



CITY OF OREM
PLANNING COMMISSION MEETING
56 North State Street, Orem, Utah
May 6, 2026

*This meeting may be held electronically
to allow a Commission member to participate.*

4:30 PM WORK SESSION – AGENDA REVIEW, CITY COUNCIL CONFERENCE ROOM, 56
NORTH STATE STREET, OREM, UT

1 Update on Heart of Downtown Plan

2 Discussion of Agenda Items

5:30 PM REGULAR SESSION – CITY COUNCIL CHAMBERS

1. CALL TO ORDER

2. INVOCATION/INSPIRATIONAL THOUGHT: BY INVITATION

3. CONSENT AGENDA ITEMS

3.1 Approval of the March 18, 2026 Minutes

3.2 Approval of the April 15, 2026 Minutes

3.3 Plat Amendment - The Berkshires Plat V - Located generally at 1269 S 1100 East

4. ACTION ITEMS

**4.1 Site Plan / Parking Exception Request - Boulder Industrial - Located generally at
1353 W 130 South**

5. PUBLIC HEARINGS

**5.1 Rezone - "360 W 1500 South" - Request to rezone the property located generally at
360 W 1500 South from Public Facilities (PF) to Residential (R8) for the
development of a residential subdivision. Approximately 5.45-acres.**

**5.2 Text Amendment - "Fun City" - Request to amend the text of Article 22-11-17(B)
of the Orem City Code by including Standard Land Use #7424, Recreation Centers,
as a permitted use in the PD-5 Zone.**

5.3 Text Amendment - "Mini Moustachery" – Request to amend Appendix A of the Orem City Code by including Standard Land Use #6231, Barber Shops and Standard Land Use #6232, Tattoo and Body Piercing as permitted uses in the M2, Manufacturing Zone.

5.4 Right-of-Way Vacation - "Home Depot" - Request to vacate a 0.16-acre portion of the 1000 South right-of-way terminating at 590 East.

6. ADJOURN

**THE PUBLIC IS INVITED TO PARTICIPATE IN ALL PLANNING COMMISSION MEETINGS.
If you need a special accommodation to participate in the Planning Commission Meetings and Study Sessions,
please call the Development Services Office at least 3 working days prior to the meeting.
(Voice 801-229-7183)**

This agenda is also available on the City's webpage at orem.org

CITY OF OREM
PLANNING COMMISSION MEETING MINUTES
March 18, 2026

The following items are discussed in these minutes:

CONSENT AGENDA ITEMS:

- 3.1 - Approval of Minutes for the 03-04-2026 Planning Commission Meeting

ACTION ITEMS:

- 4.1 Preliminary Plat – Whitestone Plat A - Located generally at 710 West 2000 South in the R8 zone
- 4.2 Plat Amendment – Berkshire Plat U - Located generally at 1469 South 1020 East in the PD-18 zone

PUBLIC HEARINGS:

- 5.1 Text Amendment & Rezone – Westerly Way – Rezone from OS-5 (open Space) to PRD (Planned Residential Development) Located generally at 1875 S Geneva Road
- 5.2 Rezone – Request to Rezone property located generally at 92 S 800 East from R8(Residential) to C1 (Commercial)
- 5.3 Text Amendment – Amending Articles 2-15-2, 2-15-11, 2-16-2, 2-16-10, and 22-21-2 of Orem City Code relating to the powers and duties of the Planning Commission and Special Exceptions

A recording of the meeting can be viewed online at https://www.youtube.com/watch?v=CGcN6_rV8dA

PLANNING COMMISSION WORK SESSION

Place: Orem City Council Conference Room, 56 North State Street

At 4:31 p.m. Chair Komen called the Planning Commission meeting to order.

Those present: Madeline Komen, Mike Carpenter, Susan Madsen, Darren Hawkins, Karl Radmall, Britton Runolfson, Micah Ladle, Planning Commissioners; Quinn Mecham, City Council Liaison; Jared Hall, Matt Taylor, Grace Bjarnson, Rebecca Gourley, Planning and Zoning Staff; Gary McGinn, Director of Community Development, Aaron McKnight, Legal Staff.

Those excused: None

1. Discussion: Planning Commission Training

Staff and Commissioners reviewed training for new Commission members. A recording of the discussion can be viewed online at https://www.youtube.com/watch?v=CGcN6_rV8dA

PLANNING COMMISSION MEETING

Place: Orem City Council Chambers, 56 North State Street

At 5:33 p.m. Chair Komen called the Planning Commission meeting to order. An invocation was offered by Micah Ladle.

Those present: Madeline Komen, Mike Carpenter, Susan Madsen, Darren Hawkins, Karl Radmall, Britton Runolfson, Micah Ladle, Planning Commissioners; Quinn Mecham, City Council Liaison; Jared Hall, Matt Taylor, Grace Bjarnson, Rebecca Gourley, Planning and Zoning Staff; Gary McGinn, Director of Community Development, Aaron McKnight, Legal Staff.

Those excused: None

AGENDA ITEM 3, CONSENT AGENDA ITEMS

- 3.1 - Approval of Minutes for the 03-04-2026 Planning Commission Meeting

Chair Komen introduced the consent agenda items. No questions were raised. Chair Komen requested a motion.

Planning Commission Action: Commissioner Britton Runolfson motioned to approve the Consent Agenda. Commissioner Darren Hawkins seconded the motion.

YES: Madeline Komen, Mike Carpenter, Susan Madsen, Darren Hawkins, Karl Radmall, Britton Runolfson, Micah Ladle

NO: None ABSTAIN: None

AGENDA ITEM 4, ACTION ITEMS

4.1 PRELIMINARY PLAT – WHITESTONE PLAT A - LOCATED GENERALLY AT 710 WEST 2000 SOUTH IN THE R8 ZONE

Jared Hall presented the site plan for the Whitestone Subdivision (R8). This was recently rezoned from OS 5 to R8. The Planning Commission gives approval for the subdivision. After approval there is one

more review before a mylar is printed and recorded at the county. It will take some time before houses are being built. 50 building lots. The concept is similar to the rezone concept previously seen. There are several sizes of sidewalks due to trail connections and street sizes. There will be a vinyl fence on north and south of the subdivision and a masonry fence on the east side to block sound from trains. Lot 32 is a private lot for a storm water retention basin. A utility agreement dealing with pipe size, etc. is in process of being created. If approved, it should include conditions that: 1- The subdivision meets current city code. 2-The applicant will work on creating and approving a developer agreement for installation of utilities. 3-The applicant will create an HOA for management of storm water and record at county.

Commissioner Runolfson inquired if the HOA would be responsible for the south fence. Jared Hall believes that the fence most likely would be maintained by the property owners. The main purpose of the HOA is for storm water retention and maintenance.

Commissioner Susan Madsen inquired if city code requires certain sizes of subdivisions to have community green space or a park. Jared Hall shared that in a standard subdivision there is no requirement for community green space.

Planning Commission Action: Commissioner Madsen moved to approve the preliminary subdivision for Whitestone Estates at 710 West 2000 South in the R8 Zone, subject to conditions 1-3 as outlined in the staff report: 1- The applicant shall file a Final Subdivision application meeting all requirements of the Orem City Zoning and Subdivision Ordinances. 2- The applicant shall work with the city engineering staff to reach a developer agreement for the installation of utilities. 3- The applicant shall prepare and form a Homeowners Association for the maintenance and management of the stormwater retention basin. Commissioner Jeff Reeves seconded the motion.

YES: Madeline Komen, Mike Carpenter, Susan Madsen, Darren Hawkins, Karl Radmall, Britton Runolfson, Micah Ladle

NO: None ABSTAIN: None

4.2 PLAT AMENDMENT – BERKSHIRE PLAT U - LOCATED GENERALLY AT 1469 SOUTH 1020 EAST IN THE PD-18 ZONE

Jared Hall introduced the plat amendment for Berkshire Plat U located at 1469 S 1020 East in the PD-18 zone. He explained that the property owner owns both the property at 1469 S 1020 East and the property behind it at 1470 S 1080 East. PD-18 has special rules, but it is not affected by the request. He wishes to combine lots so he can add a swimming pool in back.

This would create a double frontage lot, which the city tries to avoid. There are three instances where a double frontage lot can take place. The first situation is in a new subdivision where it is undesirable for the front lots to directly have driveways off a busy street. The previous project, the Whitestone Subdivision, is a good example of this. Another situation is where it can create a better aesthetic environment. In this case the owner would like to create a landscaping plan along 1080 East with a fence. If the Planning Commission feels that this will improve the aesthetics of the area they can approved the lot. There would be a development agreement for the gate, fencing and landscaping plan that would be

recorded against the property, meaning if anyone buys the property, the new owner must follow the agreement.

Commissioner Radmall inquired about maintenance. Staff clarified that the agreement would require that the landscaping stay in good condition. Commissioner Radmall disclosed that he previously had been a neighbor to the current owner of the property when they lived at a different location but haven't been neighbors for a decade or so.

Chair Komen invited the applicant to come forward. The applicant expressed that this is a gated community and the gates are always closed. The general public will not be seeing the lot or landscaping. The HOA requirements for landscaping upkeep are more rigid than the agreement he will sign with the City. His HOA has already approved the design. Chair Komen asked if there were any questions for the applicant. No questions were asked.

Planning Commission Action: Commissioner Darren Hawkins moved that the Planning Commission approve the Plat Amendment for Berkshire Plat U, subject to the following conditions: 1- The applicant shall construct and maintain the rear access per the submitted landscaping plan. 2- The applicant shall install landscaping in the area along the frontage of 1020 East per the landscaping plan and shall maintain it in good condition to meet the requirements of section 22-14-13(B) and (D) 3- The applicant shall enter a development Agreement to ensure the maintenance of conditions 1 and 2. Commissioner Britton Runolfson seconded the motion.

YES: Madeline Komen, Mike Carpenter, Susan Madsen, Darren Hawkins, Karl Radmall, Britton Runolfson, Micah Ladle

NO: None ABSTAIN: None

A recording of the discussion can be viewed online at https://www.youtube.com/watch?v=CGcN6_rV8dA.

AGENDA ITEM 5, ACTION ITEMS & PUBLIC HEARINGS

5.1 Text Amendment & Rezone – Westerly Way – Request to rezone the property located generally at 1875 South Geneva Road from OS-5 (Open Space) to PRD (Planned Residential Development); and to amend Appendix KK “Site Plan - Farm Haven” to include the subject property

Jared Hall presented the text amendment and rezone request for the Westerly Way project located to the west of where the Whitestone subdivision is located. He explained that the area to the east of the Autism Academy already had been approved as a PRD zone (planned residential development) known as “Farm Haven” and this application was to add some property just to the west of the PRD zone and to the south of the Autism Academy to the PRD zone and to change the design of the cottages to twin homes as well as rename it to “Westerly Way.” Twin homes can be individually owned.

The land that they are requesting to be added to the PRD zone is currently zoned Open space (OS-5). And to the south of the sliver of OS-5 is a residential subdivision zoned R8. Storm retention will be to the

south and west of the autism academy. More parking for the academy and for the PRD will be added. Jared Hall shared a comparison of the previous approved PRD zone. There would be 44 twin homes with 2 car garages and extra parking spaces. There are roads into development to south and east. There is secondary access for emergency situations on the west to the south of the Autism Academy. Rear elevations will need to be changed to show 60% of same material like cultured stones that is seen in the front elevation. They are single story homes with basements.

Commissioner Susan Madsen asked about a note on one of the images talking about storm water. Jared clarified that the note she referred to was a note from the DRC review that was clarified concerning if the front storm water basin was handling the water from several parking areas.

