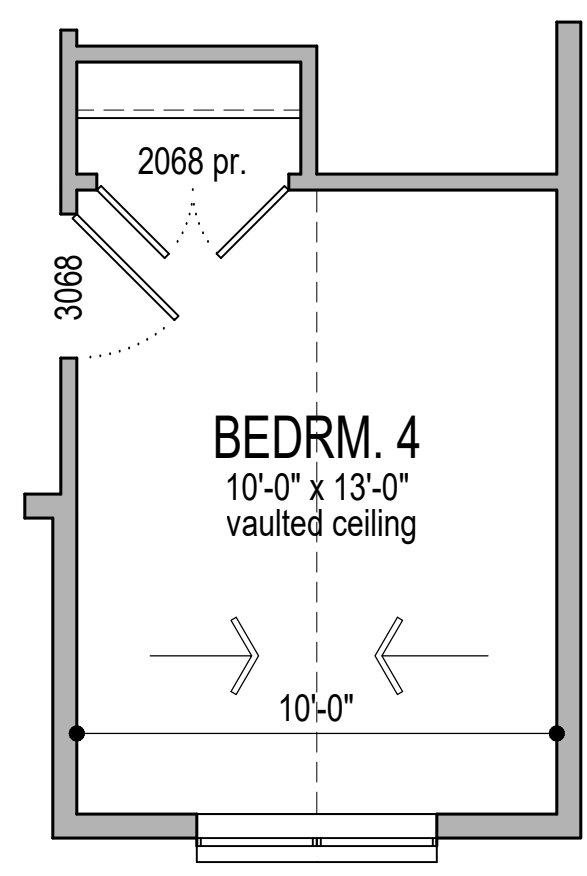
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Job # 25MD-027  
October 14, 2025  
1/8" = 1'-0" on 12"x18"  
1/4" = 1'-0" on 24"x36"

**A6**

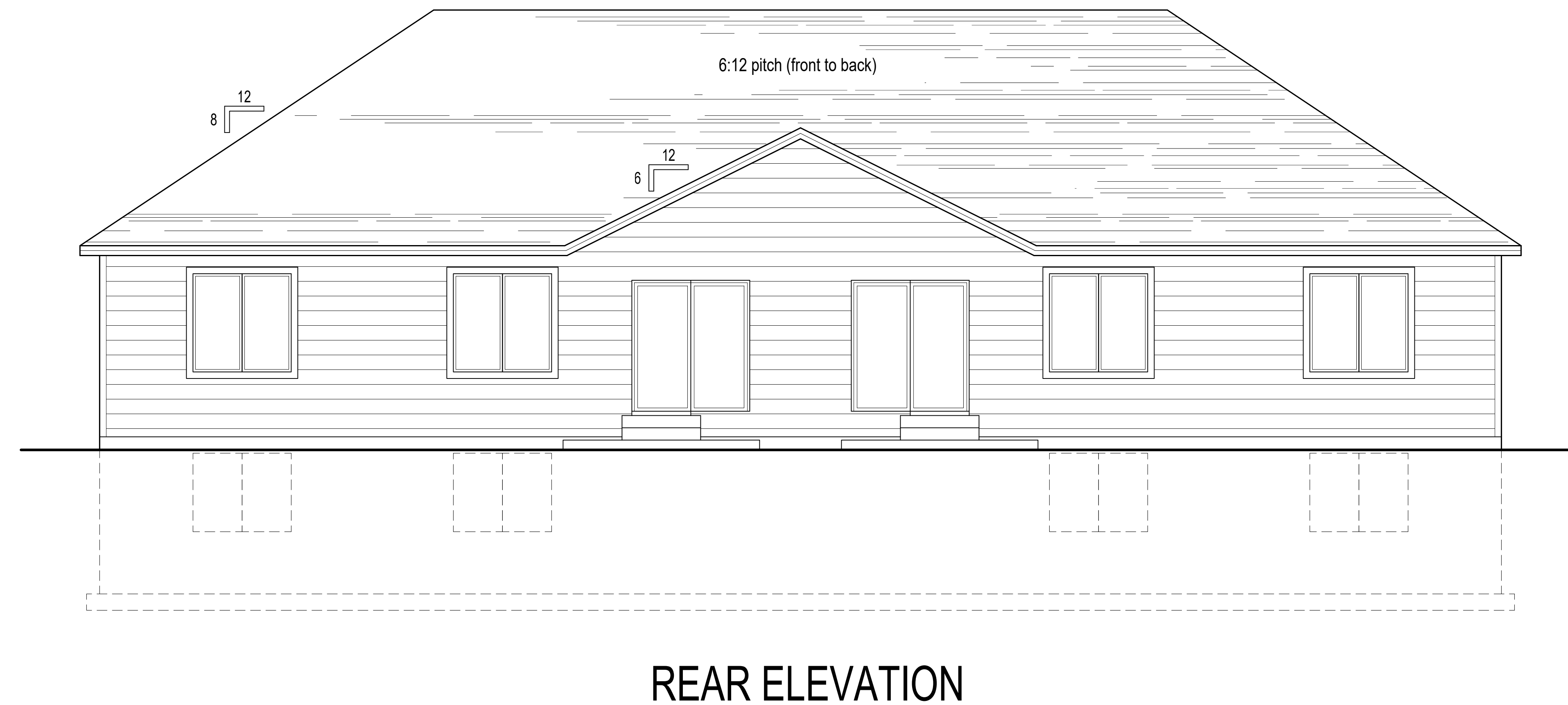
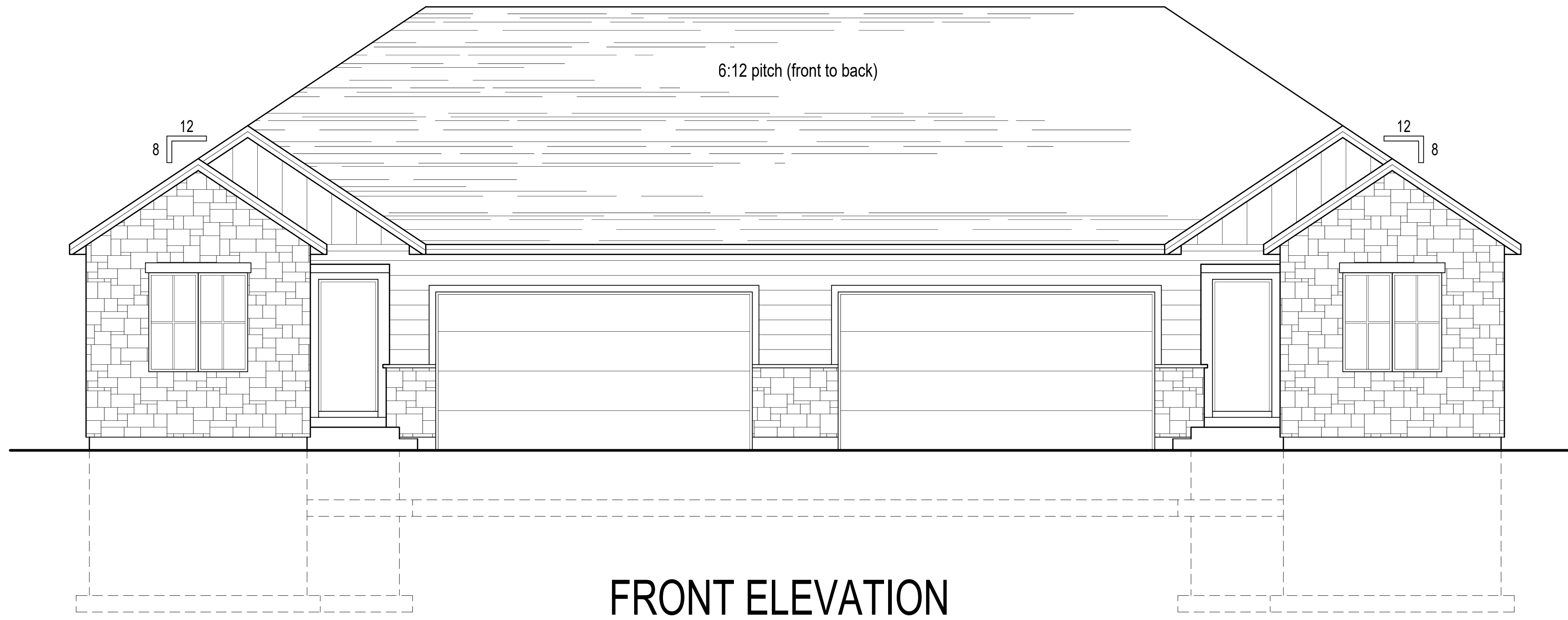


BEDRM. OPTION



BEDRM. OPTION

Provide Length of Driveway if rezone is approved.



PROJECT TITLE:

**Westerly Way  
Twinhomes**

800 West 1900 South Orem, Utah

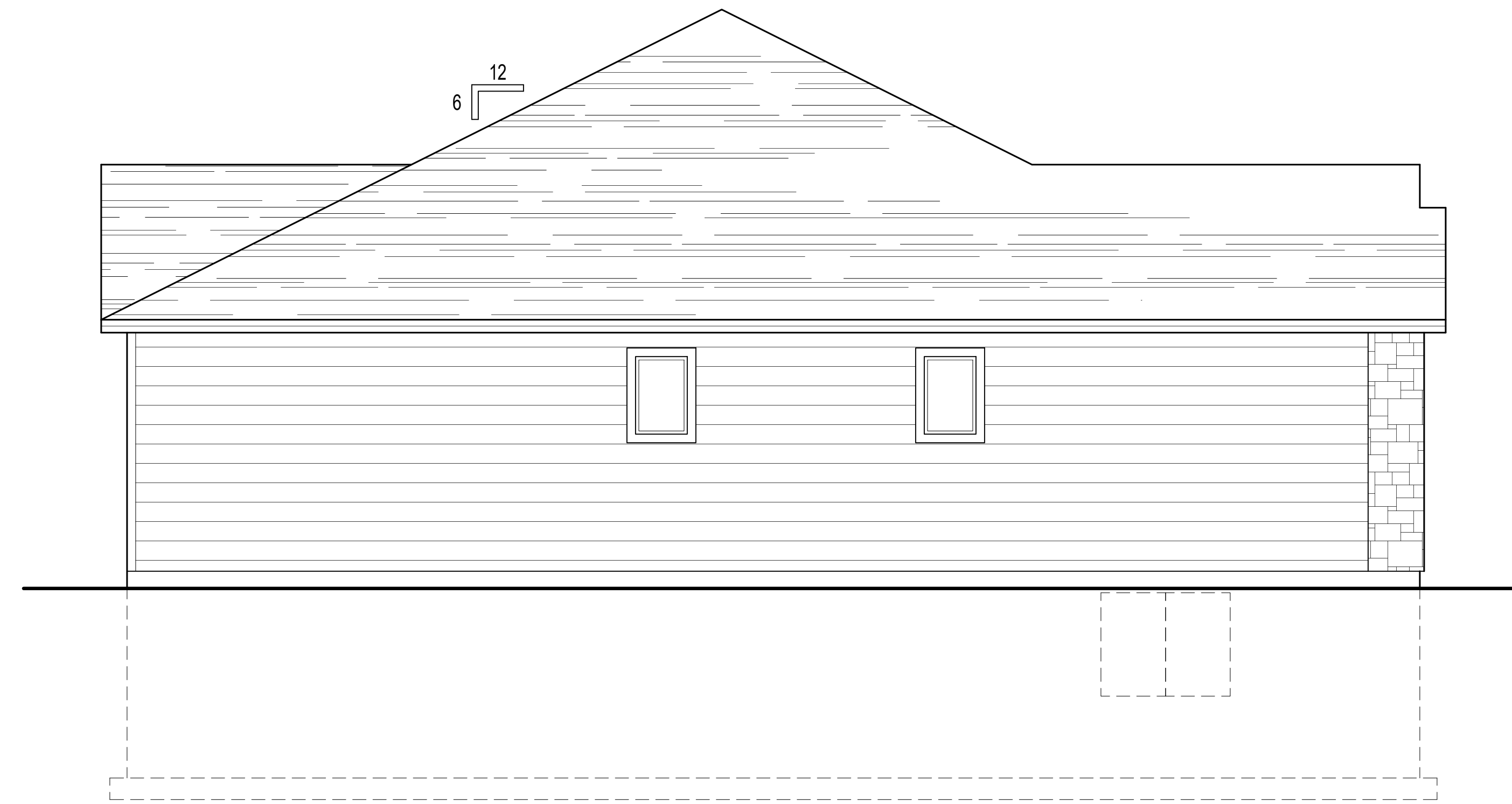
DRAWING TITLE:

**FRONT & REAR  
ELEVATIONS**

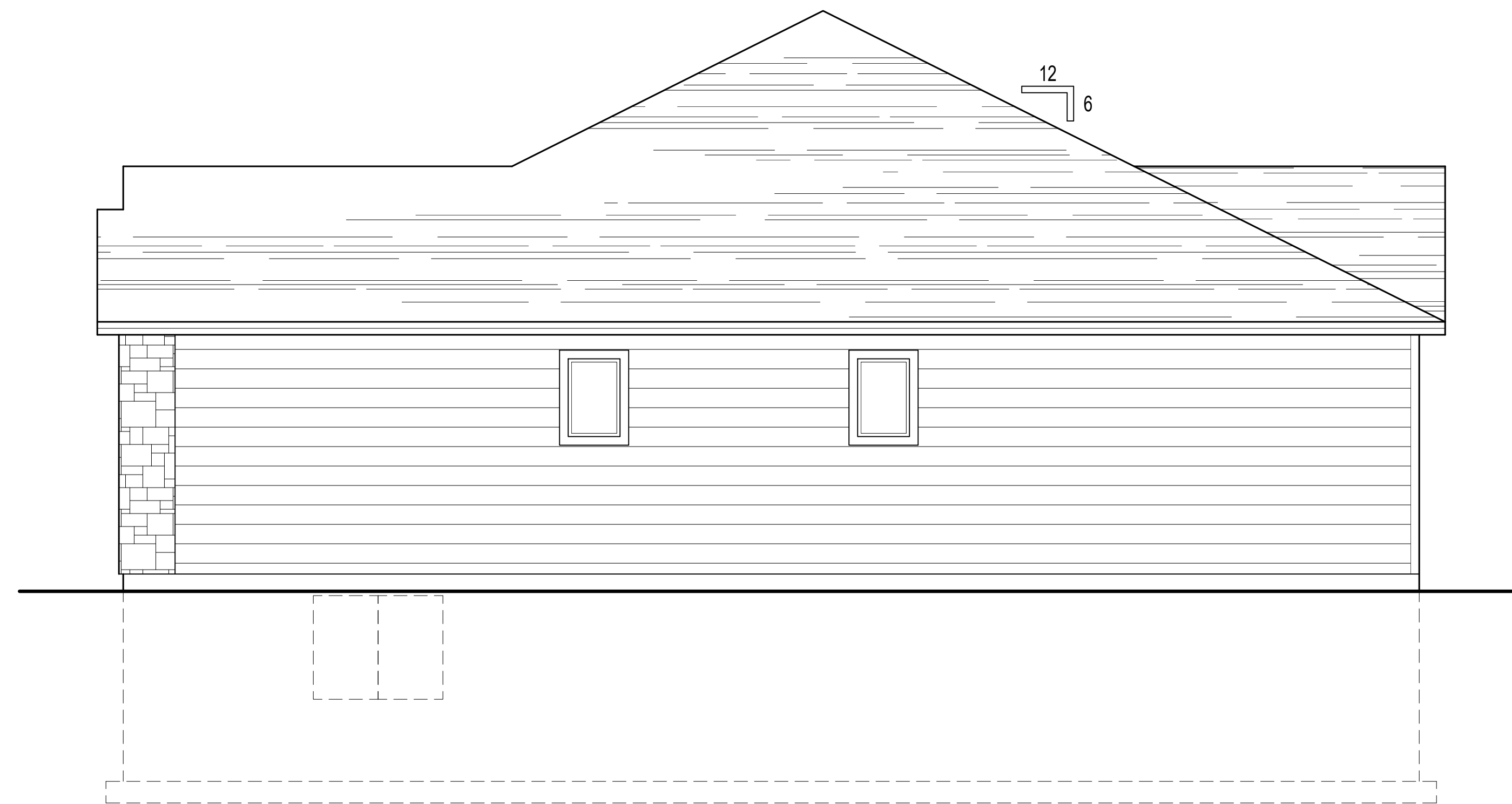
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adjustment to fit job conditions.  
Designer is not an architect or engineer.

Job # 25MD-027  
October 14, 2025  
1/8" = 1'-0" on 12"x18"  
1/4" = 1'-0" on 24"x36"

**A10**



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION



PROJECT TITLE:

**Westerly Way  
Twinhomes**

800 West 1900 South Orem, Utah

DRAWING TITLE

**LEFT & RIGHT SIDE  
ELEVATIONS**

All dimensions and size designations given are  
subject to verification on the job site and  
adjustment to fit job conditions.  
Designer is not an architect or engineer.

Job # 25MD-027  
October 14, 2025  
1/8" = 1'-0" on 12"x18"  
1/4" = 1'-0" on 24"x36"

**A11**



Dear Neighbor,

This letter is to inform you of an upcoming "Neighborhood Meeting" to discuss a change in the masterplan and zoning on properties located generally at 1875 South Geneva Road in Orem. Parcel #19:036:0084, currently occupied by Utah Autism Academy, is partially zoned "Professional Office". The applicant wishes to rezone the eastern portion of the parcel to "Planned Residential" and change the underlying masterplan to low density residential. The applicant also wishes to rezone Parcel #19:036:0088, currently owned by Al Switzler and zoned OS-5, to "Professional Office" on the northwest portion of the parcel. The remaining Switzler property is proposed to be rezoned to "Planned Residential" and change the underlying masterplan to low density residential. The "Planned Residential" rezone is proposed to be developed as twin home residences.

A neighborhood meeting will be held at Utah Autism Academy, located at 1875 S Geneva Rd. The meeting will begin at 6:00 pm on December 15th, 2025. All neighbors within 500 feet have been notified of this meeting, however if you know of someone who may not have been notified, please pass this information on to them.

"Pursuant to Orem City Code Section 22-1-5(G) this meeting is being held to discuss the project with you. This is an opportunity for you to review plans and provide input and recommendations regarding the project. The application has not yet been reviewed by the City and is subject to change during the review process."

We will look forward to hearing from you at the meeting. Should you be unable to attend the meeting or have questions prior to the meeting, please feel free to contact Craig Brady at 801-437-0490 or email [cbrady@utahautismacademy.com](mailto:cbrady@utahautismacademy.com).

Best regards,

Craig Brady  
Utah Autism Academy  
1875 S. Geneva Road  
Orem, UT 84058  
801.437.0490  
[cbrady@utahautismacademy.com](mailto:cbrady@utahautismacademy.com)

**Neighborhood Meeting:** Introduction & Discussion of the new concept plan for Westerly Way

**Date:** December 15th

**Time:** 6:00pm (discussions continued until approx. 8:30pm)

**Attendance:** See attendance sheet

**Presentation of Plan:** Craig Brady (Tricia Nelson present to answer questions as well)

The concept plan C - 2.0 11-24-2025 (1"=50') from Dudley and Associates was presented for attendees to inspect.

The history of UAA's effort to develop its vacant parcel was reviewed. It included the original plan to rezone the approximately 5 acre parcel from OS-5 to PRD, with a concept plan of 23-approximately 3,200-3,400 sf free-standing homes. The City of Orem Development Services team had required access points to 800 West and to the east adjacent parcel (previously known as Wilkerson Farms). Neither of those access points were available to UAA at the time, due to the Dolan DeLeew 3 acre parcel in between. The concept plan provided a public road access to Geneva Road and a fire lane access through the north end of the existing clinical facility.

The original application was presented to the Orem City Council August 27, 2023 and was approved for a PRD. The application was withdrawn by UAA shortly thereafter due to the news that the owner of the east parcel had purchased the south parcel (DeLeew) and was placing both on the market for future development. This news created concern for the safety of the clients of Utah Autism Academy. It was anticipated that this would allow considerably more traffic to utilize the Geneva Road access that was designed to pass near the entrance of the clinical facility.

The parcels being sold were placed under contract with Keystone Construction and an R-8 rezone of the east parcel was approved by the Orem City Council in February 2025.

The south parcel was terminated from the purchase contract, and UAA has agreed to purchase that parcel.

A new concept plan was introduced in the neighborhood meeting. It calls for 44 twin-homes (about 2,500 sf each) on approximately 7-½ acres (including the south parcel). The Geneva Road access has been eliminated from the plans, and the original access points on 800 West and to the east parcel have remained. It was shared with the residents that UAA's goal is to create more affordable housing for the autism community by placing more units in the development with the twin home concept and by reducing the square footage.

Neighborhood feedback

The main concern of residents is the access of 44 units through 800 West. It was mentioned that previous flooding of 800 West has occurred, that there are many children in the area, that 800 West was not designed for this kind of traffic, and that 2000 South will become more congested with the traffic from this development and the other current and future developments.

Some recommended not using the “outdated” 2014 traffic study. It was indicated that we would follow the requirements of the City of Orem which may include a new traffic study. Several of the neighbors also wanted to close access to their neighborhood from the Keystone development to the east.

One neighbor was concerned about the behavior of individuals with autism living near her neighborhood. UAA is firmly committed to assisting with the development of a safe and friendly neighborhood.

Neighbors were concerned about the number of residents and vehicles at each unit. UAA shared its desire to restrict the number of vehicles per unit by creating the HOA CC&Rs. The neighbors requested these documents be available for the presentation to the Planning Commission.

Neighbors asked about backyard set-backs and roof heights, which were clarified as per city code.

There was considerable discussion about UAA's closure of the access to Geneva Road (as a change from the previous plan). It was indicated that UAA refuses to have traffic from the new Keystone development passing close to the clinic, as it poses substantial risk for clientele. It was discussed that if the Keystone (east parcel) access were to be permanently closed, UAA would petition UDOT and the City of Orem to allow the Geneva Road access. UAA is supportive of this possibility.

Craig Brady & Tricia Nelson stayed to answer any questions or address any concerns of neighbors.