Commissioner Jeff Reeves asked about the difference between cottages and twin homes. Jared Hall responded that the cottages were on smaller lots. It is very similar to a twin home. Commissioner Reeves asked about the PO zone labeled over the Autism Academy. Jared Hall responded that the Academy currently is zoned PO, it will not be in the PRD.

Commissioner Susan Madsen brought of the desire to discuss the shifting of usage from the OS Zone to the PRD zone. It would be going from 1 home per five acres to 5.5 homes per acre. That is a big change.

Commissioners asked clarifying questions about the previous PRD versus the proposed PRD.

There was access to Geneva Road provided in the previous PRD design. This new PRD does not allow free access to Geneva Road. The commissioners were concerned about the traffic being blocked.

Chair Komen invited the applicant to come forward and speak. Trisha Nelson represented the project. Chair Komen asked if the access to Geneva Road would be blocked. Trisha Nelson confirmed that there will be a gate there for emergency purposes. Additional questions regarding parking, traffic report and gate were clarified. The traffic report took into consideration the new development in the area. They are intending to create an HOA friendly to autistic people.

No traffic lights will be added. Jared Hall explained how a traffic report worked and the findings with this project as to what types of mitigation were needed.

Chair Komen Opened the Meeting to public Comment:

Pamela Moose. Lives on 800 West. Concerned about not having access to Geneva Road. This will increase traffic in her neighborhood. She believes that the Whitestone subdivision traffic only has one access point.

Phone Comment: Hayden Neybutt 1875 S Geneva Road. In favor of the project. He is proud to live in community that supports this.

Chair Komen Closed Public Comments

Chair Komen asked about the access of the Whitestone subdivision that is to the east of this project. A discussion about traffic measures of the Whitestone Subdivision and how traffic will flow in the area continued. There was a concern about the flow. The flow of traffic was anticipated in the traffic impact study.

Roger Dudley was asked to answer questions. He is the engineer for both projects. Some of the traffic design is due to Provo requirements on the edge of the projects. He doesn't feel need for the right in right out requirement at some roads.

Several commissioners shared that access to Geneva Road would be wise. He feels that without it the new PRD zone would be adding too much traffic to neighborhood. They asked the applicant if they have considered keeping access to Geneva Road open. They didn't want the Whitestone Subdivision to use the road to Geneva.

Britton asked to have access to the Traffic Study

Planning Commission Action: Commissioner Britton Runolfson moved that the Orem City Planning Commission continue the request for further consideration at the next Planning Commission meeting on April 1st. Commissioner Micah Ladle seconded the motion.

Jared Hall will provide more information about the traffic study.

YES: Madeline Komen, Mike Carpenter, Susan Madsen, Darren Hawkins, Karl Radmall, Britton Runolfson, Micah Ladle

NO: None ABSTAIN: None

A recording of the specifics can be found at

https://www.youtube.com/watch?v=CGcN6_rV8dA.

5.2 REZONE – REQUEST TO REZONE PROPERTY LOCATED GENERALLY AT 92 S 800 EAST FROM R8(RESIDENTIAL) TO C1 (COMMERCIAL)

Disclosure: Commissioner Jeff Reeves disclosed that he lives near area and serves the property often. Does not feel he will have a bias.

Jared Hall presented the proposal. When the senior assisted living center was put in it was allowed. The zone is R8 and we do not currently allow the number of residents they currently have. They wish to add to the facility and therefore must change the zone to c1 to allow the addition. The applicant is suggesting a developer agreement to limit the use to a senior living facility. Parking is adequate and meets code. It would be a 2 story addition, but height will be similar to single family homes in area. The development agreement would limit the use so that there would not be a change its current use. The development agreement could tie them to current plan and number of new beds.

Chair Komen asked for the applicant to come forward. Paul Washburn represented the project. This facility has been there for a long time. The intent is to add additional beds and better facilities. Hard to find housing for seniors in area. Large spaces between building and surrounding development. The development agreement is specific for residential facility for elderly people. Can't change use without going through rezone process again.

Commissioner Susan Madsen is concerned that proposed parking will not be enough. Paul Washburn related that the parking lot rarely has more than four or five parking spaces in use at the current facility.

Chair Komen Opened to Public Comments:

Dean Dickerson. Lives in neighborhood. Concern for it to change to commercial. Quieting concerns that to the East of property is a conservancy district. Concerns about canal and potentially making it into a walking path. He is comfortable with height. Agrees that currently the project is overparked.

Garrett Obrian. Lives in neighborhood. He does not understand the scale of the project and height. Can it be referred to basketball hoops. Concerned about windows of 2nd story addition could look into his back yard. No objections to the senior center itself. Many people are coming here from other parts of the country.

John Heninger: Concerned with height. Doesn't want it to be 48 feet. Concerned about the noise. There will be 18 window units and large unit. These will be loud. Exhaust fan also will be loud. Windows on 2nd floor will ruin his privacy. Is there really a need to add units? This will decrease value of his property. Feels this doesn't meet goals of city.

Heidi Williams: Height and privacy concerns. Doesn't want it to change from a senior facility.

Phone Comments:

Eric Mckdonald: Doesn't want different uses due to zone change.

Elizabeth Hornbrook: Does not want it to be rezoned to a C1. Commercial use will spread into neighborhood. Does not want the facility to become bigger. Does not want it to be commercial. She believes a developer is behind this just trying to make money.

Maria: concerned about the height and the noise. Experienced hearing screams from facility.

Chair Komen closed the public Comments

Washburn responded that the development agreement will take care of most of these issues. Agrees to frost window.

Commissioner Britton Runolfson asked about the height of the project. Washburn shared that the peak of the roof is around 30 feet, which is less than the height limit on houses in area.

Commissioner Susan Madsen brought up the concern about AC units and noise. Washburn responded that they would be happy to put in the single unit and put the condenser facing the church. New AC units are much quieter than they used to be.

Jared Hall addressed the height question and said that in the C1 zone it allows up to 48 feet. But the plan would be tied down by the development agreement, and the height would be similar to what their plan is. The development agreement is tied to zoning. Any change would be made through going through the same process. New owners must follow the development agreement.

Jared Hall addressed the fact that the facility used to be permitted but code has changed, thus necessitating a rezone

Commissioner Darren Hawkins asked about the canal and if the new plans would affect possible canal development. Jared Hall was not sure how it could make a difference to the canal. Washburn likes trails and it does not seem likely that the project would affect it.

Planning Commission Action: Commissioner Susan Madsen moved that the Orem City Planning Commission forward a recommendation of approval to the City Council for the request to amend Article 22-5-3(A) and the zoning Map of the City of Orem by changing the zone of the property located generally at 92 S 800 East from R8, Single-Family Residential to C1, Commercial (approximately 1.09 acres) in conjunction with the proposed development agreement limiting the use of the property to an Assisted Living facilities and the concept expansion plan presented, as well as adding frosted glass to 2nd story windows facing residential areas and the addition of the orientation of the mechanicals being towards the church lot. Commissioner Britton Runolfson seconded the motion.

YES: Madeline Komen, Mike Carpenter, Susan Madsen, Darren Hawkins, Karl Radmall, Britton Runolfson, Micah Ladle

NO: None ABSTAIN: None

A recording of the discussion can be viewed online at <https://www.youtube.com/live/giscsCTIBFo?si=07cgxdQiiqxh1NGu>.

5.3 TEXT AMENDMENT – AMENDING ARTICLES 2-15-2, 2-15-11, 2-16-2, 2-16-10, AND 22-21-2 OF OREM CITY CODE RELATING TO THE POWERS AND DUTIES OF THE PLANNING COMMISSION AND SPECIAL EXCEPTIONS

Jared Hall presented the text amendment to switch the power to consider special exceptions from the Board of Adjustments to the Planning Commission. The special exceptions include billboards and exceptions to multi-family development. The Board of Adjustments must review exceptions first and then they go to the Planning Commission. This change would speed up the process, and it makes more sense that the Planning Commission who deals with design standards, deals with the exceptions that have design considerations. He reviewed the adjustments in the code required to make the change. It is difficult to get the Board of Adjustments together to decide on these things.

Darren Hawkins asked about the motive behind the amendment. Jared responded that it would help streamline and simplify the process.

Commissioner Karl Radmall asked if this makes it more difficult to apply and get through the process. Jared Hall responded that this makes it easier to get through the process.

Chair Komen expressed that this will be helpful for the city and will make the process easier for the applicant.

Chair Komen Opened and Closed Public Comments

Planning Commission Action: Commissioner Darren Hawkins moved that the Orem City Planning Commission forward a recommendation of approval to the City Council for the proposed amendments to Article 2-15-2, 2-15-11, 2-16-2, 2-26-10, and 22-21 of the Orem City Code relating to the powers and duties of the Planning Commission and Special Exceptions. Jeff Reeves seconded the motion.

YES: Madeline Komen, Mike Carpenter, Susan Madsen, Darren Hawkins, Karl Radmall, Britton Runolfson, Micah Ladle

NO: None ABSTAIN: None

Final Meeting Comments:

Gary McGinn thanked the commissioners for their service and encouraged them to reach out if they have any questions.

Commissioner Britton Runolfson expressed his thanks for Chair Komen’s service and other

ADJOURNMENT:

Chair Komen asked for a motion to adjourn. Commissioner Britton Runolfson motioned to adjourn, Commissioner Darren Hawkins seconded.

YES: Madeline Komen, Mike Carpenter, Susan Madsen, Darren Hawkins, Karl Radmall, Britton Runolfson, Micah Ladle

NO: None ABSTAIN: None

The Planning Commission Meeting adjourned at 7:20 p.m.

A recording of the meeting can be viewed online at
<https://www.youtube.com/live/giscsCTIBFo?si=07cgxdQiiqxh1NGu>.

Reviewed and Approved: DRAFT

DRAFT MINUTES FOR APRIL 15, 2026

CITY OF OREM PLANNING COMMISSION MEETING MINUTES April 15, 2026

The following items are discussed in these minutes:

CONSENT AGENDA ITEMS:

- **3.1** - Approval of Minutes for the 3-18-26 and 4-1-26 Planning Commission Meetings

ACTION ITEMS:

- **4.1** - No Items.

PUBLIC HEARINGS:

- **5.1 - PUBLIC HEARING**, continued from April 1, 2026 – 355 West University Rezone– Request to amend Article 22-5-3(A) and the Zoning Map of the City of Orem by changing the zone of the property located generally at 355 West University Parkway from R8, Single-Family Residential, to C-2, Commercial. Approximately 5.93 acres.

A recording of the meeting can be viewed online at

<https://www.youtube.com/live/ZYOFfd7lZ4I?si=6a8bzwiYT487vUYYV>.

PLANNING COMMISSION WORK SESSION

Place: Orem City Council Conference Room, 56 North State Street

At **4:33 p.m.** Chair Komen called the Planning Commission meeting to order.

Those present: Madeline Komen, Micah Ladle, Susan Madsen, Karl Radmill, Jeff Reeves, Britton Runolfson, Planning Commissioners; Quinn Mecham, City Council Liaison; Jared Hall, Matt Taylor, Grace Bjarnson, Rebecca Gourley, Planning and Zoning Staff; Gary McGinn, Director of Community Development.

Those excused: Darren Hawkins, Planning Commission member.

1. Discussion: Planning Commission Training

Staff and Commissioners discussed the Development Review Committee process and entitlements.

2. Discussion: Agenda Review

Staff and Commissioners reviewed the agenda for the meeting, and discussed questions they had. A recording of the discussion can be viewed online at <https://www.youtube.com/live/ZYOFfd7lZ4I?si=6a8bzwiYT487vUYYV>.

PLANNING COMMISSION MEETING

Place: Orem City Council Chambers, 56 North State Street

At **5:33 p.m.** Chair Komen called the Planning Commission meeting to order. An invocation was offered by Britton Runolfson.