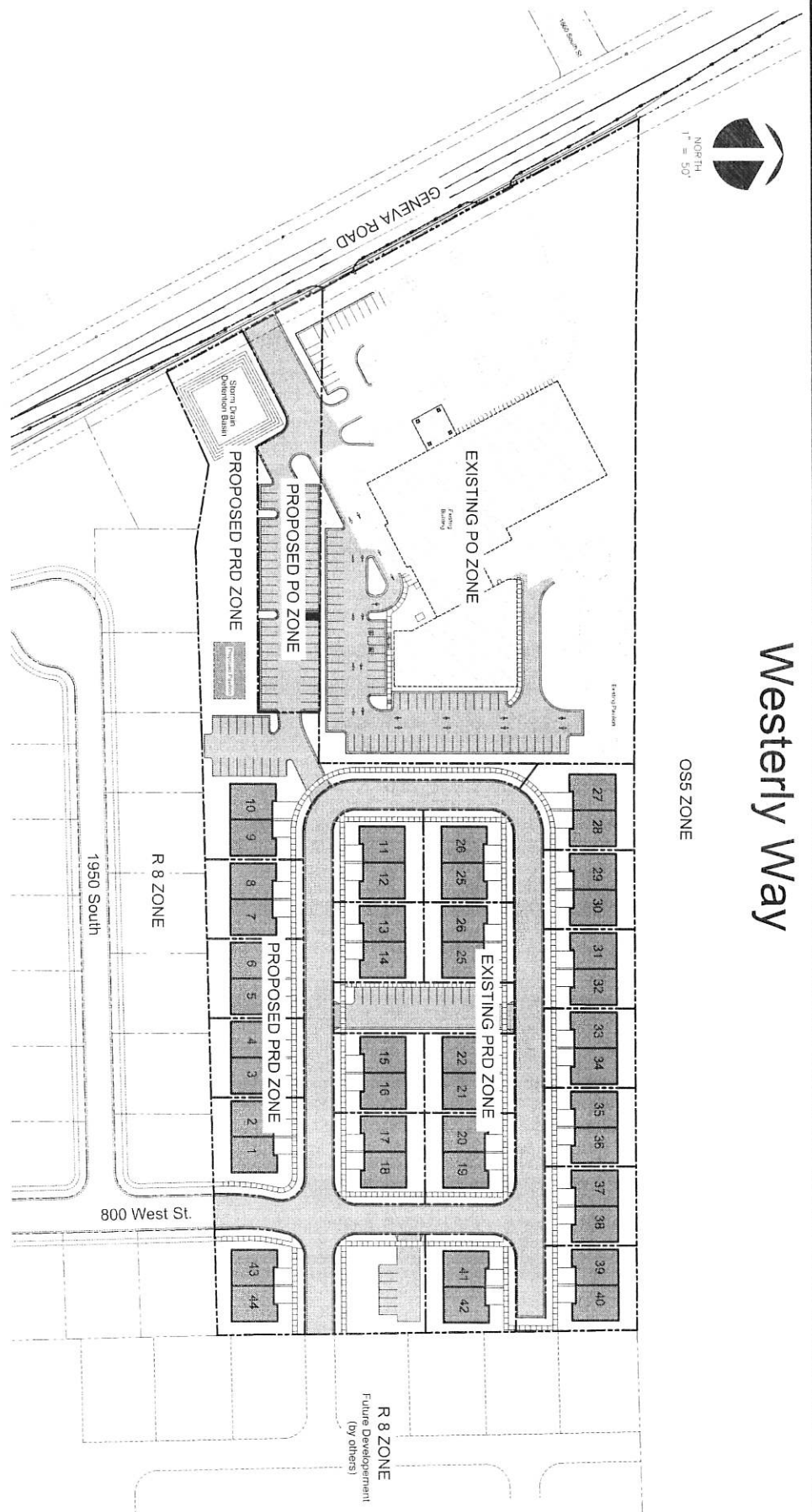
# Westerly Way Neighborhood Meeting

12/15/25

Name	Address	Email	Phone
Terrie Foster	861 W 1950 S	Terrie.Foster@gmail.com	
Barbara Linda Brown	788 W 2000 S.		
HARDEN HARBUT	1877 S 1630 W	HARDENHARBUT@gmail.com	
JOHN PETER	861 W 1950 S	JOHN.PETER@gmail.com	951-675-2202
Pamela Moose	1949 S. 800 W		
Laurie Berrett	878 W. 1950 S.	LaurieBerrett@gmail.com	308 251-1505
Sherril Fong	840 W 1950 S.	sherril@aol.com	
Tom Fong	840 W 1950 S.	biskopff@bishopfong@gmail.com	
ADAM BREVIER	866 W 1950 S.	EZITEADT@gmail.com	801-592-5296
Don Bahen	1949 N. G. Green Road	bahlen@gmail.com	801 822 2479
Vonda Bahen	1949 N. G. Green Road	bahlen@gmail.com	" " "
Alan Moose	1949 S. 800 W, OREM, UT		

# Westerly Way

OSS ZONE



**Know what's below.**  
**Call 811 before you dig.**  
 BLUE STAVES OF UTAH  
 UTILITY NOTIFICATION CENTER, INC.  
 WWW.811.UTAH.GOV  
 800-452-4111

**Owner / Developer**  
 Utah Autism Academy  
 Craig Brady  
 1875 South Geneva Road  
 Orem, Utah 84058  
 Office (801) 437-0490  
 cbrady@utahautismandemacy.com

**Engineer**  
 Dudley and Associates, Inc.  
 353 East 1200 South  
 Orem, Utah 84058  
 801-224-1252

**Site Data**  
 PRD ZONE = 319,294 sq.ft. or 7.33 Acres  
 Total number of Units = 44  
 PO ZONE = 28,314 sq.ft. or 0.65 Acres



<p><b>Revisions</b></p> <table border="1"> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> <tr><td> </td><td> </td></tr> </table>											<p><b>DATE</b> 11-26-2025</p> <p><b>SCALE</b> AS SHOWN</p> <p><b>BY</b> T.D. HANSEN, INC.</p> <p><b>UTAH</b></p>	<p><b>Sheet No.</b> C-210</p>	<p><b>Project</b> Westerly Way</p>	<p><b>Client</b> Utah Autism Academy</p>	<p><b>Concept Plan</b></p>	<p><b>DUDLEY AND ASSOCIATES</b>          ENGINEERS PLANNERS SURVEYORS          353 EAST 1200 SOUTH, OREM, UTAH          801-224-1252</p>	

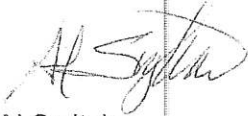
December 1, 2025

Utah Autism Academy  
1875 S. Geneva Road Orem, UT 84058  
Office Phone # (801)437-0490  
Fax # - (801)456-9954

Dear Mr. Brady

Subject: Rezoning of Orem Acreage Adjacent to Utah Autism Academy

I have no objections to the rezoning of the property in Orem, UT adjacent to the Utah Autism Academy. I am sure the Academy will put the land to good use in support of the mission of the school.



Al Switzler  
801.602.5543



---

## Items needed for Westerly Way Application

---

Rebecca Gourley <rsgourley@orem.gov>  
To: Craig Brady <cbrady@utahautismacademy.com>  
Cc: Grace Bjarnson <gebjarnson@orem.gov>

Mon, Nov 24, 2025 at 5:14 PM

Hi Craig,

Thank you for coming in today. Here are the items we will need for the rezone.

1. A copy of the Neighborhood Meeting letter  
I've attached a list of all neighbors who need to be notified of the rezone. Please ensure that when you apply, you include a digital copy of one.
2. A copy of materials presented at the Neighborhood Meeting
3. Neighborhood Meeting Attendance Roster
4. A copy of the minutes of the Neighborhood Meeting
5. In-writing agreement from the owners of the property confirming that they are aware of the rezone and agree to it.

The letter and the meeting date must contain or adhere to the following:

1. **Neighborhood Meeting.** *The applicant for a site plan within or adjacent to a residential zone shall hold a neighborhood meeting prior to submitting an application for site plan approval. The neighborhood meeting shall be held on any weeknight after 6:00 p.m. or Saturday after 9:00 a.m. to provide the best opportunity for the neighbors to attend. The meeting shall not be held on a holiday or the day before or after a holiday. The applicant shall send written notice of the place, date, and time of the neighborhood meeting to all property owners, as listed in the records of the Utah County Recorder the notice shall be written on letterhead which includes the contact information of the applicant, including but not limited to a name, address, phone number and an e-mail address. The notice must include the existing zoning classification of the subject property and the zoning classification that the applicant is requesting for the property. The notice must also include the following language:*

*"Pursuant to Orem City Code Section 22-14-20(I), this meeting is being held to discuss the project with you. This is an opportunity for you to review the plans and provide input and recommendations regarding the project. This application has not yet been reviewed by the City and is subject to change during the review process."*

*All required notices shall be provided at least one week prior to the date of the meeting. The neighborhood meeting must be conducted at a location within the City boundaries. The neighborhood meeting shall be held on any weeknight after 6:00 p.m. or Saturday after 9:00 a.m. to provide the best opportunity for the neighbors to attend. The meeting shall not be held on a holiday or the day before or after a holiday. Phone calls or informal door-to-door contacts are not considered neighborhood meetings. The applicant shall keep detailed minutes of the content of the neighborhood meeting. The application for site plan approval shall include a list of all individuals who were notified of the meeting, a roster of attendees at the meeting, and a copy of the minutes from the neighborhood meeting.*

With the time needed for noticing and for completing the neighborhood meeting, we anticipate this rezone going to PC on either December 17, 2025 or January 7th, 2026. If there are corrections required during the review, these dates may be pushed back.

Let Grace or I know if you have any other questions.

Thank you,

Rebecca Gourley  
Associate Planner  
56 N State St | Orem, Utah 84057  
[rsgourley@orem.gov](mailto:rsgourley@orem.gov) | (801) 229-7183



**20251124\_1\_Labels.docx**  
25K



**Planning Commission**  
March 18th, 2026

**5.2 Spring Hollow Rezone**

**PUBLIC HEARING – “SPRING HOLLOW” REZONE –**  
*Request to rezone the property located generally at 92 South 800 East from R8 (Residential) to C1 (Commercial)*

**Prepared By:**  
Rebecca Gourley

**Applicant:**  
Julie Smith, Dudley and Associates

**Notices:**

Posted in 2 public places  
 Posted on City Webpage and City hotline  
 Posted at Utah.gov/pmn  
 156 notices sent to property owners within a 1,000-foot radius

**Site Information:**

General Plan Designation:  
**Low Density Residential**  
 Current Zone: **R8**  
 Acreage: **1.00**  
 Neighborhood: **Orem**

**Action:**

The Planning Commission is the recommending body for this requested amendment, and may:

Forward a positive recommendation of the proposed change of zoning.

Forward a negative recommendation of the proposed change of zoning.

Continue the hearing to a future date to allow for further review, additional information, or public comment as may be needed to make a decision.

**REQUEST:** The applicant requests to amend Article 22-5-3(A) by rezoning the property located generally at 92 South 800 East from R8, Single-Family Residential to C1, Commercial.

**BACKGROUND:** On February 6<sup>th</sup>, 2026, the applicant submitted a request for a zone change at 92 South 800 East from R8 (Single Family Residential) to C1 (Commercial). The applicants wish to build an addition to the existing Spring Hollow Assisted Living Facility; however, the current facility is non-conforming in the R8 Zone (only smaller facilities are allowed in single-family residential zones currently.) Legal non-conforming uses can be expanded in some ways, but they cannot be expanded to accommodate additional units or density. The proposed addition to Spring Hollow’s existing facility would increase the number of residents at the facility. To accommodate the expansion, the applicants have proposed this change in zoning that would allow additional residents at the facility.

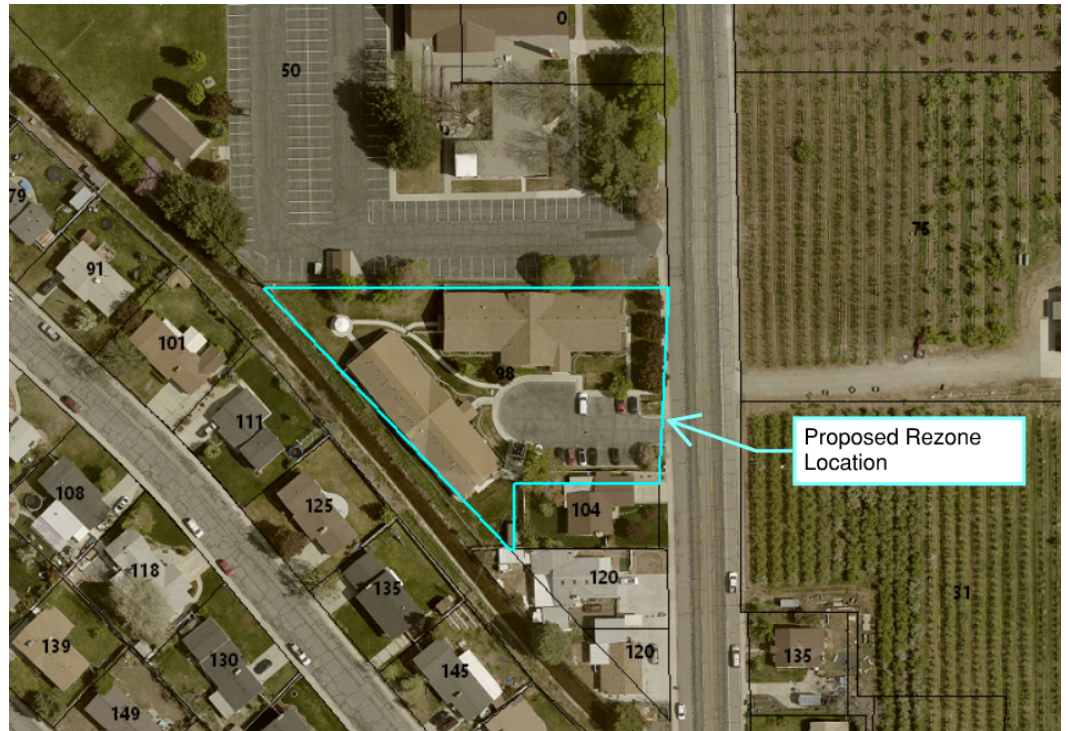


Figure 1, Subject Property aerial and zoning map

## REVIEW & ANALYSIS:

General Plan & Development Agreement – The property is designated “Low Density Residential” on the Future Land Use Map. The requested zoning (C1, Commercial) is not listed as one of the preferred zones for this land use designation. The situation is unique in that the existing use is non-conforming to the zoning designation at this time. The applicants have proposed limiting the impacts of the proposed change of zoning through the use of a development agreement that will allow only the current assisted living facility use in spite of a designation as commercial. If this approach is chosen to amend the zone a change to the underlying General Plan designation would not be necessary or desirable. In the event that the facility is ever removed, the C1 Zone would revert to R8 and the General Plan designation would be inappropriate and cause issues. The intent of the development agreement coupled with the C1 Zone would be to allow the expansion of the facility and nothing more. If the Commission and City Council choose to allow the rezone Staff would recommend against altering the General Plan’s land use designation in order to further limit any future impacts of that zone change.