Those present: Madeline Komen, Micah Ladle, Susan Madsen, Karl Radmill, Jeff Reeves, Britton Runolfson, Planning Commissioners; Quinn Mecham, City Council Liaison; Jared Hall, Matt Taylor, Grace Bjarnson, Rebecca Gourley, Planning and Zoning Staff; Gary McGinn, Director of Community Development; Aaron McKnight, Legal Counsel; Karen McCandless, Mayor.

Those excused: Darren Hawkins, Planning Commission member.

Agenda Item 3, Consent Agenda Items

- 3.1 - Approval of Minutes for the 3-18-26 and 4-1-26 Planning Commission Meetings

Chair Komen requested a motion to continue this item, because the minutes have not been presented to the Planning Commission yet.

Planning Commission Action: Commissioner Britton Runolfson motioned to continue item 3.1 to next meeting. Commissioner Karl Radmill seconded the motion.

YES: Madeline Komen, Micah Ladle, Susan Madsen, Karl Radmill, Jeff Reeves, Britton Runolfson

NO: None

ABSTAIN: None

Agenda Item 4, Action Items

No Items.

Agenda Item 5, Public Hearings

5.1 PUBLIC HEARING - CONTINUED FROM APRIL 1, 2026 – 355 WEST UNIVERSITY REZONE– REQUEST TO AMEND ARTICLE 22-5-3(A) AND THE ZONING MAP OF THE CITY OF OREM BY CHANGING THE ZONE OF THE PROPERTY LOCATED GENERALLY AT 355 WEST UNIVERSITY PARKWAY FROM R8, SINGLE-FAMILY RESIDENTIAL, TO C-2, COMMERCIAL. APPROXIMATELY 5.93 ACRES.

Jared Hall introduced the text amendment to the Planning Commission. The purpose of the text amendment is to change the zone of the property located generally at 355 West University Parkway from R8, Single-Family Residential, to C-2, Commercial.

Mr. Hall presented an image of the General Plan for this area, showing that it is in the regional commercial land use category, as well as the proposed concept, elevations, and information on the proposed development agreement. Proposed development agreement would prohibit certain allowed uses normally permitted in the C2 zone from development on the property.

Chair Komen opened the meeting for public comment. No comments were made, and the public hearing was closed.

The applicant was invited forward to answer questions from the Commission. Commissioners asked about what types of businesses are being considered. Commissioner Runolfson proposed that tattoo services be added to the list of prohibited uses. A recording of the discussion can be viewed online at <https://www.youtube.com/live/ZYOFd7lZ4I?si=6a8bzwiYT487vUYV>.

Planning Commission Action: Commissioner Runolfson moved to forward a recommendation of approval to the City Council for the request to amend Article 22-5-3(A) and the Zoning Map of the City of Orem by changing the zone of the property located generally at 355 West University Parkway from R8, Single-Family Residential, to C-2, Commercial approximately 5.93 acres in conjunction with the proposed development agreement, with the amendment of adding the exclusion of tattoo facilities to the development agreement. Commissioner Madsen seconded the motion.

YES: Madeline Komen, Micah Ladle, Susan Madsen, Karl Radmill, Jeff Reeves, Britton Runolfson

NO: None

ABSTAIN: None

DRAFT MINUTES FOR APRIL 15, 2026

Final Meeting Comments:

Gary McGinn reminded Commissioners that the dedication for the Gold Star Memorial Monument and Plaza was scheduled for May 23rd and invited all Commissioners to attend.

Adjournment:

Chair Komen asked for a motion to adjourn. Commissioner Runolfson motioned to adjourn, Commissioner Radmill seconded. All present Commissioners voted yes.

The Planning Commission Meeting adjourned at **5:45 p.m.**

A recording of the meeting can be viewed online at

<https://www.youtube.com/live/ZYOFfd7lZ4I?si=6a8bzwiYT487vUYV>.

Reviewed and Approved: DRAFT



PLANNING COMMISSION
May 6th, 2026

Item 3.3

Berkshire Plat V
1269 South 1100 East

Prepared By:
Emma Tenney

Plat Amendment
Combining 2 single family lots into one lot

Applicant:
Kimble Smith

Notices:

Posted in 2 public places.
Posted on City Webpage and City hotline.
Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:
Low Density Residential

Zoning: PD-18,
“Residential Estate” - Single Family

Total Acreage: **1.68-acre combined**

Action:

The Planning Commission is the Land Use Authority and the approving body for this item.

REQUEST: The applicant requests approval to combine two lots into one.

BACKGROUND: The applicant, Kimble Smith, applied for a plat amendment on March 10th, 2026. Mr. Smith lives at 1269 South 1100 East, and owns the vacant lot located directly to the south of the property at 1285 South 1100 East. He is proposing to combine the lots. No new curb cuts or changes to the Public Utility Easement (PUE) have been proposed.



Figure 1, Existing lots at 1269 South 1100 East and 1285 South 1100 East

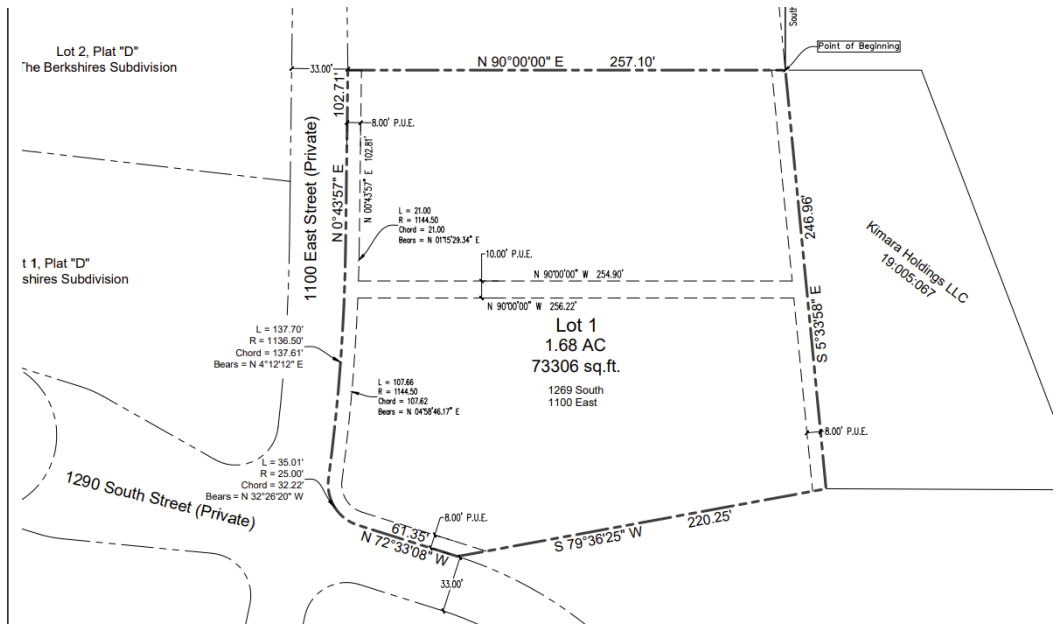


Figure 2, Proposed plat amendment

REVIEW:

Zoning: The subject properties and all surrounding lots are zoned PD-18, “Residential Estate.” The PD-18 zone is a single-family zone that has larger than standard side yard and front yard setbacks for the main dwelling, allows for 10 ft tall residential fences and a maximum building height of 55 ft (*Ref. 22-1-30*). The minimum lot size is 0.5 acres. The proposed plat amendment would result in a 1.68-acre lot.

DEVELOPMENT REVIEW COMMITTEE: The Development Review Committee (DRC) reviewed the plat amendment application on Monday, April 20th, 2026. The DRC unanimously recommended approval to the Planning Commission.

ALTERNATIVE ACTIONS:

After review and consideration of the application the Planning Commission may:

- **Approve or Deny** the requested plat amendment.
- **Continue the Request** to a future date for further review, additional information, or condition.

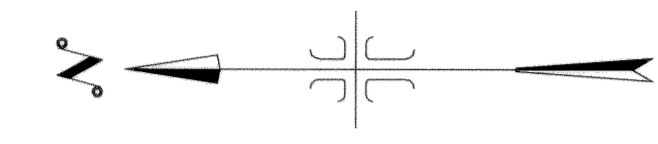
ALTERNATIVE MOTIONS:

Motion to Approve or Deny -

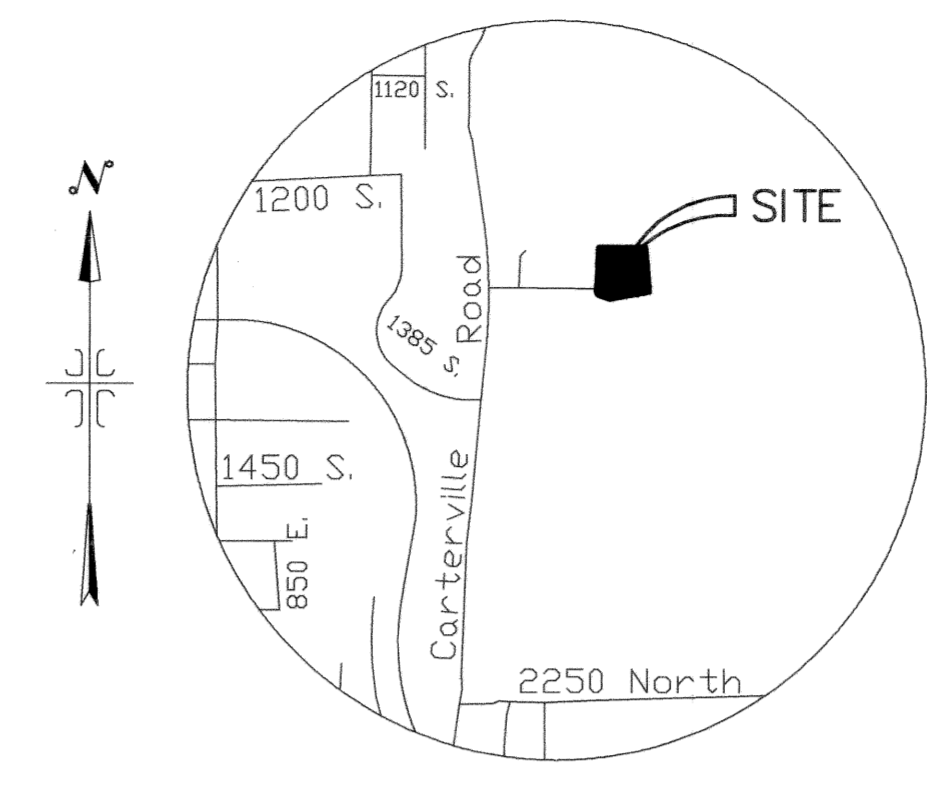
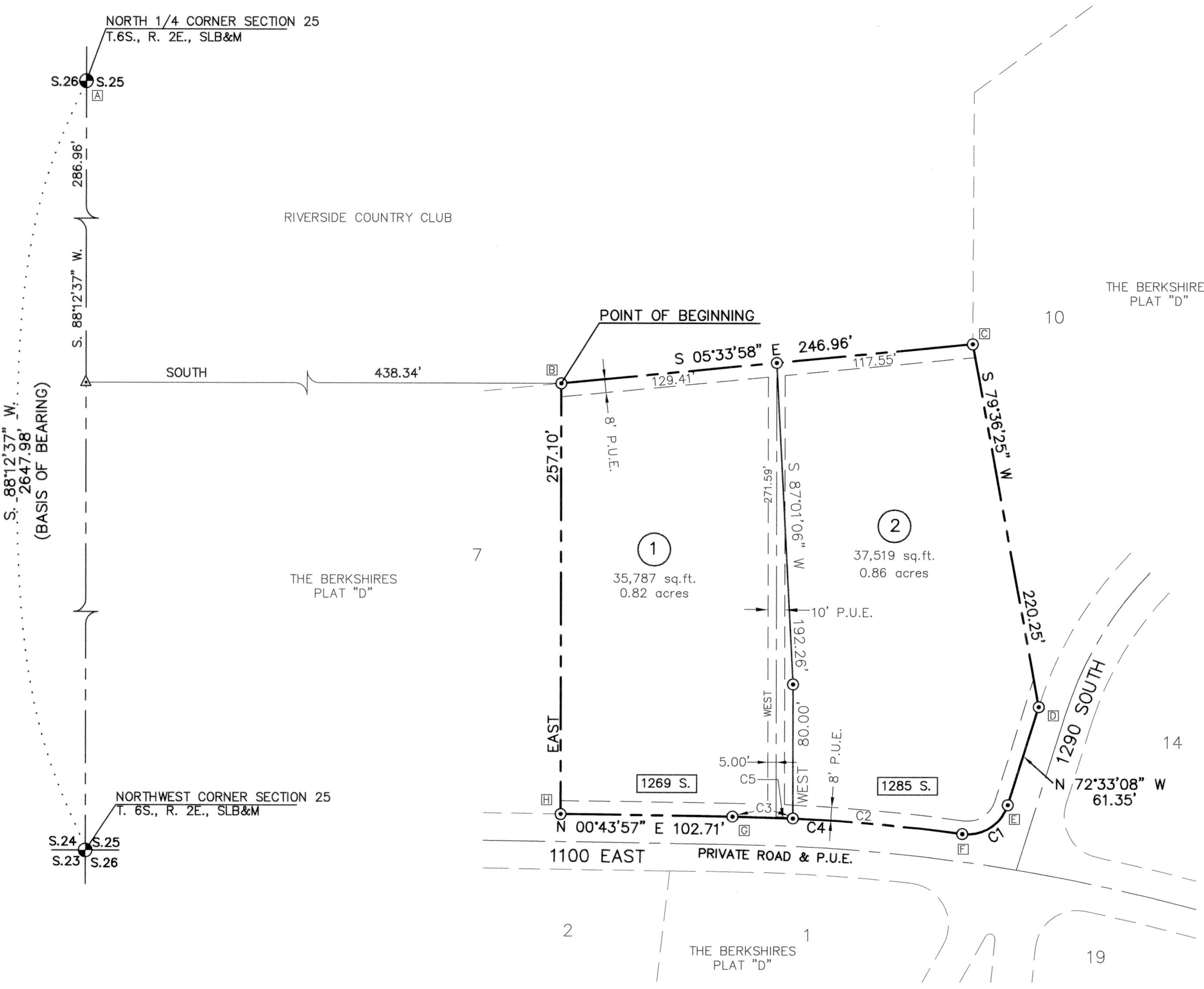
“I move that the Planning Commission [**choose APPROVE or DENY**] the Plat Amendment for Berkshire Plat V.”

Motion to Continue the Request –

“I move that the Planning Commission continue this request to [**choose appropriate date or condition**].”



(24"x36")
SCALE 1" = 50'
(11"x17")
SCALE 1" = 100'



VICINITY MAP
-NTS-

LEGEND

- FOUND BRASS CAP
-
-
-
-
-
-
-
-
-
-

APPROVED AS TO FORM

THIS 20th DAY OF September, A.D. 20 04

APPROVED *Steve C. Eal*
CITY ATTORNEY

VACATION NOTICE

THE CITY OF OREM IS SATISFIED THAT NEITHER THE PUBLIC NOR ANY PERSON WILL BE MATERIALLY INJURED BY THE VACATION OF LOTS 8 AND 9 OF "THE BERKSHIRES PLAT "D" AND THAT THERE IS CAUSE FOR THE VACATION. LOTS 8 AND 9 OF "THE BERKSHIRES PLAT "D" ARE HEREBY VACATED.

APPROVED THIS 15th DAY OF September, A.D. 20 04 BY THE CITY OF OREM PLANNING COMMISSION.

Director-Secretary
Chairperson, Planning Commission
LAND SURVEYORS' INC.
1457 N. 1200 W.
OREM, UTAH 84057
(801) 228-1078



PROCUBE CONSULTANTS, INC.
ENGINEERING-ARCHITECTURE
LAND PLANNING-CONSTRUCTION MANAGEMENT
1471 N. 1200 W.
OREM, UTAH 84057
(801) 802-8992

NOTE:
1. ALL LOTS ON THIS PLAT WILL BE SUBJECT TO THE RESTRICTIVE COVENANTS FILED IN CONJUNCTION WITH THIS PLAT.

OCCUPANCY NOTICE

THE CITY OF OREM HAS AN ORDINANCE WHICH RESTRICTS THE OCCUPANCY OF A BUILDING WITHIN THIS DEVELOPMENT. ACCORDINGLY, IT IS UNLAWFUL TO OCCUPY ANY BUILDING WITHIN THIS DEVELOPMENT WITHOUT FIRST HAVING OBTAINED A CERTIFICATE OF OCCUPANCY ISSUED BY OREM CITY.

NOTE:
MULTIPLICATION FACTOR USED FOR CONVERTING GROUND DISTANCES TO GRID DISTANCES SHOWN ON THIS PLAT IS 0.999698.

STATE PLANE COORDINATE TABLE

POINT #	NORTHING	EASTING
A	707385.09	1953715.54
B (POB)	706937.92	1953428.81
C	706692.20	1953452.76
D	706652.48	1953236.18
E	706680.87	1953177.67
F	706698.05	1953160.40
G	706835.25	1953170.48
H	706937.92	1953171.79

CURVE TABLE

CURVE	RADIUS	LENGTH	CHORD DIST.	CHORD BRG.	DELTA
C1	25.00'	35.01'	32.22'	N 32°26'20" W	80°13'36"
C2	1136.50'	101.59'	101.55'	N 05°06'50" E	5°07'17"
C3	1136.50'	36.11'	36.11'	N 01°38'34" E	1°49'14"
C4	1136.50'	137.70'	137.61'	N 04°12'12" E	6°56'31"
C5	1136.50'	10.01'	10.01'	N 02°18'03" W	00°30'16"

SURVEYOR'S CERTIFICATE

I, ROBBIN J. MULLEN DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 368356 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AND THAT THIS IS TRUE AND CORRECT.

9-15-04
DATE

Robbin J. Mullen
SURVEYOR
(SEE SEAL BELOW)

BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE EAST 1/2 OF THE NORTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF SECTION 25, TOWNSHIP 6 SOUTH, RANGE 2 EAST, S.L.B. & M., OREM, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A FOUND BRASS MONUMENT MARKING THE NORTH 1/4 CORNER OF SAID SECTION 25; THENCE S.88°12'37" W. ALONG THE SECTION LINE A DISTANCE OF 286.96 FEET; THENCE SOUTH 438.34 FEET TO THE REAL POINT OF BEGINNING;
THENCE S.05°33'58" E. A DISTANCE OF 246.96 FEET; THENCE S.79°36'25" W. A DISTANCE OF 220.25 FEET; THENCE N.72°33'08" W. A DISTANCE OF 61.35 FEET TO A POINT OF CURVATURE OF A TANGENT 25.00-FOOT RADIUS CURVE TO THE RIGHT; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 35.01 FEET, SAID CURVE HAVING A CENTRAL ANGLE OF 80°13'36" AND A CHORD THAT BEARS N.32°26'20" W. A DISTANCE OF 32.22 FEET TO A POINT OF REVERSE CURVATURE OF A 1136.50-FOOT RADIUS CURVE TO THE LEFT; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 137.70 FEET, SAID CURVE HAVING A CENTRAL ANGLE OF 06°56'31" AND A CHORD THAT BEARS N.04°12'12" E. A DISTANCE OF 137.61 FEET; THENCE N.00°43'57" E. A DISTANCE OF 102.71 FEET; THENCE EAST A DISTANCE OF 257.10 FEET TO THE REAL POINT OF BEGINNING. CONTAINING 1.68 ACRES OF LAND.

OWNER'S CERTIFICATE AND DEDICATION

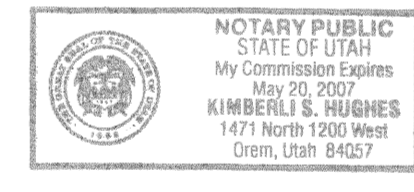
KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS. ALL STREETS HEREON ARE PRIVATE UNLESS OTHERWISE NOTED, AND WILL BE PRIVATELY MAINTAINED. ALL PRIVATE STREETS SHOWN HEREON WILL BE PUBLIC UTILITY EASEMENTS, AND WE DO HEREBY DEDICATE THESE AND ALL OTHER PUBLIC UTILITY EASEMENTS AND ALL PUBLIC ROADS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS 16 DAY OF SEPT.

A.D. 2004
David L. Broadbent
OWNER/
DAVID L. BROADBENT - MGR. FOR THE BERKSHIRES, L.C.

ACKNOWLEDGMENT

STATE OF UTAH S.S.
COUNTY OF UTAH S.S.
ON THIS 16th DAY OF SEPT. A.D. 2004 PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES 5-20-07
Kimberly S. Hughes
NOTARY PUBLIC (SEE SEAL BELOW)



ACCEPTANCE BY THE CITY OF OREM

THE CITY OF OREM HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS 15 DAY OF September, A.D. 2004. APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS.

APPROVED *Keith J. Hall*
CITY ENGINEER
(SEE SEAL BELOW)
APPROVED *N/A*
PUBLIC WORKS DIRECTOR
(SEE SEAL BELOW)
ATTEST *Alonna R. Weaver*
CLERK-RECORDER (SEE SEAL BELOW)

SUBDIVISION

THE BERKSHIRES PLAT "H"

A VACATION OF LOTS 8 AND 9 OF "THE BERKSHIRES" PLAT "D"

OREM UTAH COUNTY, UTAH

SCALE: 1" = 50 FEET

REGISTRAR SEAL: ROBBIN J. MULLEN, 9-15-04, STATE OF UTAH

NOTARY PUBLIC SEAL: Kimberly S. Hughes

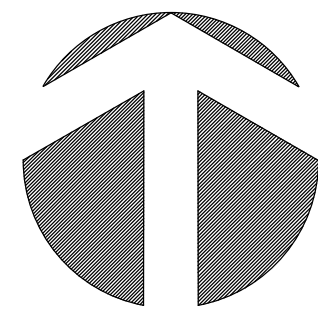
CITY ENGINEER'S SEAL: Keith J. Hall

CLERK RECORDER SEAL: Alonna R. Weaver

See Above

ENT 107794-2004
RANDALL H. CUDINGTON
UTAH COUNTY RECORDER
2004 Sep 11 12:23 pm FEE \$8.00 BY SIM
RECORDED FOR OREM CITY CORPORATION