Current Zoning– This property and all surrounding lots are currently zoned as R8. The R8 zone allows for the development of single-family lots, and a variety of residential care facilities. Residential care facilities located in the R8 must follow the setback requirements for R8 zone and must be compliant with the “Regulations Governing Particular Uses in Residential Zones” requirements outlined in section 22-6-9.

Legal Non-conforming Status – The Spring Hollow Assisted Living Center currently has a legal non-conforming status. The facility grounds have been in use since 1997, when it was originally approved by City Council through a conditional use permit for Beehive Homes Assisted Living.

Building permits from 1997 allowed the facility to be built to the commercial standard of the time, which allowed significantly smaller setbacks than the current standard.

As a result, the building is considered legal non-conforming and may continue to operate as-is; however, any new structures or changes to the property must be compliant with the current code.

Proposed Zoning – The applicants are requesting a rezone from the R8 to the C1 zone. The intent of the C1 zone is to promote nonretail commercial uses, such as offices and financial institutions (*ref. 22-8-3*). Though the zone is more restrictive than other commercial zones, it still accommodates a variety of service-based uses, such as financial institutions, personal services (ex., insurance, real estate, dental, and other professional offices).

A full list of uses allowed in the C1 zones may be viewed in Appendix A of the City Code ([Appendix A](#)). If the rezone is approved, these uses would be allowed at this location unless the proposed development agreement limits them.

Additionally, the rezone will allow future structures to be built to the following setbacks:

Zone Development Standards					
Commercial and Professional Office Zones					
	PO	C1	C2	C3	HS
Minimum Lot area in square feet unless listed as acres Setbacks (Minimum)	18000*****	7000	7000	3 acres*	½ acre
From back of sidewalk adjacent to State Street or State Street Connector Street:	15'	15'	15'	15'	15'
From all other streets:	20'**	20'	20'*****	30'**	20'
From an adjoining Property in a nonresidential zone:	0	0	0	0	0
From an adjoining property in a residential zone****:	25'****	10'	10'	40'	10'
<b>Structure Heights.</b>					
Minimum:	8'	8'	8'	8'	8'
Maximum:	35'	48'	48'***	35'***	60'

Concept Plan – The current concept plan for the Spring Hollow addition includes a proposed 2 story structure, which will include an additional kitchen and dining facility and 18 beds. Building elevations have not yet been proposed.

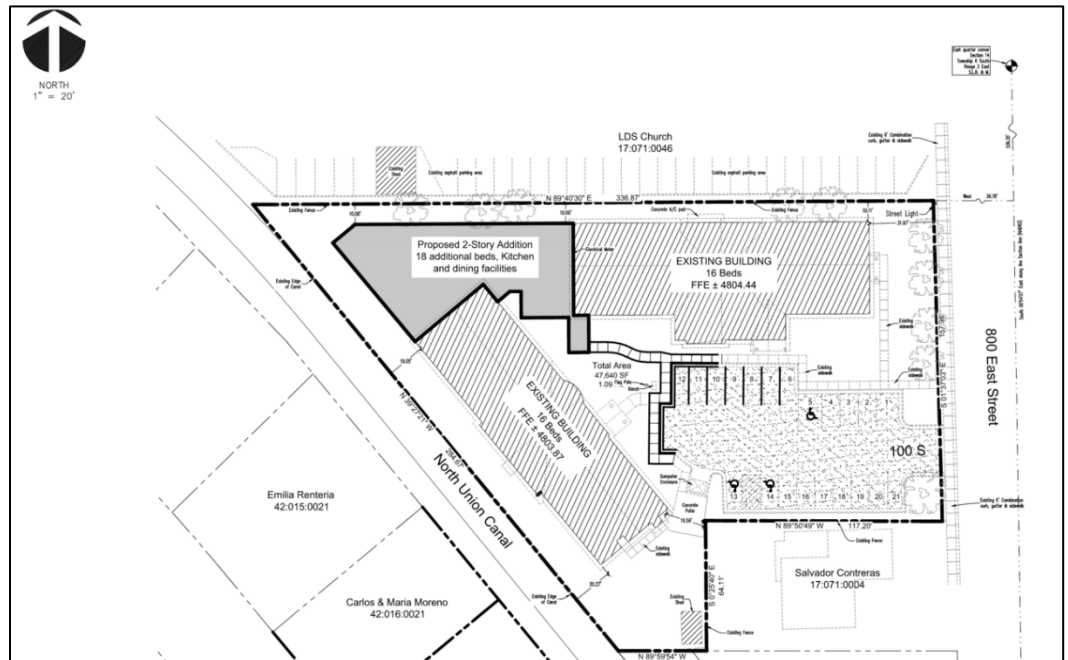


Figure 2, Concept Spring Hollow addition

**NOTE:** Concept plans are required as part of a rezone application but are not considered binding documents. Any structure, plans, or uses that meet C1 requirements will be allowed in this location if a C1 rezone is passed.

Neighborhood Meeting – A neighborhood meeting is required for all zone map amendment applications. The applicants held the required meeting at the Orem Recreation Center, located at 575 West Center Street, Orem, Utah, on February 2nd at 6:00 PM. Neighbors within a 1,000-foot radius of the project were notified. A total of four individuals attended. Minutes, a copy of materials discussed, and a copy of the notices mailed by the applicants are attached to the agenda packet for review.

**STATE REQUIRED PROCESS FOR LAND USE AMENDMENTS:**

For land use amendments like the requested zone change, Utah State Code states that the “planning commission shall... review and recommend to the [Orem City Council (“Council”)] a proposed land use regulation that represents the planning commission's recommendation for regulating the use and development of land within all or any part of the area of the municipality. See Utah Code 10-9a-502(1)(d)(i).

The Council “may not make any amendment [to the land use ordinance or zoning map] unless the Council... first submits the amendment to the planning commission for the planning commission's recommendation.” See Utah Code 10-9a-503(2).

**ALTERNATIVE ACTIONS:**

After review and consideration of the application the Planning Commission may:

**Recommend Approval or Denial** for the requested zoning map amendment to the City Council. In this case, a recommendation for approval should include a condition for a development agreement limiting the use of the property to only assisted living facilities.

**Continue the Request** to a future date for further review, additional information, or public comment.

**ALTERNATIVE MOTIONS:**

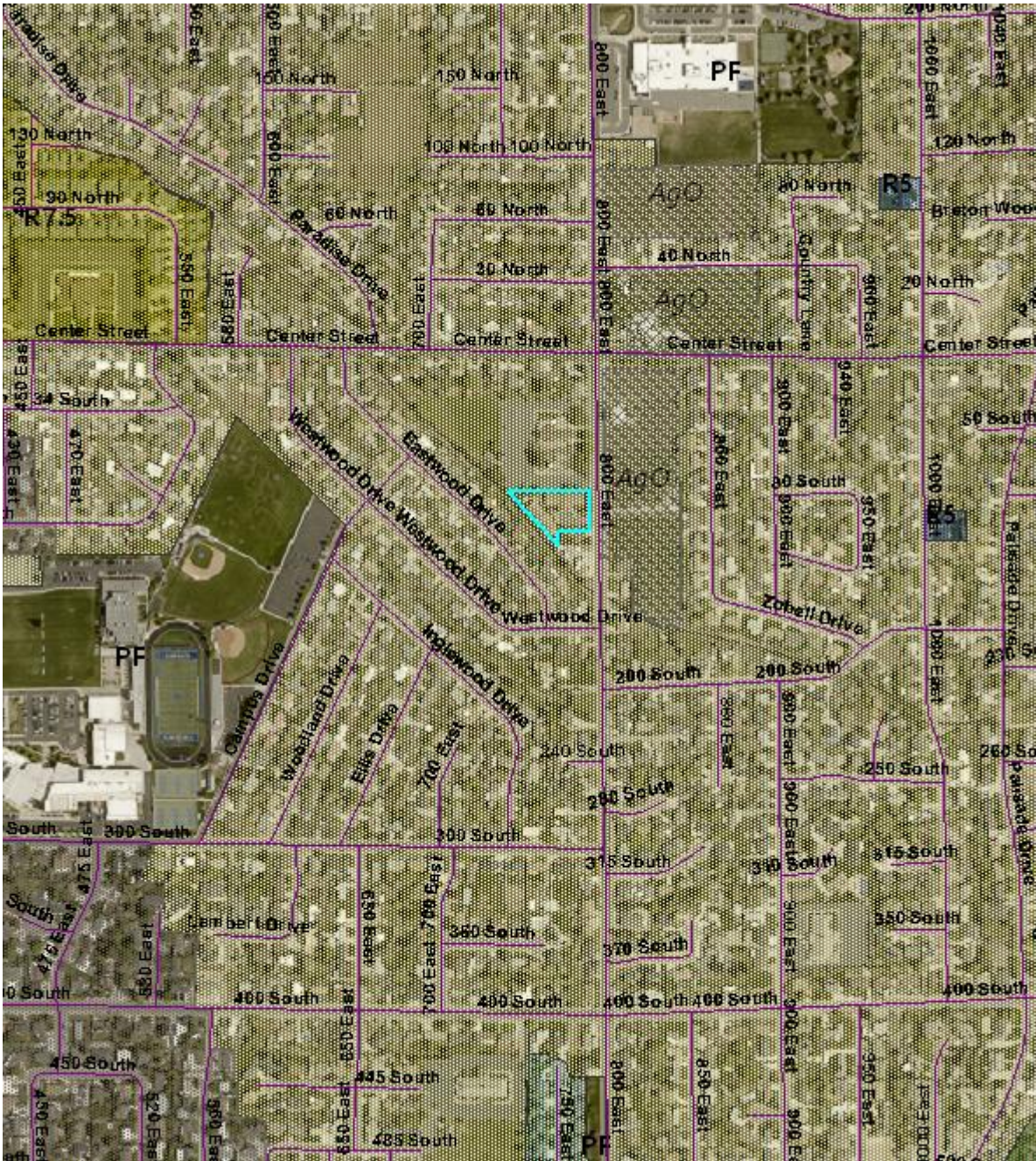
**Motion to Approve or Deny**

“I move that the Planning Commission forward a recommendation of [**choose APPROVAL or DENIAL**] to the Orem City Council for the request to amend Article 22-5-3(A) and the Zoning Map of the City of Orem by changing the zone of the property located generally at 92 South 800 East from R8, Single Family Residential to C1, Commercial, approximately 1.0 acres in conjunction with the proposed development agreement that limits the use of the property to assisted living facilities.

**Motion to Continue the Request**

“I move that the Planning Commission continue this request for further consideration to (choose another date as appropriate).”

# Spring Hollow Rezone – 92 S 800 East



## Vicinity & Zoning Map

Zone: R8

Acres: Approx 1







# Spring Hollow - Street View

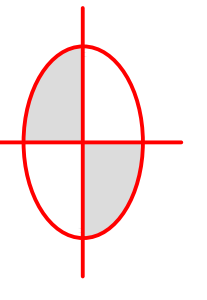
## (98 S 800 East)



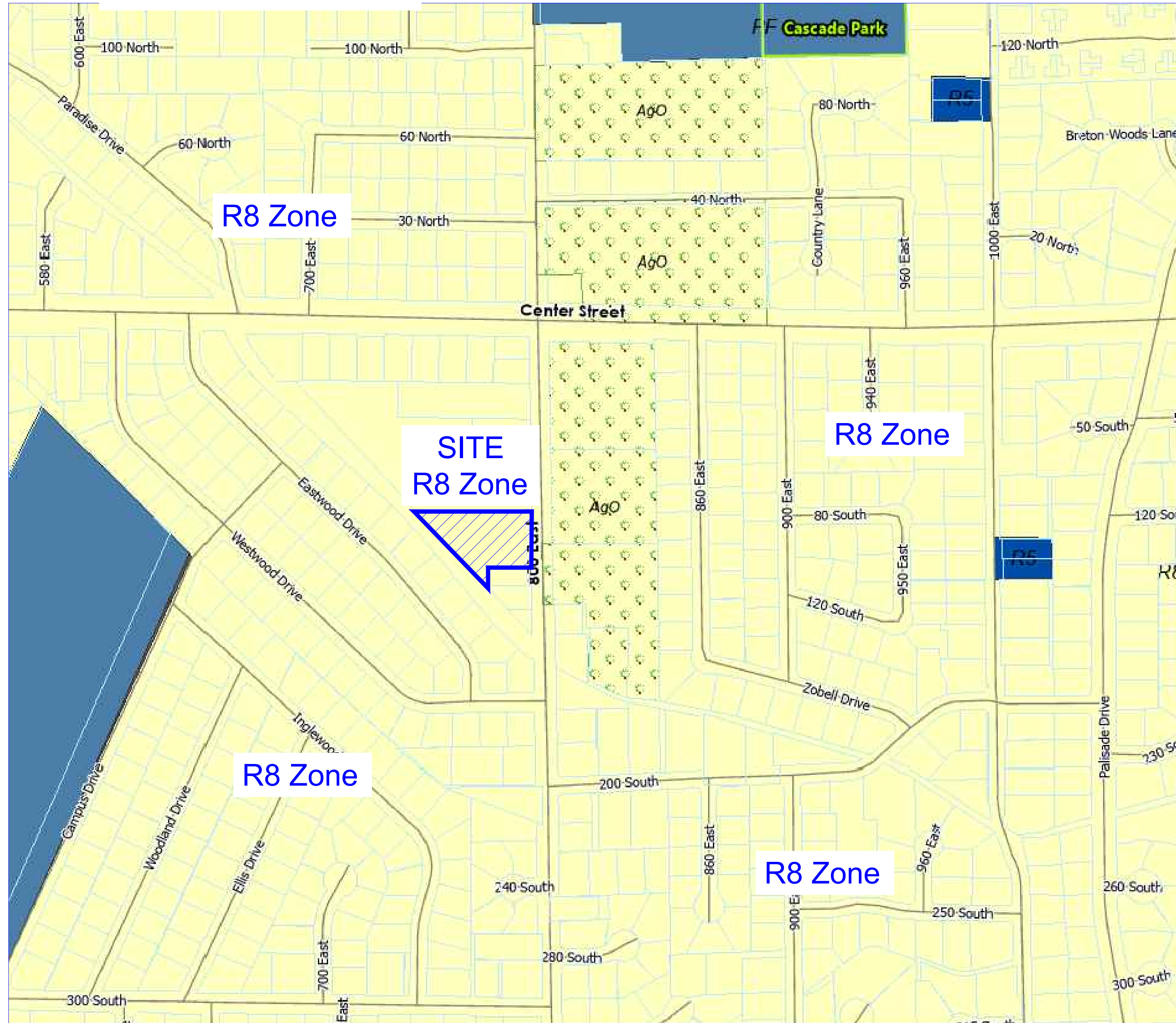
**DEPARTMENT REVIEW**

- SEWER \_\_\_\_\_ / DATE \_\_\_\_\_
- WATER  / DATE 02/11/2026
- STORM DRAIN  / DATE 02/10/2026
- TRAFFIC \_\_\_\_\_ / DATE \_\_\_\_\_
- STREET LIGHTS  / DATE 02/12/2026
- FIRE MARSHAL \_\_\_\_\_ / DATE \_\_\_\_\_
- STREETS  / DATE 02/10/2026
- PLANNING \_\_\_\_\_ / DATE \_\_\_\_\_

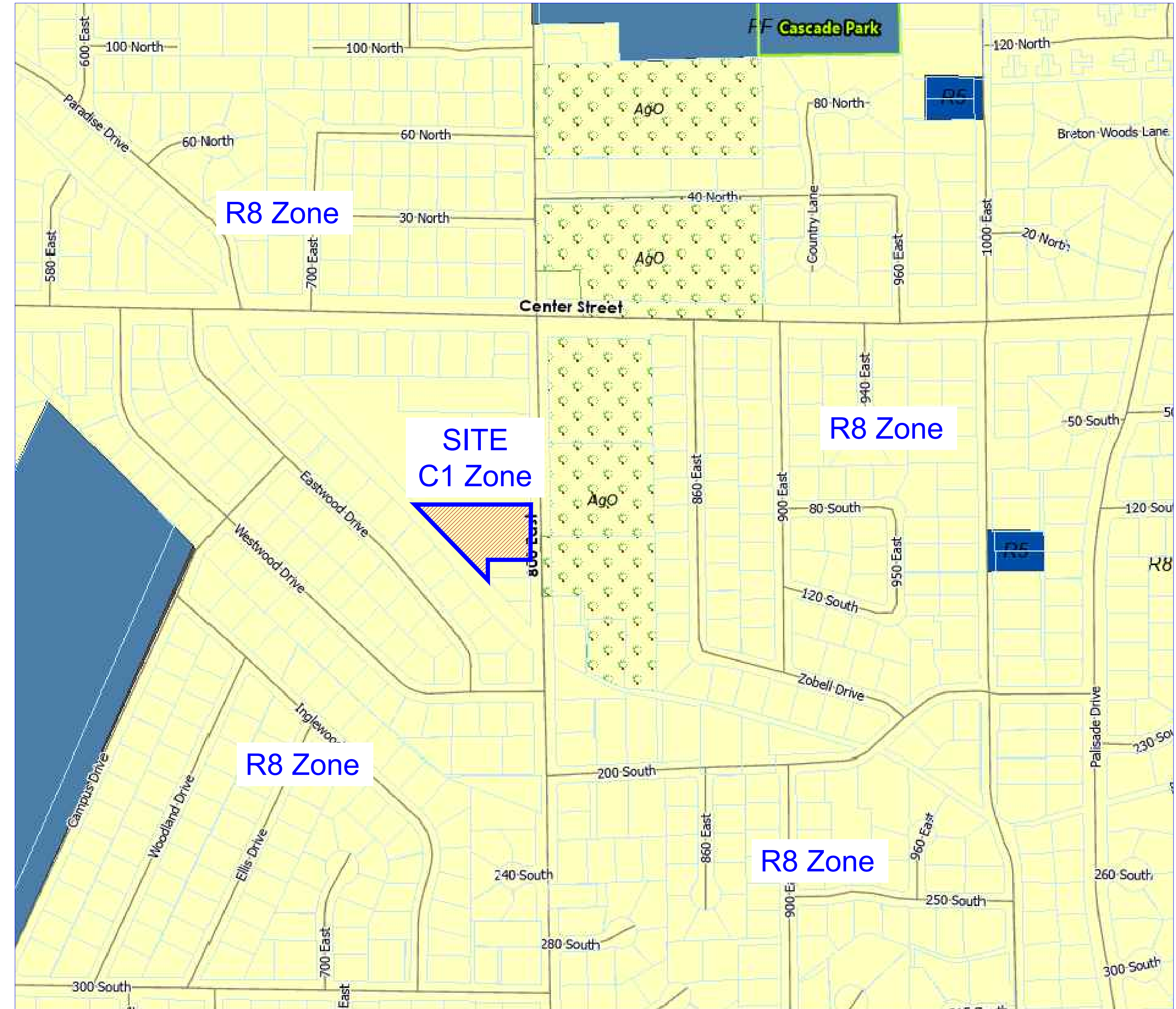
# Spring Hollow Care Facility



**DUDLEY AND ASSOCIATES**  
 ENGINEERS PLANNERS SURVEYORS  
 353 EAST 1200 SOUTH, OREM, UTAH  
 801-224-1252



Current Zoning Map



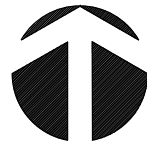
Proposed Zoning Map

Utah  
 CITY  
**Re-Zone Exhibit**  
 Spring Hollow Care Facility  
 92 South 800 East

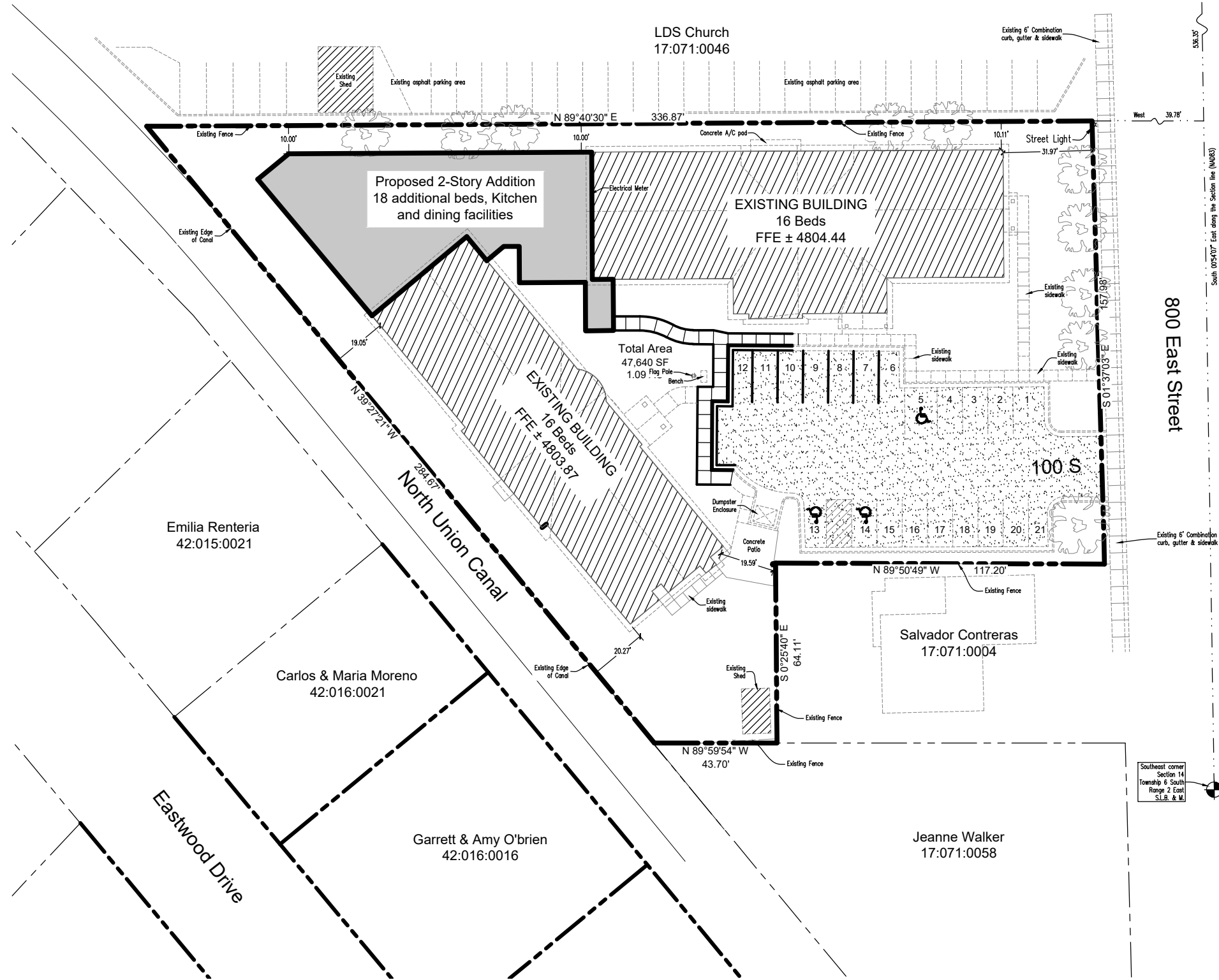
Revisions
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Date	1-14-2026
Scale	Not to scale
By	TD
Tracing No.	L - 14929

Sheet No.	RZ - 1
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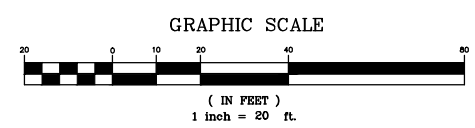
NORTH  
1" = 20'



Developer:  
M LLC  
%Dan Jones

Engineer:  
Dudley and Associates, Inc.  
353 East 1200 South  
Orem, Utah 84058  
801-224-1252

Site Data:  
Zone = R8  
Total Area = 47,640 sq.ft. or 1.09 Acre  
Total number of Rooms = 32 Existing, 18 Proposed  
Parking Requirements = 1 space/2.5 beds  
  
Spaces required = 20  
Spaces provided = 21



**Know what's below. Call 811 before you dig.**

**BLUE STAKES OF UTAH**  
UTILITY NOTIFICATION CENTER, INC.  
www.bluestakes.org  
1-800-662-4111

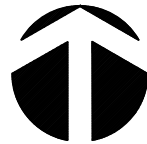
**CAUTION!!! Notice to contractors**

The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field. The information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to request the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.