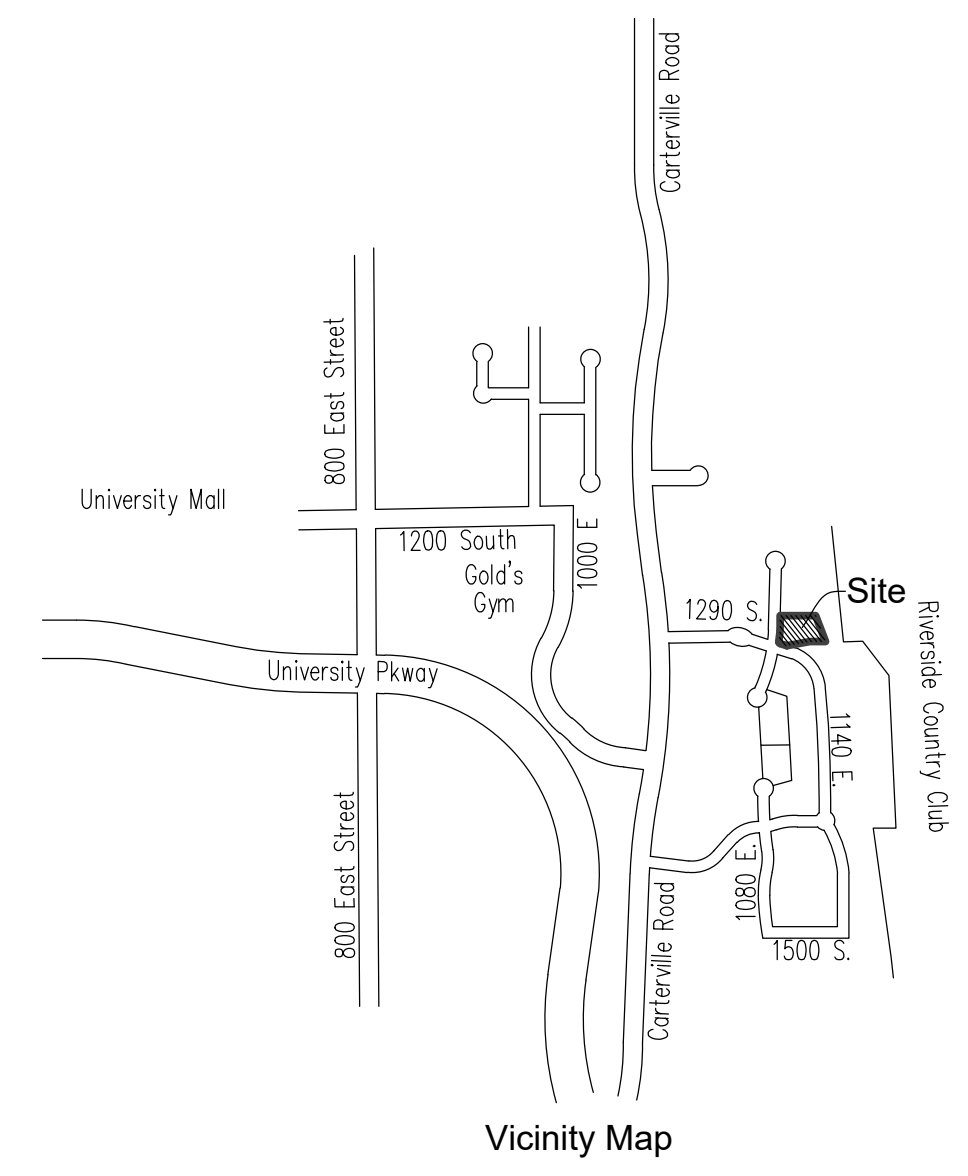
SEC 251/4 S. 25 T. 6 S. R. 2 E. THE BERKSHIRES "D"
LOTS 8 & 9



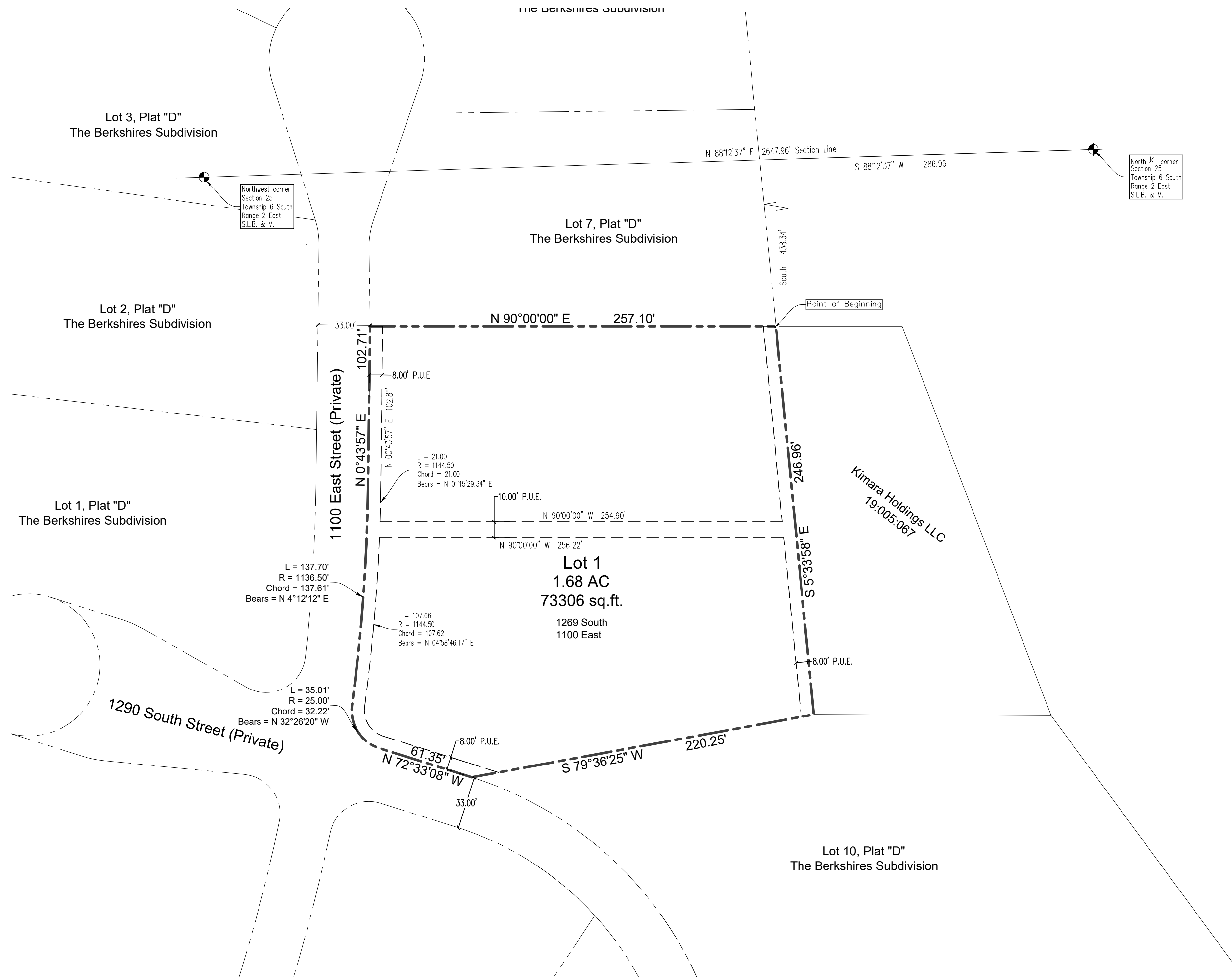
NORTH
1" = 40'

The Berkshires Plat "V"

Including a Vacation of Plat "H",
The Berkshires Subdivision
Located in the Northwest quarter of
Section 25, Township 6 South, Range 2 East
Salt Lake Base & Meridain



Vicinity Map



Surveyor's Certificate

I, Roger D. Dudley, do hereby Certify that I am a Registered Land Surveyor, and that I hold Certificate No. 147803 as prescribed under the laws of the State of Utah. I further certify by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, and have subdivided said tract of land into Lots, Blocks, Streets, and Easements and the same has been correctly surveyed and staked on the ground as shown on this plat and that this plat is true and correct.

Boundary Description

Commencing at the Northeast corner of Lot 1, Plat H, The Berkshires Subdivision said point being located South 88°12'37" West along the Section line 286.96 feet and South 438.34 feet from the North quarter corner of Section 25, Township 6 South, Range 2 East, Salt Lake Base and Meridian; thence South 05°33'58" East 246.96 feet; thence South 79°36'25" West 220.25 feet; thence North 72°33'08" West 61.35 feet; thence along the arc of a 25.00 foot radius curve to the right 35.01 feet (chord bears North 32°26'20" West 32.22 feet); thence along the arc of a 1136.50 foot radius curve to the left 137.70 feet (chord bears North 04°12'12" East 137.61 feet); thence North 00°43'57" East 102.71 feet to the Northwest corner of Lot 1, Plat "H" The Berkshires Subdivision; thence East 257.10 feet to the point of beginning.

AREA=73,306 sq. ft. or 1.68 acres

Number of Lots =1

Basis of Bearing = South 88°12'37" West along the Section Line from the North Quarter Corner of Section 25, Township 6 South Range 2 East S.L.B. & M.

Date _____ Surveyor _____
(See Seal Below)

Owner's Dedication

Know all men by these presents that we, all of the undersigned owners of all the property described in the Surveyor's Certificate hereon and shown on this map, have caused the same to be subdivided into Lots, Blocks, Streets, and Easements and do hereby dedicate the streets and other public areas as indicated hereon for perpetual use of the public.

In witness hereof we have hereunto set our hands this ____ day of _____, A.D. 20____

Kimara Holdings, LLC Kimara Holdings, LLC
by Kimble Smith (Member) by Kara Smith (Member)

Acknowledgement

STATE OF UTAH } S.S.
COUNTY OF UTAH }
The foregoing instrument was acknowledged before me this ____ day of _____, 20____, by _____, who represented that he is the _____ of the _____ and has the authority to execute this instrument.

My Commission Number _____ Signed (a Notary Public Commissioned in Utah)
My Commission Expires _____ Print name of Notary

Acceptance by the City of Orem

The City of Orem, County of Utah, approves this subdivision and hereby accepts the dedication of all Streets, Easements, and other parcels of land intended for public purposes for the perpetual use of the public. Signed this ____ day of _____, A.D. 20____

Approved: _____ Attest: _____
City Engineer City Recorder

Approved: _____
Community Services Director

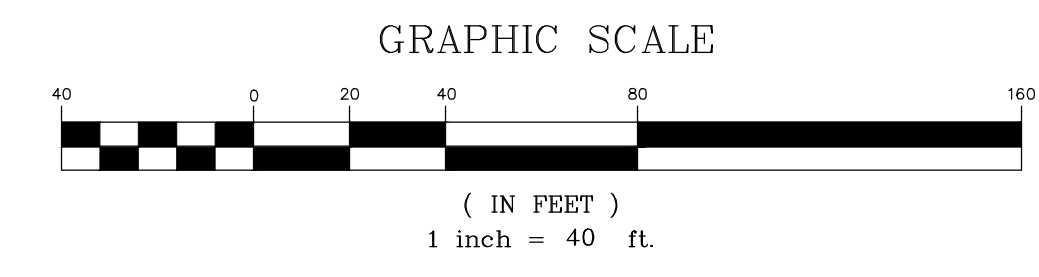
Occupancy Restriction Notice

The City of Orem has an Ordinance which restricts the occupancy of buildings within this subdivision. Accordingly, it is unlawful to occupy any building located within this subdivision without first having obtained a Certificate of Occupancy issued by the City.

Planning Commission Approval

Approved this ____ day of _____, 20____, by the City of Orem Planning Commission.

Director-Secretary Chairperson, Planning Commission Resolution No.



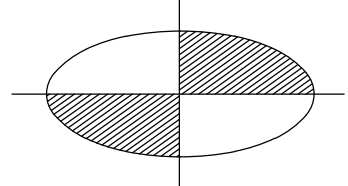
Plat Vacation Notice

The City of Orem is satisfied that neither the public nor any person will be materially injured by the Vacation of Plat "H", The Berkshires Subdivision, Plat "H", The Berkshires Subdivision are hereby vacated.

Approved as to Form

City Attorney Date

PREPARED BY



DUDLEY AND ASSOCIATES INC.