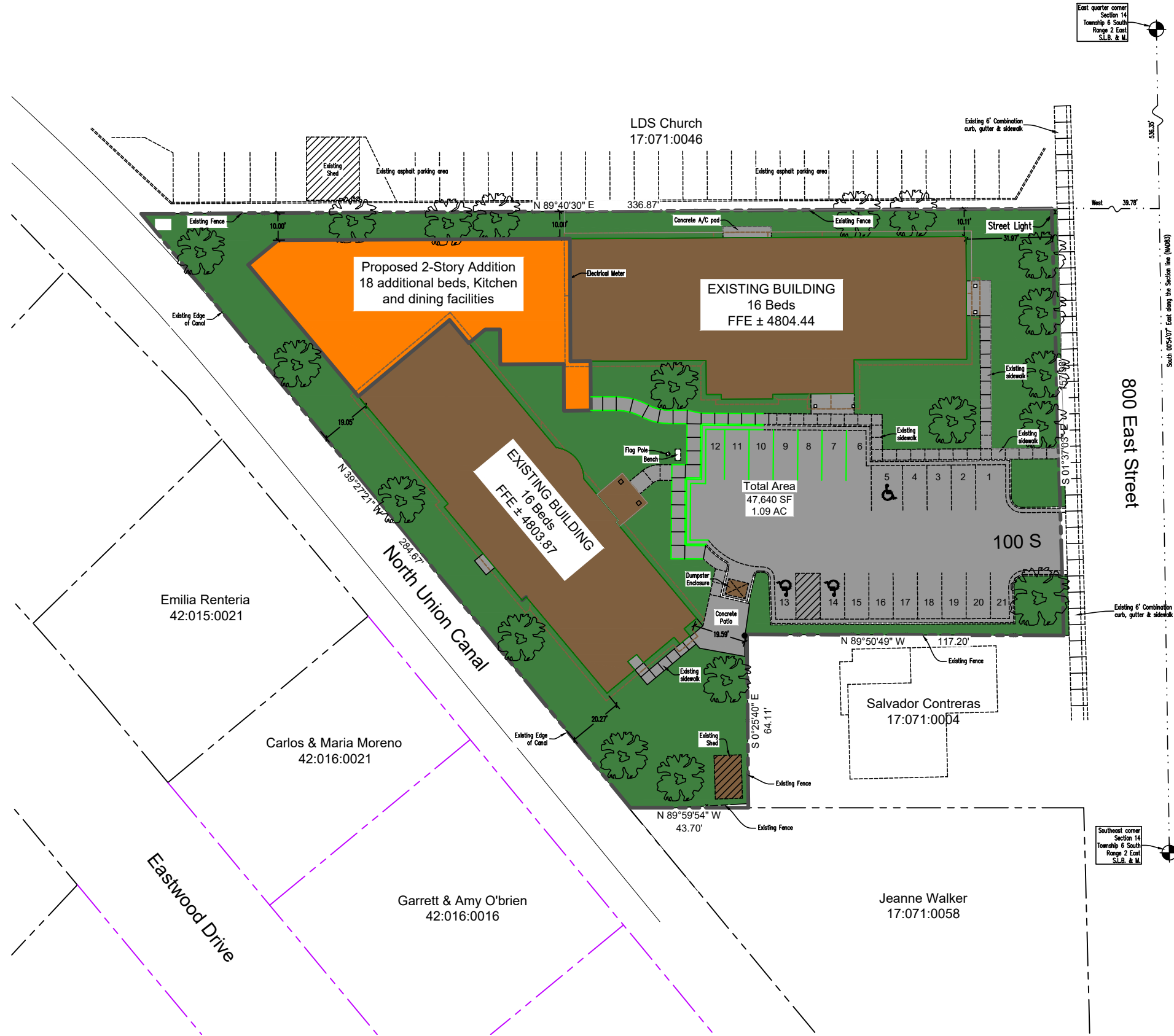
**DUDLEY AND ASSOCIATES**  
ENGINEERS PLANNERS SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

Spring Hollow Assisted Living  
**Re-Zone Site Plan**

Revisions	
Date	1-14-2026
Scale	1" = 20'
By	TD
Tracing No.	L -
Sheet No.	<b>RZ-2</b>



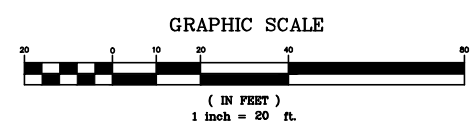
NORTH  
1" = 20'



Developer:  
M LLC  
%Dan Jones

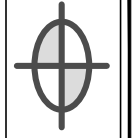
Engineer:  
Dudley and Associates, Inc.  
353 East 1200 South  
Orem, Utah 84058  
801-224-1252

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DUDLEY AND ASSOCIATES  
ENGINEERS-PLANNERS-SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

Utah  
Spring Hollow Assisted Living  
**Re-Zone Site Plan**  
Orem

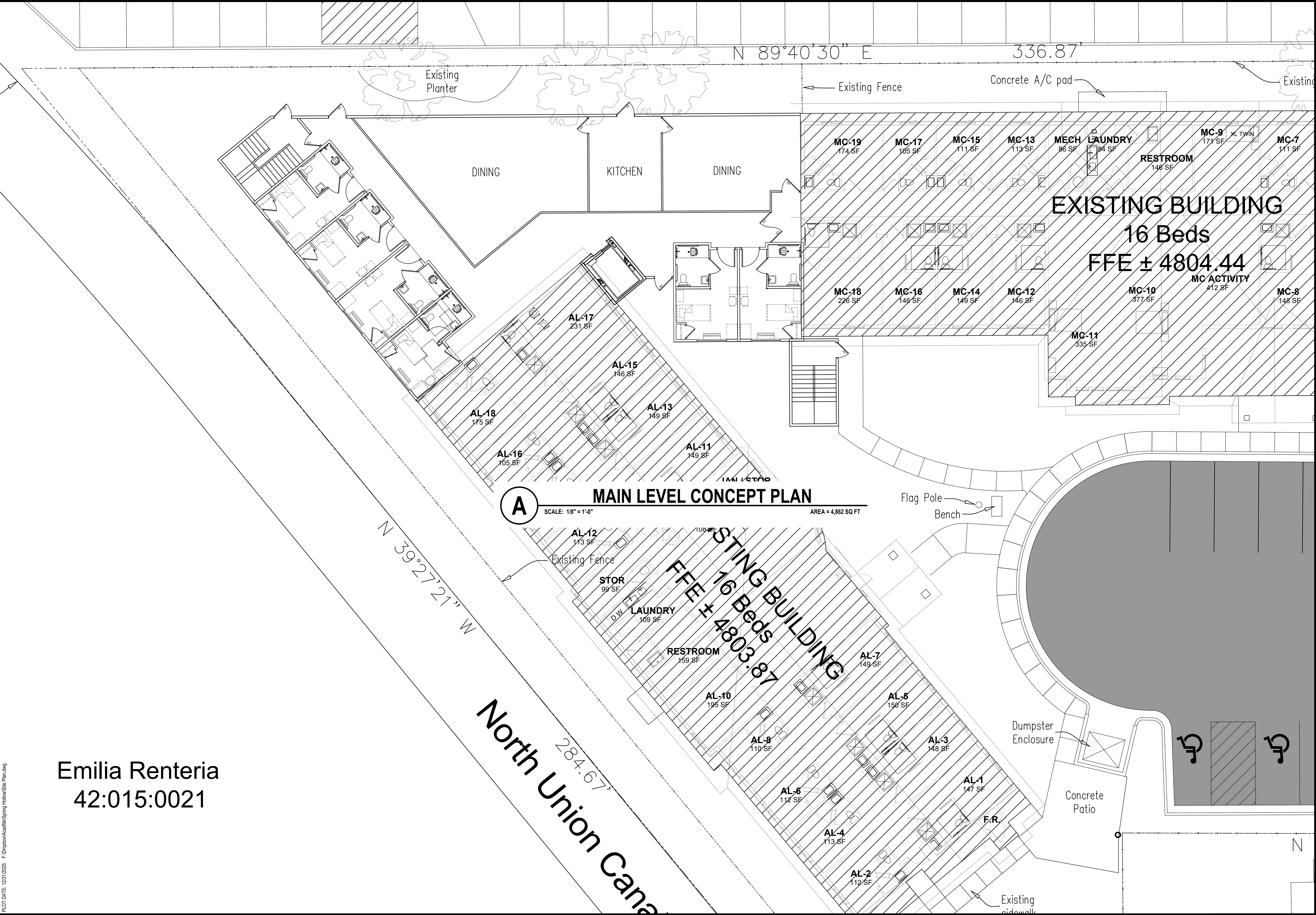
Revisions

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Scale	1" = 20'
By	TD
Tracing No.	L -

Sheet No.  
**RZ-2**

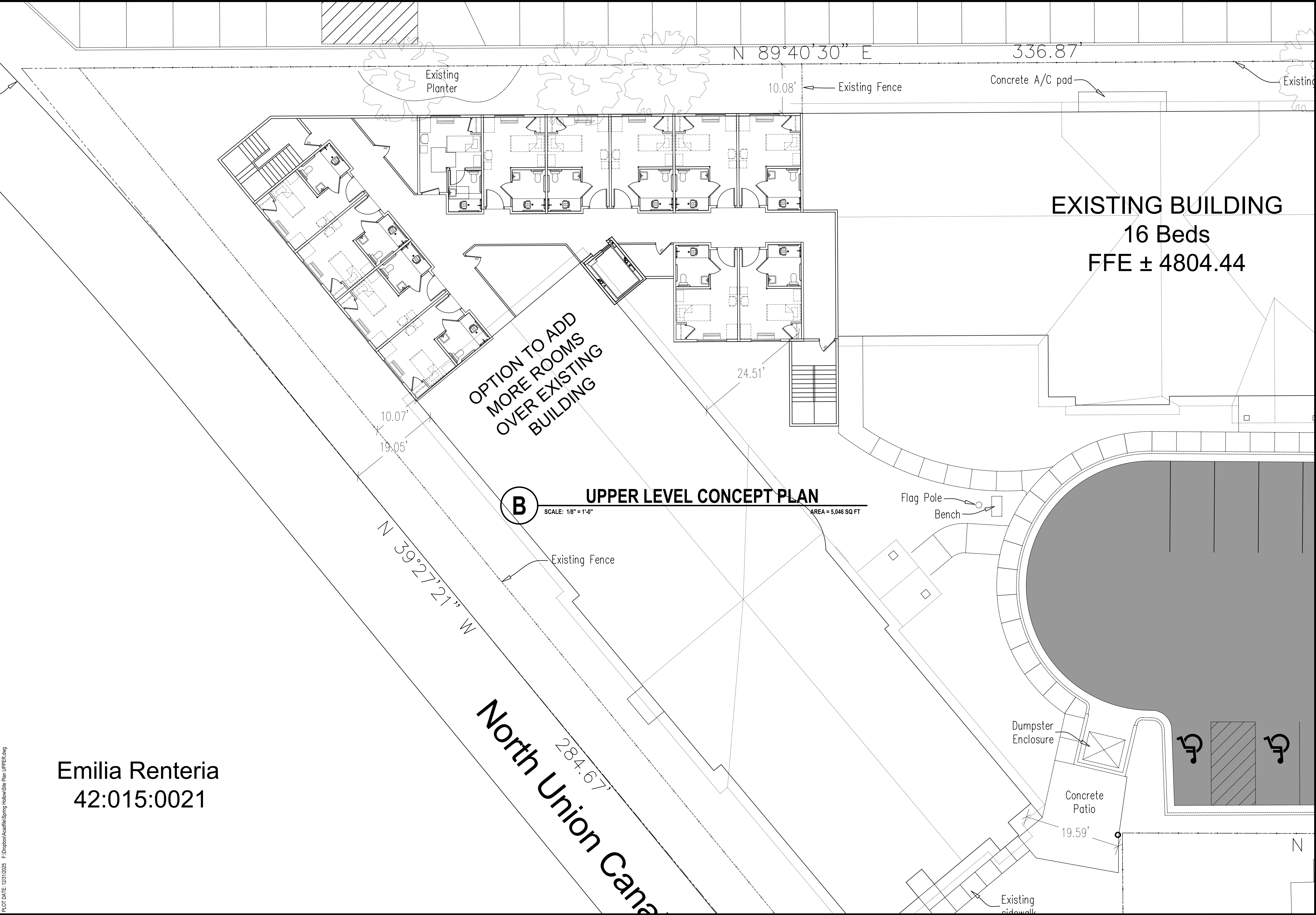
THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT - COPYRIGHT © 2014 BY HARRIS ARCHITECTURE - ALL RIGHTS RESERVED  
PLOT DATE: 12/31/2025 F:\Dropbox\Acacia\Spring Hollow\Site Plan.dwg

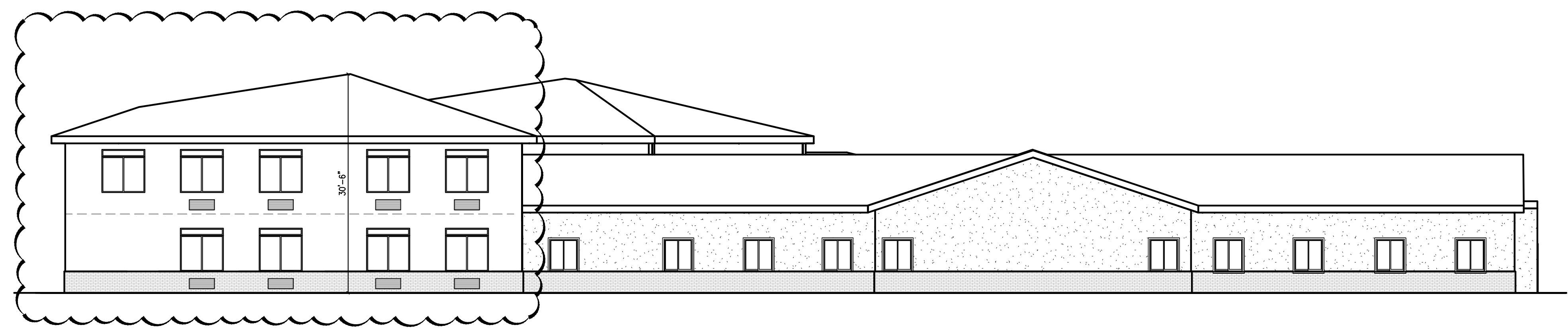
Emilia Renteria  
42:015:0021



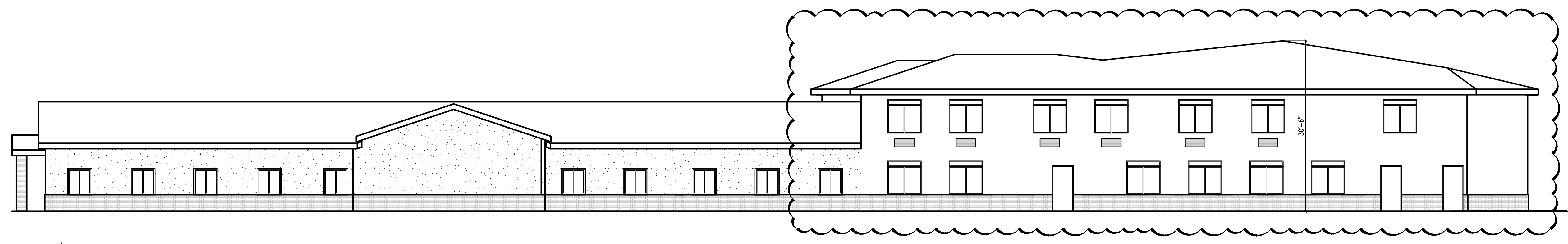
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PLOT DATE: 12/31/2025 F:\Dropbox\Acadell\Spring Hollow\Site Plan\_UPPER.dwg

Emilia Renteria  
42:015:0021





4 | SIDE ELEVATION  
3/32" = 1'-0"



2 | BACK LONG ELEVATION1  
3/32" = 1'-0"

THESE DRAWINGS OR ANY PARTS THEREOF, AS INSTRUMENTS OF SERVICE, REMAIN THE PROPERTY OF THE ARCHITECTS AND MAY NOT BE REPRODUCED OR USED ON OTHER WORK WITHOUT THEIR WRITTEN CONSENT - COPYRIGHT © 2014 BY HARRIS ARCHITECTURE - ALL RIGHTS RESERVED  
 PLOT DATE: 2/1/2026 C:\Users\brmac\Dropbox\Acadfile\Spring Hollow\SHA21-ELEV.dwg

Julie Smith - APPLICANT  
182 S. Orem Blvd.  
Orem, Utah 84058  
801-368-9552  
Julielynnsmith5@gmail.com

### NEIGHBORHOOD MEETING NOTICE

Regarding the existing Spring Hollow Assisted Living Center

Dear neighbor,

This letter is to inform you of an upcoming “Neighborhood Meeting” to discuss a change in zoning on property located generally at 92 South 800 East, in Orem.

The purpose of this rezone is to make the existing Spring Hollow Assisted Living a conforming use and to allow expansion by connecting the two existing buildings on the northeast corner for additional dining space, kitchen facilities, and units.– **see below**. A development agreement will be made with the city to ensure that the said property will have no other use other than an assisted living center. The existing zone has a classification of R8 and we are requesting the zone classification of C1.

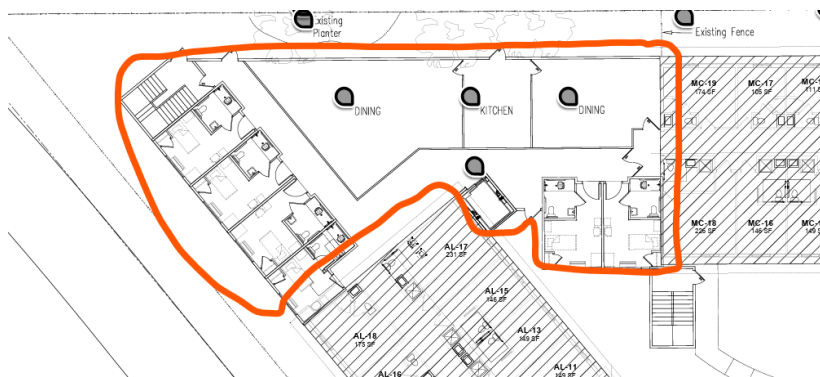
A neighborhood meeting will be held at:  
Orem Recreation Center  
575 W. Center St., Orem – multipurpose room – east wing  
February 2<sup>nd</sup> from 6:00 – 7:00 pm

All neighbors within 1000 feet have been notified of this meeting, however if you know of someone who may not have been notified, please pass this information on to them.

“Pursuant to Orem City Code Section 22-14-20(I) this meeting is being held to discuss the project with you. This is an opportunity for you to review plans and provide input and recommendations regarding the project. The application has not yet been reviewed by the city and is subject to change during the review process.”

Should you be unable to attend the meeting or have questions prior to the meeting, please feel free to contact Julie Smith (owner’s representative) at 801-368-9552 to answer any questions.

The red area shows how the buildings are proposed to be connected.



Thank you,

Julie Smith

Neighborhood Meeting Feb. 2<sup>nd</sup>, 2026

Orem Recreation Center

Orem, Utah

A neighborhood meeting was held on the evening of Feb. 22<sup>nd</sup> at 6pm at the Orem Recreation Center.

The meeting was conducted by Julie Smith. The meeting was attended by 4 people. One neighbor, one City Council member, an employee and an owner of Spring Hollow Assisted Living.

The meeting was called to discuss a zone change on the property located at 92 S. 800 East in Orem.

The neighbor who was in attendance – Mr. Heninger, lives behind Spring Hollow (canal separates his home and Spring Hollow Assisted Living Center)

He asked for copies of the proposed elevations, the email he gave was not good, so a copy was delivered to his home.

His concerns were:

- He would lose his view of the mountain with the new addition
- the noise of the air conditioning units
- the noise of any kitchen equipment

Councilmember Millett's concerns:

- enough parking for the units
- if the project could expand --- response was explained that there would not be room for additional parking for additional units.

The meeting lasted one hour, with all attendees staying one hour.

The meeting started at 6:00 PM and ended at 7:00 PM.

JASON GATHERUM, ROCKY MOUNTAIN CARE, JASONG@RMCARE.COM

John Heninger resident sarawestenskov@hotmail.com  
LaNae Millett CC (



# Planning Commission

March 18<sup>th</sup>, 2026

## PUBLIC HEARING – TEXT AMENDMENT

Request to amend the text of Articles 2-15-2, 2-15-11, 2-16-2, 2-16-10, and 22-21 of the Orem City Code relating to the powers and duties of the Planning Commission and Special Exceptions.

### Item 5.3:

Text Amendment,  
Special Exceptions

**Prepared By:**

Jared Hall

**Applicant:**

Planning Division

**Notices**

Posted in 2 public places  
Posted on City Webpage and  
City hotline  
Posted at Utah.gov/pmn

**Action**

The Commission may:

Recommend APPROVAL of  
the proposed text  
amendment to the City  
Council.

Recommend DENIAL of the  
proposed text amendment  
to the City Council.

Continue the hearing to a  
future date to allow for  
further review, additional  
information, or public  
comment as may be  
needed.

**REQUEST:** The applicant requests that the Planning Commission forward a recommendation to the City Council to amend the text of several articles of the Orem City Code related to Special Exceptions. Specifically, the amendments assign duty to review special exceptions to the Planning Commission.

**BACKGROUND:** There are several instances in City Code where exceptions to some requirements or restrictions can be reviewed and granted. In two cases, the Board of Adjustments (BOA) is empowered to make that determination. First, when considering the relocation of some billboards (Article 2-15-11). The second is a determination under Article 22-21, in which case a multi-family dwelling can be developed on a property located in single-family zoning. Article 22-21 establishes multiple criteria for the review of the property. Essentially, the BOA needs to review the property and make a finding that it can be granted a special exception, and then the Planning Commission needs to review and approve the site plan for the property *applying specific standards that are part of Article 22-21.*

In 2025, an application to amend the text of Article 22-21 was filed. During the review of that application, it became apparent to the sitting Commission and to Staff that because of the in-depth review of the site planning that would be required, the Commission would be the more appropriate body to review and grant special exception in those cases. As there were only two special exceptions not part of the Planning Commission’s duties and both (multi-family use and off-premises signs) are essentially land use issues, Staff is proposing that both remaining exceptions become part of the Planning Commission’s duties.

**REVIEW & ANALYSIS:** Redline and strikeout versions of the different sections of Code impacted to make this change are with this report as Attachment A. New language is shown in red, and language to be removed is shown in strikeout. The different sections that must be changed are summarized below, in order that they appear in the Code and the redline document:

- **2-15-2. Power and Duties.** This segment of code details the expected duties of the Planning Commission. The change proposed here is to add a statement clarifying that the Planning Commission has the power to consider and grant special exceptions to land use requirements where the code explicitly authorizes them to do so.
- **2-15-11. Special Exception for Relocation of Certain Billboards.** This is a new section, added to mirror the section that will be struck from the BOA

powers and duties. Billboards have certain rights related to relocation in some circumstances that the BOA has granted exceptions for in the past. This section being added to the Commission's duties will be struck from the BOA's duties.

- **2-16-2. Powers of Board.** This section enumerates the powers and the duties of the BOA. The BOA will still hear appeals and requests for variance, but the section for the BOA hearing requests for special exception will be struck since it is being added to the Commission's duties.
- **2-16-10. Special Exception for Relocation of Certain Billboards.** This is the section being added to the Commission's list of duties as 2-15-11. Proposed to strike in full.
- **22-21 . Criteria for Special Exception.** Article 22-21 allows the City to make a finding in one of several ways to allow a property located in single-family zoning to be developed as a multi-family. Essentially, if the property meets certain criteria (i.e. if it is completely surrounded by already developed multi-family projects, or if it is part of a block where a large majority of the properties have already been developed as multi-family, etc.) Article 22-21 calls out the BOA as the body that makes the finding that the property is eligible for the special exception, but the Planning Commission has to review and apply all the specific regulations (and there are many) to the development.

Staff proposes making the Planning Commission the body granting the exception as well. The term "Board of Adjustment" must be struck and replaced twice in the full body of Article 22-21 and replaced with "Planning Commission" to make this change.

**STATE REQUIRED PROCESS FOR LAND USE AMENDMENTS:**

For land use amendments like the requested text amendments in this application, Utah State Code states that the "planning commission shall... review and recommend to the [Orem City Council ("Council")] a proposed land use regulation that represents the planning commission's recommendation for regulating the use and development of land within all or any part of the area of the municipality. See Utah Code 10-9a-502(1)(d)(i).

The Council "may not make any amendment [to the land use ordinance or zoning map] unless the Council... first submits the amendment to the planning commission for the planning commission's recommendation." See Utah Code 10-9a-503(2).

**ALTERNATIVE ACTIONS:**

After review and consideration of the application the Planning Commission may:

**Recommend Approval or Denial** for the requested amendments to the City Council;  
or

**Continue the Request** to a future date for further review, additional information, or public comment.

**ALTERNATIVE MOTIONS:**

**Motion to Approve or Deny**

“I move that the Planning Commission forward a recommendation of [**choose APPROVAL or DENIAL**] to the Orem City Council for the proposed amendments to Articles 2-15-2, 2-15-11, 2-16-2, 2-16-10, and 22-21 of the Orem City Code relating to the powers and duties of the Planning Commission and Special Exceptions.