Plat "V"

The Berkshires

Including a Vacation of Plat "H",
The Berkshires Subdivision

Located in the Northwest quarter of
Section 25, Township 6 South, Range 2 East Salt Lake Base & Meridain

Orem City, _____ Utah County, Utah
Scale: 1" = 40 Feet

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDER SEAL
-----------------	--------------------	---------------------------	---------------------

Berkshire Plat V Street View

(1269 S 1100 East)



Berkshire Plat V – 1269 South 1100 East



Vicinity Map
Zone: PD-18
Acres: 1.68





PLANNING COMMISSION

May 6th, 2026

Item 4.1

Boulder Industrial – Site Plan Parking Reduction
1353 W 130 South

Reduction of parking requirement – 50% Reduction

Prepared By:
Grace Bjarnson

Applicant:
Landon Trost

Notices:

- Posted in 2 public places.
- Posted on City Webpage and City hotline.
- Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:
Industrial

Zoning: **M2**

Total Acreage: **1.01 acres**

Action:

The Planning Commission is the Land Use Authority and the approving body for this item.

REQUEST: The applicant requests site plan approval for reduced parking per Article 22-15-5 (E) of the Orem City Code.

BACKGROUND:



Figure 1: Subject Property 1353 W 130 South, aerial view

The subject property is located at 1353 W 130 South, in the M2 zone, where there is currently the shell of an industrial building. The site plan was approved in 2023 and included calculations from the parking lot to the south of the building. The required parking was met on the original site. These plans included only a very small portion of office space in the building. The parking lot to the south was extra parking (see packet for file). However, during the selling process in 2025 the south parking lot was split from the original property. The new owner was unaware that this would restrict the buildout of the current shell. Tenant improvements for the building could include up to 2,000 ft² of total office space, or roughly a single 20' X 20' room and bathroom for each of the four units based on the available parking spaces.

The anticipated tenant for half of the building, PathRight, requires a larger office space and less storage/industrial space than was anticipated by the original site plan. They also anticipate adding on to the 2nd floor. The anticipated buildout of half the building shell for the proposed tenant would require 22 parking spaces in addition to those presently available on-site. The owner has approached

surrounding properties in hopes to supplement onsite parking without success. Parking in the surrounding areas is currently allocated, and he has found no avenue to provide additional parking. The applicant requests that the Planning Commission consider three (3) different parking reduction options they have presented.

REVIEW:

Zoning– The M2 Zone parking requirements are listed in Article 22-15-4(D) and are based on the square footage of the types of uses in the structure. Many times, a single structure includes several uses. The requirements are:

Use	Parking Requirement
Manufacturing, Warehouse	1 parking stall per 750 ft ²
Office	1 parking stall per 250 ft ²

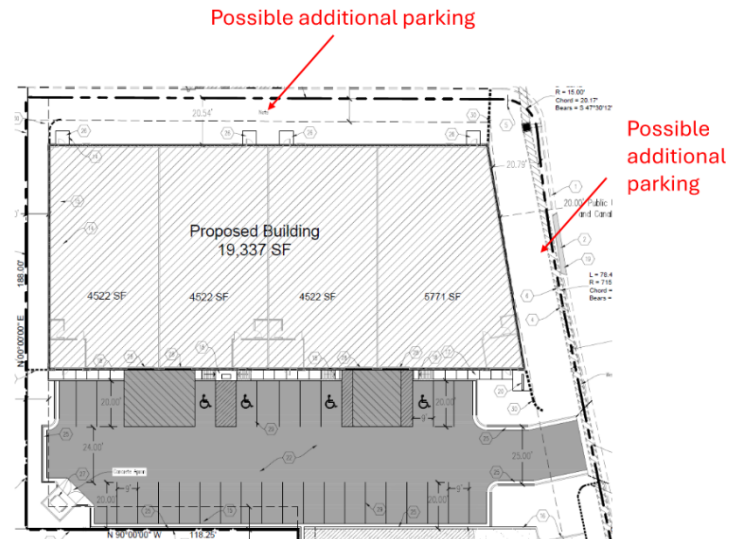
Reduction of Required Parking:The approving authority of a site plan may grant a reduction of up to fifty percent (50%) in the required number of parking stalls for commercial, industrial, and mixed use developments, if the applicant presents a parking-traffic study prepared by a traffic engineer, and demonstrates by clear and convincing evidence that the expected vehicle use and parking space demand for the development will be less than that predicted by the Institute of Transportation Engineers vehicle trip generation rates or less than minimum City parking requirements because:

1. The site incorporates a mix of office or retail uses with assembly and occupancy type uses identified in Section 22-15-4(F) which reduces the need for parking spaces because of shared parking; or
2. The site is adjacent to a mass transit route and the applicant provides a transit stop and related Amenities, including a public plaza, pedestrian sitting areas, and additional landscaping (not to exceed 25% of the total area dedicated as a transit stop); and
3. It is demonstrated that the use of alternative modes of transportation, including mass transit, bicycles, and walking by customers, clients, or employees of the development will reduce the need for parking space.

Requested Reduction Options– The application is for a reduction of required parking under 22-25-5(E) (option 1, below). Two other options to create additional parking are also presented below.

- 1- (Preferred Option) Allow a 50% parking requirement reduction. Although much of the space will be designated “office” space, it will mostly be used for storing inventory. The assemblers work off-hours, which makes it much less likely that there will be parking issues. Currently the full PathRight team uses 8 parking spots at any given time. The current property has 33 parking spaces. It is unlikely that PathRight will ever require more than 20 parking spots at any given time.

- 2- Request a variance to allow additional parking where individual spaces access directly to the street. Many businesses nearby currently park directly off of the street. However, Article 22-15-3 (D) does not allow parking to have direct access to a dedicated street – all parking must access the street from a drive aisle. This option to create additional parking spaces would require a variance from the parking requirement and from required landscaping because the parking would be located between the building and the street frontage. *Please note that the review of variances is one of the duties of the Board of Adjustments, not the Planning Commission.



- 3- An expensive option would be to approve to build of a parking ramp on top of the existing lot to create additional parking.

DEVELOPMENT REVIEW COMMITTEE: The Development Review Committee (DRC) reviewed the site plan application on Monday, April 20th, 2026. The DRC voted to move the application forward to the Planning Commission without specific conditions. The DRC does not generally support more parking that backs directly into a public right-of-way.

ALTERNATIVE ACTIONS

After review and consideration of the request, the Planning Commission may:

- **Approve** the request for a reduction in required parking.
- **Deny** the request for a reduction in required parking.
- **Continue the Request** to a future date for further review, additional information, or public comment.

ALTERNATIVE MOTIONS:

Motion to Approve or Deny

“I move that the Planning Commission [**choose APPROVE or DENY**] the request to reduce the required parking for the Site Plan on property located at 1353 W. 130 South under Article 22-15-5 (E) of the Orem City Code.

Motion to Continue the Request

“I move that the Planning Commission continue this request for further consideration to (choose another date as appropriate).”

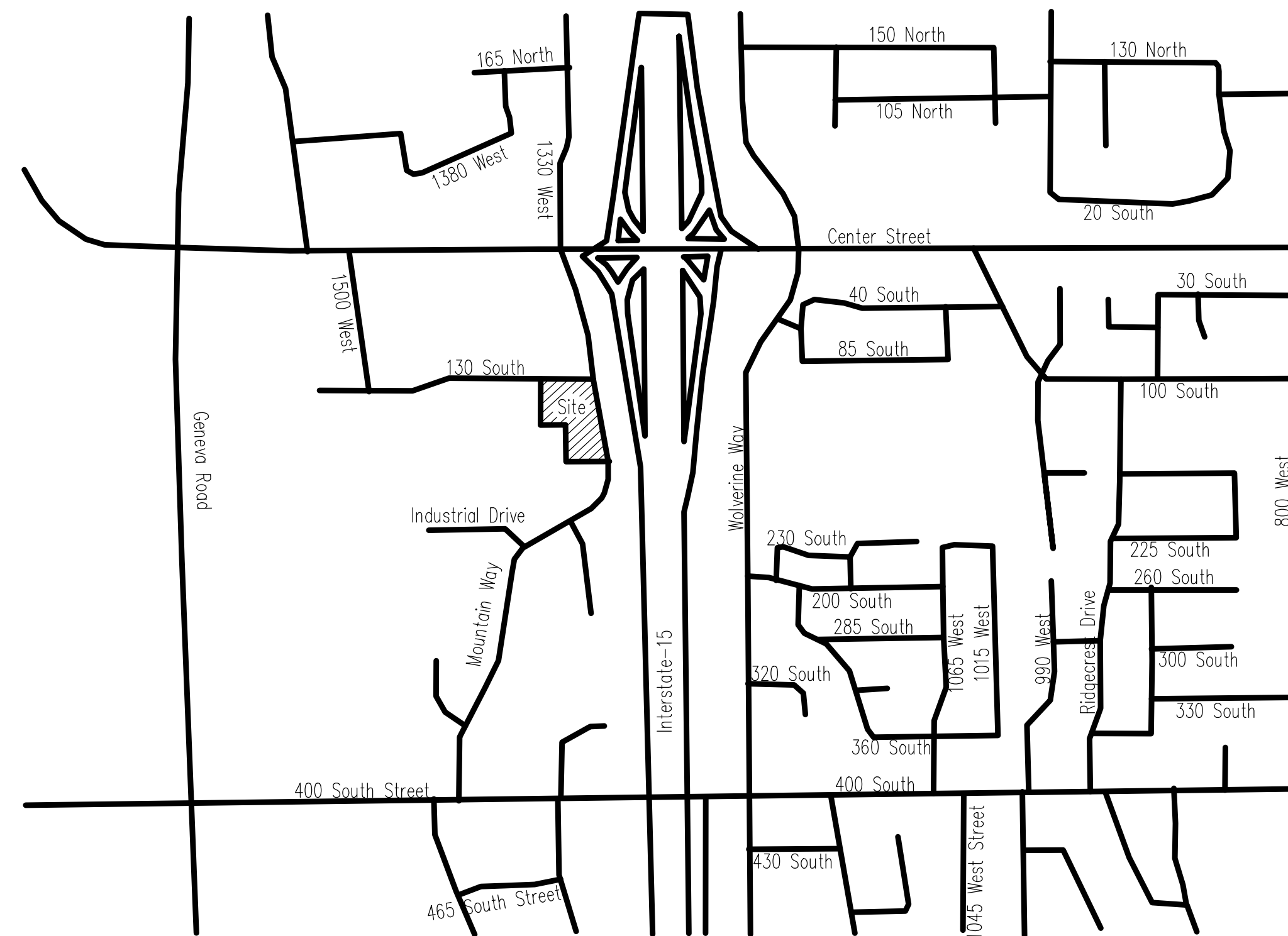
Boulder Industrial Park

Orem

Utah

APPROVED
FOR CONSTRUCTION
C.E. S.C. PRD
P.D.E. KJP PLNRR
P.M. 2023-06-19
IMPROVEMENTS INSTALLED
WITHOUT CITY INSPECTION
WILL BE REJECTED

Symbol	Description
	Proposed 8" Sanitary Sewer Main
	Existing Sanitary Sewer Main (size noted on plan)
	Proposed Culinary Water Main (size noted on plan)
	Existing Culinary Water Main (size noted on plan)
	Existing Storm Drain pipe (size noted on plan)
	Proposed Storm Drain pipe (size noted on plan)
	Proposed Concrete Retaining Wall (West Property line)
	Cable TV utility lines
	Existing Power Lines
	New underground Power lines
	Outside Boundary line
	Existing surface improvements
	Existing Sidewalk
	Proposed Sidewalk
	Existing Contour Elevation
	Finish Contour Elevation
	Finish Spot Elevation
	Drainage Flow Direction
	Water Meter (size noted on plan)
	Culinary Water Valve
	Fire Hydrant
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Storm Drain Box
	top of asphalt
	top of sidewalk
	back of top of curb
	back of top of sidewalk
	Sanitary Sewer Manhole
	Storm Drain Manhole
	Water Valve
	Gas valve
	Water Meter
	edge of existing asphalt
	Public Utility Easement