**Motion to Continue the Request**

“I move that the Orem City Council continue this request for further consideration to (choose another date as appropriate).”

**2-15-2. Power and Duties.**

The Planning Commission shall have all powers granted by State statutes and City ordinances, plus those powers and duties delegated to it by the City Council. The Commission shall act in an advisory capacity to the City Council with respect to planning and zoning matters which are reviewed or acted upon by the City Council.

The Planning Commission shall have the power to consider and grant special exceptions to land use requirements when the Orem City Code explicitly authorizes the Planning Commission to do so.

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**2-15-11. Special Exception for Relocation of Certain Billboards**

A. If an outdoor advertising structure needs to be moved away from a high voltage power line so that the sign can be reposted or maintenance performed without having to comply with the distance or notification requirements of Utah Code Section 54-8c-2, or in order to comply with distance or notification requirements imposed by the National Electrical Safety Code, International Building code, a regulation, standard or directive of the Occupational Safety and Health Administration, or any other similar applicable regulation, then the Planning Commission may grant a special exception from the City's ordinances to allow the owner to relocate and remodel the structure to another location within the City:

1. on the same property;
2. on adjacent property;
3. within 2,640 feet of the previous location on either side of the same highway; or
4. mutually agreed upon by the owner and the City.

**(Ord. No. O-05-0027, Enacted 9/13/2005; Ord No. O-06-0011, Amended 6/27/2006)**

B. The relocation under Subsection A shall be in a commercial or industrial zoned area or where outdoor advertising is permitted under Utah Code Section 72-7-501 et seq. (as amended).

**(Ord. No. O-05-0027, Enacted 9/13/2005; Ord No. O-06-0011, Amended 6/27/2006)**

C. The relocated and remodeled structure may be:

1. erected to a height and angle to make it clearly visible to traffic on the main-traveled way of the highway to which it is relocated or remodeled;
2. the same size and at least the same height as the previous structure, but the relocated structure may not exceed the size and height permitted under Utah Code Section 72-7-501 et seq. (as amended); and
3. relocated to a location with a comparable traffic vehicular count.

**(Ord. No. O-05-0027, Enacted 9/13/2005; Ord No. O-06-0011, Amended 6/27/2006)**

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**2-16-2. Powers of Board.**

The Board of Adjustment shall have the following powers:

- A. To hear and decide appeals where it is alleged that there is error in any order, requirement, decision or determination made by the administrative official in the enforcement of the City's zoning ordinance or subdivision ordinance, except in the case of matters designated to be appealed to other bodies.

**(Ord. No. 661, Revised, 04/10/1990)**

~~B. To hear and decide special exceptions to the terms of the ordinance upon which such board is required to pass under such ordinance. [REPEALED]~~

**(Ord. No. 661, Revised, 04/10/1990)**

C. To authorize upon appeal such variance from the terms of the City's zoning ordinance or subdivision ordinance as will not be contrary to the public interest, where owing to special conditions a literal enforcement of the provisions of the ordinance will result in unnecessary hardship; provided, that the spirit of the ordinance shall be observed and substantial justice done. Before any variance may be authorized, however, it shall be shown that:

1. The variance will not substantially affect the comprehensive plan of zoning in the city and that adherence to the strict letter of the ordinance will cause difficulties and hardships, the imposition of which upon the petitioner is unnecessary in order to carry out the general purpose of the plan;
2. Special circumstances attached to the property covered by the application which do not generally apply to the other property in the same district;
3. Because of said special circumstances, property covered by application is deprived of privileges possessed by other properties in the same district; and that the granting of the variance is essential to the enjoyment of a substantial property right possessed by other property in the same district.

**(Ord. No. 661, Revised, 04/10/1990)**

D. To perform any other function granted to the Board of Adjustment by State statutes or City ordinances.

**(Ord. No. 661, Revised, 04/10/1990)**

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**2-16-10. Special Exception for Relocation of Certain Billboards [REPEALED]**

~~A. If an outdoor advertising structure needs to be moved away from a high voltage power line so that the sign can be reposted or maintenance performed without having to comply with the distance or notification requirements of Utah Code Section 54-8c-2, or in order to comply with distance or notification requirements imposed by the National Electrical Safety Code, International Building code, a regulation, standard or directive of the Occupational Safety and Health Administration, or any other similar applicable regulation, then the Board of Adjustment may grant a special exception from the City's ordinances to allow the owner to relocate and remodel the structure to another location within the City:~~

- ~~1. on the same property;~~
- ~~2. on adjacent property;~~
- ~~3. within 2,640 feet of the previous location on either side of the same highway; or~~
- ~~4. mutually agreed upon by the owner and the City.~~

**{Ord. No. O-05-0027, Enacted 9/13/2005; Ord No. O-06-0011, Amended 6/27/2006}**

~~B. The relocation under Subsection A shall be in a commercial or industrial zoned area or where outdoor advertising is permitted under Utah Code Section 72-7-501 et seq. (as amended).~~

**{Ord. No. O-05-0027, Enacted 9/13/2005; Ord No. O-06-0011, Amended 6/27/2006}**

~~C. The relocated and remodeled structure may be:~~

- ~~1.—erected to a height and angle to make it clearly visible to traffic on the main traveled way of the highway to which it is relocated or remodeled;~~
- ~~2.—the same size and at least the same height as the previous structure, but the relocated structure may not exceed the size and height permitted under Utah Code Section 72-7-501 et seq. (as amended); and~~
- ~~3.—relocated to a location with a comparable traffic vehicular count.~~

~~(Ord. No. O-05-0027, Enacted 9/13/2005; Ord. No. O-06-0011, Amended 6/27/2006)~~

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## **22-21-2. Criteria for Special Exception.**

The ~~Board of Adjustment~~**Planning Commission** may grant a special exception for a [Multifamily Dwelling](#) for a parcel in the R6, R6.5, or R7.5 [zones](#) only, under the following circumstances:

A. The lot meets all of the following criteria:

1. At least fifty percent (50%) of the front and side property lines of the lot are located directly across the [street](#) from or adjacent to a multifamily dwelling, a [PRD](#) in single ownership, or a commercial development;
2. The front of the lot is oriented in the same direction as at least one adjacent lot containing an existing multifamily dwelling or PRD in single ownership;
3. The lot is at least eight thousand (8,000) square feet and not more than twenty thousand (20,000) square feet;
4. The [lot width](#) is equal to or greater than the minimum lot width required for the zone in which the lot is located;
5. The lot has not been previously developed;
6. The lot is a legal lot of record, does not contain any [structures](#), and is not within a recorded subdivision plat; and
7. The lot was in existence on November 1, 1999, and has not been subdivided subsequent to that date.

**(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004; Ord. No. O-06-0022, Amended 10/24/2006)**

B. The lot is surrounded on all property lines (including across the street) by multifamily dwellings, a developed nonresidential [use](#) (this does not include any agricultural use), or a commercial development and complies with Section 22-21-2(A)(3) and (7).; or;

**(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004; Ord. No. O-06-0022, Amended 10/24/2006; Ord. No. O-07-0031, Amended 06/12/2007)**

C. The lot is located on a city block where all other lots are occupied by multifamily dwellings and complies with Section 22-21-2(A)(3) and (7). For purposes of this section, a city block is defined as an area that is completely surrounded by public streets.

No multifamily dwelling shall be constructed under this exception until all other primary structures on the lot have been removed.;

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004; Ord. No. O-06-0022, Amended 10/24/2006 (which deleted D, E, F, & G as well))

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**22-21-3. Development Requirements and Architectural Standards.**

Any [Multifamily Dwelling](#) constructed pursuant to a special exception authorized by this Article shall comply with the following standards:

A. **Density.** The maximum number of [dwelling units](#) shall be as follows:

1. Two (2) on lots of 8,000 square feet up to but not including 10,000 square feet.
2. Three (3) on lots of 10,000 square feet up to but not including 12,000 square feet.
3. Four (4) on lots of 12,000 square feet up to and including 20,000 square feet.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

B. **Height.** The maximum height for any Multifamily Dwelling shall be thirty-five feet (35').

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

C. **Setbacks.** The setbacks shall be the same as required by the [zone](#) in which the Multifamily dwelling is located.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

D. **Utilities.** The public sewer system and the public water supply shall serve all [dwellings](#). All utilities shall be underground. Each Multifamily Dwelling is required to have a minimum of one meter for natural gas and electricity. Compliance with the provisions of [CHAPTER 21](#) of the Orem City Code for water meter connections is required. No water or sewer lines shall be located under covered parking areas.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

E. **Parking.** A minimum of two and one-half (2½) off-street parking spaces per dwelling unit shall be provided for each Multifamily Dwelling. Parking spaces may not be constructed in the front or rear setback. However, if a driveway leads to a two-car garage, one (1) guest parking stall per driveway may be located in the [front yard](#) setback on the driveway. Parking may be located in the side-yard in accordance with the standards of Section [22-15-3\(E\)\(4\)](#) of this Chapter. A driveway may be constructed in the front setback but may not be constructed in the rear setback unless it is also located in the side-yard setback. All parking spaces shall measure at least nine feet (9') by eighteen feet (18'). Parking spaces shall be paved with asphalt and/or concrete and shall be designed to provide for adequate drainage.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004; Ord. No. O-07-0045, Amended 10/09/2007)

F. **Off-site Improvements.** The City shall require off-site curb, gutter and [sidewalk](#) along [street](#) rights-of-way bordering the lot when the proposed Multifamily Dwelling impairs off-site safety or surface water drainage and there is a nexus between the required improvements and the governmental purpose provided the amount of the improvements are roughly proportional to the amount of the off-site impact caused by the Multifamily Dwelling.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- G. **Storage Areas and Solid Waste Receptacles(Dumpsters).** All outside storage areas, except RV storage areas, and all solid waste receptacles which are not located within the Multifamily Dwelling, shall be enclosed on at least three sides with the same materials as used on the exterior of the [main building](#). Detached storage units may not exceed 100 square feet per dwelling unit.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

H **Exterior Finishing Materials.** The front elevation of the Multifamily Dwelling shall have at least 60 percent (60%) of its exterior finishing materials of either brick, stone, cultured stone, stucco, or a combination of these materials. The rear and side elevations shall have at least 40 percent (40%) of their exterior finishing materials of either brick, stone, cultured stone, stucco, or wood. Architectural trims do not count in the percentages required above.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- I. **Roof Pitch.** All Multifamily Dwellings shall have a minimum roof pitch of five rise to twelve run.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- J. **Front Facades.** The front of each Multifamily Dwelling shall have offsetting facades of at least two feet (2'). Units shall be located side-by-side and shall not be stacked.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- K. **Entrances.** All entrances in the front elevation of any Multifamily Dwelling constructed pursuant to a special exception granted under this Article shall be located on the same level.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- L. **Orientation of Multifamily Dwelling.** The ~~Board of Adjustment~~ **Planning Commission** may specify the orientation of the front of the proposed Multifamily Dwelling to ensure that the Multifamily Dwelling fits in and is compatible with the surrounding neighborhood and to reduce any negative impacts on adjacent [single-family dwelling](#) units.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- M. **Landscaping.** At least thirty (30) percent of the lot containing a multifamily dwelling shall be landscaped. All areas within the lot not covered by [buildings](#), driveways, sidewalks, [structures](#), and parking areas, shall be permanently landscaped with trees, shrubs, lawn or ground cover and maintained in accordance with good landscaping practices. All landscaping shall have a permanent underground sprinkling system. At least one (1) deciduous tree a minimum of one and one-half (1 and 1/2) inch caliper measured six (6) inches above the rootball, one (1) evergreen tree at least six (6) feet in height measured above the rootball, and eight (8) shrubs at least two and one-half (2 and 1/2) gallons in size are required for every dwelling unit.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- N. **Drive Entrances.** . No more than two drive entrances shall be allowed per lot. However, if the number of driveways desired is three (3) or four (4), each unit may have its own driveway if a transportation study by a qualified engineer and approved by the Orem City transportation engineer, proves there is little or no negative

effect on increasing the number of driveways up to four (4) maximum. The maximum width of a combined-unit driveway is thirty-six (36) feet and the maximum width of a single-unit driveway is twenty (20) feet.

**(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004; Ord. No. O-07-0045, Amended 10/09/2007)**