NOTES:

- The fire protection items (fire hydrant, water mains, access roads, etc.) shown on this site plan are preliminary only. Detailed fire protection plans shall be submitted with the building plans. Plan reviews by the fire prevention Bureau shall be completed prior to the issuance of a building permit. The plan reviews by the Fire Prevention Bureau may identify additional fire protection requirements mandated by the International Fire Code. Fire hydrant foot valves shall be installed at the connection point with the main water lines.
- All landscaped areas shall have an automatic, underground sprinkling system with a back-flow device to the building. Back-flow devices shall be installed and tested in accordance with the City Code. Water meters shall be located at the back of sidewalk or curb in an area that is accessible for reading and servicing. Water meters shall not be located within areas enclosed with fences or within 10 feet (10') of any existing or proposed structure.
- If required by the City Code or by the applicant's permit for Industrial Wastewater Discharge, a sampling manhole and fat and oil separator/grease trap shall be installed I.A.W. City standards and specifications.
- All signage shall comply with the requirements of the City Code.
- All utilities, including water and sewer laterals, water and sewer mains, storm water drains, storm water sumps, sewer manholes, water valves, etc., shall not be located under covered parking areas and shall be installed according to the City Code.
- All roof drainage shall be routed through on-site storm water management facilities.
- At the time of construction, the City of Orem may determine based on professional experience and judgment and at its sole discretion, the need for the Owner/Developer to pay for, remove, and replace any existing substandard improvements such as curbs, gutters, sidewalks, drive approaches, driveways, decorative concrete, wheelchair ramps, etc., or any unused drive approaches.
- All construction shall conform to the City of Orem construction standards and specifications unless the improvement is within the UDOT right-of-way, in which case the construction shall conform to UDOT construction standards and specifications.

Planning Department

56 North State Street
Orem, Utah 84057
Phone (801) 229-7238
Fax (801) 229-7191

Public Safety

95 East Center Street
Orem, Utah 84057
801-229-7323

Emergency 911
Utah County Animal Shelter 801-785-3442

Engineering

Engineer: Sam Kelly
56 North State Street
Orem, Utah 84057
Phone (801) 229-7328
Fax (801) 229-7191

Building Inspection

56 North State Street
Orem, Utah 84057
Phone (801) 229-7185
Fax (801) 229-7191
Jim Yeoman

Public Works Department

1450 West 550 North
Orem, Utah 84057
Phone (801) 229-7500

Gas

Dominion Energy
1640 North Mountain Springs Parkway
Springville, Utah 84663
Phone (801) 853-6585

Electricity

Rocky Mountain Power
70 North 200 East
American Fork, Utah 84003
Phone (801) 756-1220
Fax (801) 756-1274
Mark Steele

Telephone

Qwest
75 East 100 North
Provo, Utah 84606
Phone (801) 356-7050
Cell (801) 473-3385
Kasey Lunt

Cable T.V.

Comcast Cable Communications, Inc.
1350 East Miller Avenue
Salt Lake City, Utah 84106
Phone (801) 485-0500
Fax (801) 487-1887

Property Address:

1353 West 130 South
Orem, Utah

Developer:

McKay Winkle
3651 North 100 East #125
Provo Utah 84604
801 310-6948
mckaywinkle@gmail.com

Engineer:

Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
801-224-1252

Site Data:

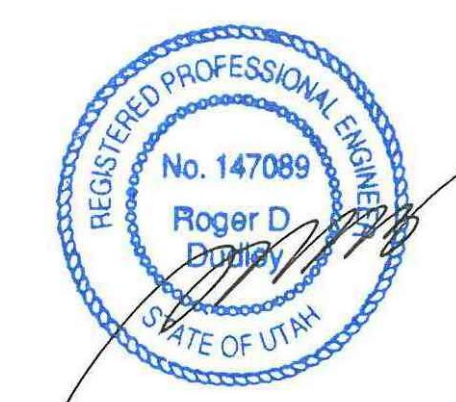
Zone = M-2
Total Area = 70,640 SF or 1.62 Acres
Parking Requirements = 1/250 Office 1/750 Warehouse
Spaces required Lot 1= 30
Spaces provided Lot 1 = 32
Spaces provided Lot 2 =56
Total Spaces Provided = 88

Sheet Index

- 1.0 Cover Sheet
- 1.1 General Notes
- 2.0 Site Plan
- L 1.0 Landscape Plan
- 3.0 Utility Plan
- 4.0 Grading and Drainage Plan
- 5.0, 5.1 Detail Sheets
- 6.0 Underground detention Details (A-0.7,A-1.3,A-1.4,A-2.2)
- 7.0 Demo Plan
- 8.0 Storm Drain Profile
- A-1.1 Floor Plan
- A-1.3 Roof Plan
- A-2.1 Building Elevations

	Square Footage	Acreage	Percent of total
Total Area	70,640	1.62	100
Total Building / Pad Area	19,465	0.44	27
Total Hard Surface Area	40,239	0.93	57
Total Impervious Area	59,704	1.37	84
Total Landscaped Area	10,936	0.25	16

Tabulation Table



Sheet No.
C - 1.0

UTILITY GENERAL NOTES

1. All installation and materials shall, at a minimum, conform to the current City standards, specifications, and drawings.
2. The contractor shall obtain a permit for utility construction at least 48 hours prior to construction.
3. Contractor shall coordinate with all utility companies for installation requirements and specifications.
4. All necessary inspections and/or certifications required by codes and/or utility service companies shall be performed prior to announced building possession and the final connection of service.
5. The contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies, and where possible, measurements taken in the field. The information is not to be relied on as being exact or complete. The contractor must call the appropriate utility companies at least 48 hours before any excavation to request exact field location of utilities. It shall be the responsibility of the contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plans.
6. Underground utilities shall be installed, inspected and approved before backfilling.
7. Contractor shall notify Engineering inspectors 72 hours before connecting to any existing utility.
8. All fill material is to be in place and compacted before installation of proposed utilities.
9. Existing utilities shall be verified in field prior to installation of any new lines, any discrepancies found are to be communicated to the design engineer prior to installation.
10. All ductile and gray iron fittings shall be manufactured in accordance with the following AWWA standards: C-104 cement mortar lining, C-110 gray-iron and ductile iron joints. All fittings shall be seal coated with bituminous material. All fitting shall be 250 PSI minimum pressure rating.
11. Manholes shall be precast conforming to ASTM C-478. Concrete bases shall be poured in place or precast.
12. All utility pipes shall be bedded and backfilled in accordance with the detail drawings and site work specifications.
13. Tops of existing manholes shall be raised as necessary to be flush with proposed pavement elevations. Any existing manholes in unpaved areas shall be 6 inches above finished ground elevations with water tight lids.
14. All concrete for encasements shall have a minimum 28 day compression strength at 4000 PSI.
15. Site work contractor shall be responsible for all improvements to with 5 ft. of proposed building unless specified otherwise. Site work contractor shall coordinate with building contractor on all utility building entrance locations.
16. In the event of a vertical conflict between waterlines, sanitary lines, storm lines and gas lines (existing and proposed), the sanitary line shall be ductile iron pipe with mechanical joints at least 10 feet on both sides of crossing, the waterline shall have mechanical joints with appropriate thrust blocking as required to provide a minimum of 18-inch clearance meeting requirements of ANSI A21.10 or ANSI 21.11 (AWWA C-151) (CLASS 50).
17. Drawings do not purport to show all existing utilities. It is the responsibility of the contractor to verify all existing utilities by means of 'blue stakes', 'pot-holing', and/or excavation.
18. Contractor shall verify utility locations prior to subsurface work for light poles (boring etc.) and similar structures.
19. See notice requirement under general project notes.
20. The general contractor shall ensure that all sub-contractors have installed utilities in accordance with the specifications and design (line, grade, no sags, etc.) prior to scheduling close-out meetings with the city.
21. All utilities shall be pre-tested prior to the city witnessing the test to ensure that said utilities will pass during city witness of testing.

SURVEY CONTROL NOTE:

The contractor or surveyor shall be responsible for following the National Society of Professional Surveyors (NSPS) model standards for any surveying or construction layout to be completed using Dudley & Associates ALTA Survey or Dudley & Associates construction improvement plans. Prior to proceeding with construction staking, the surveyor shall be responsible for verifying horizontal and vertical control from the survey monuments and for verifying any additional control points shown provided by Dudley & Associates. The surveyor shall also use the benchmarks as shown on the plan, and verify them against no less than three existing hard improvement elevations included on these plans or on electronic data provided by Dudley & Associates. If any discrepancies are encountered, the surveyor shall immediately notify the engineer and resolve the discrepancies before proceeding with any construction staking.

PRIVATE ENGINEER'S NOTICE TO CONTRACTORS

The Contractor agrees that he shall assume sole and complete responsibility for job site conditions during the course of construction of this project, including safety of all persons and property; that this requirement shall apply continuously and not be limited to normal working hours; and that the contractor shall defend, indemnify, and hold the owner and the engineer harmless from any and all liability, real or alleged, in connection with the performance of work on this project, excepting for liability arising from the sole negligence of the owner or the engineer.

SANITARY SEWER GENERAL NOTES

1. See this sheet for general project notes.
2. All sanitary sewer construction shall be in conformance with the standards and specifications.
3. All gravity sanitary sewer lines shall be in conformance with the standards and specifications.
4. Sanitary sewer lines shall be SDR-35 PVC. Sewer line construction and materials shall conform to ASTM standards and specifications.
5. Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, grout, and steel shims to adjust the manhole frame to the required final grade in conformance with the standard specifications. All frames shall be adjusted to final grade prior to the final lift of asphalt.
6. All sanitary sewer main testing shall be accordance with the standards and specifications copies of all test results shall provided to the engineer, the owner, and the governing authority prior to the start of the warranty period.
7. Compaction of all trenches within the project site must be attained and compaction results submitted to Department of Public Works.
8. The contractor is responsible for protecting all existing structures and improvements during installation of sanitary sewer line.
9. The contractor is responsible for the following:
 - (A) Obtaining all required permits from the city or regulatory authorities at the contractors cost including permits required for work within the public right-of-way.
 - (B) Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinkler systems.
 - (C) Verification and protection of all existing utilities within the limits of construction.
 - (D) Providing as-built drawings to the City and engineer.
 - (E) All permitting, development, location, connecting and inspection.
 - (F) Verifying all standard details conform to the current standards and specifications.
 - (G) For obtaining and understanding all city, county, and state standards and specifications pertaining to the construction of sanitary sewer improvements.
 - (H) Reference architectural plans for all connections to building services and verify locations as shown.
10. The contractor shall provide all materials necessary for construction or installation of all proposed improvements shown.
11. The contractor shall pthoche the existing sewer main and provide an as-built elevation of the main to the engineer prior to any new construction.
12. Sanitary sewer pipes shall be bedded in accordance with standards.

STORM DRAIN GENERAL NOTES

1. The contractor shall be responsible for the following:
 - (A) Obtaining all required permits from the city or regulatory authorities at the contractor's cost including permits required for work within the public right-of-way.
 - (B) Restoration of any existing improvements including (but not limited to) fences, sod, landscaping, pavement, sprinklers systems.
 - (C) Verification and protection of all existing utilities within the limits of construction.
 - (D) Providing as-built drawings to the city and engineer.
 - (E) All permitting, development, location, connection and inspection.
 - (F) Scheduling all required inspections.
2. All storm drain construction shall be in conformance with standards, specifications, and plans.
3. Distances for storm drains are the horizontal distances from center of manhole or inlet to center of manhole or inlet. Therefore, distances shown on plans are approximate and could vary due to vertical alignment.
4. Rim elevations shown are approximate only and are not to be taken as final elevation. Pipeline contractor shall use precast concrete adjustments rings, grout, and steel shims to adjust the manhole frame to the required final grade in conformance with standards, specifications and plans. All frames shall be adjusted to final grade prior to the final lift of asphalt.
5. Compaction of all trenches within the project site must be attained and compaction results submitted to the engineer prior to final acceptance.
6. Storm drain pipes entering structures shall be grouted to assure connection at structure is watertight.
7. All storm drain pipes entering structures shall be grouted to assure connection at structure is watertight.
8. All storm drain manholes in paved areas shall be flush with pavement and shall have traffic bearing lids. Manholes in unpaved areas shall be 6" above finished grade. All storm drain lids shall be labeled "storm drain".
9. Contractors shall verify horizontal and vertical location of all existing storm drain structures, pipes, and all utilities prior to construction. Any discrepancies are to be reported to the design engineer prior to construction.
10. Storm drains shall be bedded in accordance with the City standards.

GRADING PLAN GENERAL NOTES

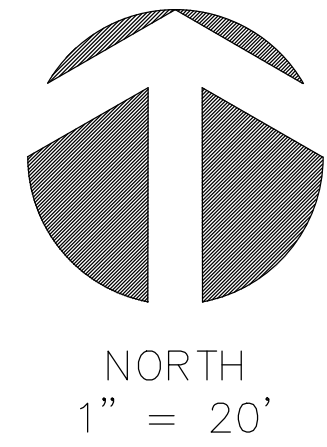
1. Contours shown are for finished paving, sidewalk, slab, or ground adjustment to sub-grade is the contractor's responsibility.
2. All disturbed areas that are un-surfaced or are not designated as landscape areas are to be seeded, fertilized, and watered until a healthy stand of grass is obtained.
3. If during the overall grading process, conditions are encountered which could indicate an unidentified situation is present, the soils engineer shall be contacted for recommendations.
4. Unless otherwise shown, not proposed slope shall exceed three (3) horizontal to one (1) vertical. All sloped areas must be protected from erosion.
5. If stripped materials consisting of vegetation and organic materials are stockpiled on the site, topsoil may be placed to a height of five feet. Silt fence shall be placed around the base of the stockpile and the stockpile shall be seeded with native seed mix immediately after stripping operations are complete.
6. On-site materials suitable for fill beneath drives and asphalt areas beyond 5' (five) of the building shall be compacted in accordance with guidelines presented in the soils report.
7. Spot elevations shall take precedence over contours and slopes shown. The contractor shall notify the engineer of the spot elevations that do not appear to be consistent with the contours and slopes. Spot elevations and specific profile design shall be used for setting elevations of curb, gutter and utilities.
8. Benchmark verification: Contractor shall use benchmarks and datums shown hereon to set project benchmark(s), by running level loop between at least two benchmarks, and shall provide survey notes of such to project engineer prior to commencing construction.
9. All utilities (manholes, valve covers, cleanouts, vaults, boxes, etc.) shall be adjusted to final grade prior to the final lift of asphalt.
10. All earth moving and placement operations shall be in conformance with the recommendations identified in the soils report. The contractor shall have a signed and sealed copy of the soils report on the site at all times.
11. The contours shown in the detention/retention pond area represent final grade. The top 6 inches of material in the detention/retention pond and berm areas shall be top soil as specified in the project standards.
12. Grades within asphalt areas shall be constructed to within 0.10 feet of the design grade. However, the contractor shall maintain positive drainage in all pavement areas and along all curbs. All curbs shall be built in accordance to the plan. Curbs or pavement areas which do not provide proper drainage must be removed and replaced at the contractor's expense.
13. Spot elevations represent flow line or top of asphalt unless otherwise noted.
14. The contractor is responsible for providing his own estimate of earthwork quantities.
15. All landscaped islands shall have a crown of topsoil prior to landscaping. Refer to landscape plan for specifications.
16. Where new curb and gutter is being constructed adjacent to existing asphalt or concrete pavement, the following shall apply: Prior to placement of any concrete, the contractor shall have a licensed surveyor verify the grade and cross slope of the curb and gutter forms. The contractor shall submit the slopes and grades to the engineer immediately of any section which does not conform to the design or typical cross section. The contractor shall be solely responsible for curb and gutter pours without the approval of the engineer.
17. The earthwork for all building foundations and slabs shall be in accordance with architectural building plans and specifications.
18. Pre-cast structures may be used at contractor's option.
19. Existing drainage structures to be inspected and repaired as needed, and existing pipes to be cleaned out to remove dirt and debris.
20. Existing grade contour intervals shown at 1 foot intervals unless otherwise noted on the plan.
21. Proposed grade contour intervals shown at 1 foot intervals unless otherwise noted on the plan.
22. If any existing structures to remain are damaged during construction, it shall be the contractor's responsibility to repair and/or replace the existing structure as necessary to return it to existing conditions or better.
23. The contractor shall adhere to all terms & conditions as outlined in the general permit for storm water discharge associated with construction activities.
24. Contractor shall adjust and/or cut existing pavement as necessary to assure a smooth fit and continuous grade.
25. Contractor shall assure positive drainage away from buildings for all natural and paved areas.
26. Topographical information taken from a topographic survey by (Dudley & Associates). If contractor does not accept existing topography as shown on the plans, without exception, he shall have made, at his expense, a topographic survey by a registered land surveyor and submit it to the owner for review.
27. All unsurfaced areas disturbed by grading operation shall receive 4 inches of topsoil. Contractor shall apply stabilization fabric to all slopes 3H:1V or steeper. Contractor shall place sod or hydroseed to disturbed areas in accordance with city/county specifications and maintain until a healthy stand of grass is obtained.
28. Construction shall comply with all applicable governing codes and be constructed to same.
29. Contractor is responsible for verifying all utilities and notifying the appropriate utility company prior to beginning construction.
30. Site work shall meet or exceed site specifications.
31. All concrete to have a minimum 28 day compression strength of 4000 PSI.
32. All drainage from the subject site is to be contained on-site. No water shall be allowed to flow onto adjacent properties without drainage easements in place.
33. The Landscape contractor is to refer to the grading and drainage plan for the placement of drainage swales and LID facilities and ensure the design is maintained.

GENERAL NOTES

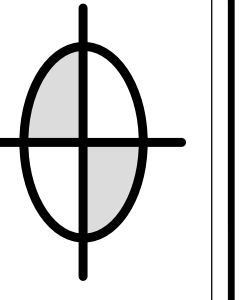
1. All materials, workmanship, and construction of site improvements shall meet or exceed specifications set forth in the City Public Works, Regulations and applicable state and federal regulations (including ADA guidelines). Where there is a conflict between these plans and the specifications, or any applicable standards, the higher quality standard shall apply. All work with public R.O.W. or easements shall be inspected and approved by the City Public Works Inspector and/or UDOT. Inspection services and construction certification to be provided by engineer of record.
2. The contractor is specifically cautioned that the location and/or elevation of existing utilities, as shown on these plans, is based on records of the various utility companies and where possible, measurements taken in the field, the information is not to be relied upon as being exact or complete. The contractor must call the local utility location center at least 48 hours before any excavation to requested exact field locations of the utilities. Prior to construction, the contractor shall verify pertinent locations and elevations, especially at the connection points and at potential utility conflicts. It shall be the responsibility of the contractor to relocate all existing utilities that conflict with the proposed improvements shown on these plans.
3. The contractor shall be responsible for obtaining all necessary permits from all applicable agencies. The contractor shall notify the City Public Works Inspector at least 48 hours prior to the start of any earth disturbing activity, or construction on any and all public improvements.
4. The contractor shall coordinate with City and all utility companies involved with regard to relocations or adjustments of existing utilities during construction and to assure that the work is accomplished in a timely fashion and with a minimum disruption of service. The contractor shall be responsible for contacting all parties affected by any disruption of any utility service.
5. The contractor shall have one (1) signed copy of the approved plans, one (1) copy of the appropriated standards and specifications, and a copy of any permits and extension agreements needed for the job, on-site at all times.
6. The contractor shall be responsible for all aspects of safety including, but not limited to, excavation, trenching, shoring, traffic control and security.
7. If during the construction process, conditions are encountered by the contractor, his subcontractors, or other affected parties which could indicate a situation that is not identified in the plans or specifications, the contractor shall contact the engineer immediately.
8. All references to any published standards shall refer to the latest revision of said standard, unless specifically stated otherwise.
9. The contractor shall submit a traffic control plan in accordance with the manual on uniform traffic control devices to the appropriate right-of-way authority (city, county or state) for approval, prior to any construction activities within, or affecting the right-of-way. The contractor shall be responsible for providing any and all traffic control devices as may be required buy the construction activities.
10. The contractor is responsible for providing all labor and materials necessary for the completion of the intended improvements shown on these drawings or designated to be provided, installed, constructed, removed and relocated unless specifically noted otherwise.
11. The contractor shall be responsible for keeping roadways free and clear of all construction debris and dirt tracked from the site.
12. The contractor shall be responsible for recording as-built information on a set of record drawings kept at the construction site, and available to the City Public Works Inspector at all times.
13. Dimensions for layout and construction are not to be scaled from any drawing. If pertinent dimensions are not shown, contact the consultant engineer for clarification and annotate the dimension on the as-built record drawings.
14. All structural erosion control measures shall be installed, at the limits of construction, prior to any other ground-disturbing activity. All erosion control measures shall be maintained in good repair by the contractor, until such time as the entire disturbed areas are stabilized with hard surface or landscaping.
15. The contractor shall sequence installation of utilities in such a manner as to minimize potential utility conflicts, in general, storm sewer and sanitary sewer should be constructed prior to installation of water lines and dry utilities.
16. All work within the public right-of-way is subject to the jurisdiction of the City Engineering Department Standard Details Specifications and Utah Department of Transportation Standard Details and Specifications.
17. The contractor shall submit a phasing plan for all work in all public roads and R.O.W.'s to the City before beginning any work on these streets. Contractor shall begin work only after City approves the phasing plan, and a preconstruction meeting is held between the city, the engineer and the contractor.
18. All operations conducted on the premises, including the warming up, repair, arrival, departure, or running of trucks, earthmoving equipment, construction equipment and any other associated equipment shall be limited to the period between 7:00 a.m. and 10:00 p.m. everyday, unless otherwise approved by the city.
19. It is the responsibility of the contractor to coordinate all utility relocations consistent with the contractor's schedule for this project. Whether shown or not shown as it relates to the construction activities contemplated in these plans.
20. Contractor shall be responsible for obtaining all temporary power and water to the site, paying all fees excluding tap fees and system development fees, referring to the geotechnical report prepared by (EarthTec Testing and Engineering P.C.)
21. In general, limits of site work are up to (and excluding) constructing sidewalks.

APPROVED FOR CONSTRUCTION
 C.E. [Signature] PRD
 P.E. [Signature] PLNRR
 P.M. [Signature]
 2023-06-19
 IMPROVEMENTS INSTALLED WITHOUT CITY INSPECTION WILL BE REJECTED

Sheet No.
C - 1.1



APPROVED FOR CONSTRUCTION
C.E. S.K. PRD
P.D.E. K.P. PLNR
P.M.
2023-06-19
IMPROVEMENTS INSTALLED WITHOUT CITY INSPECTION WILL BE REJECTED



DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

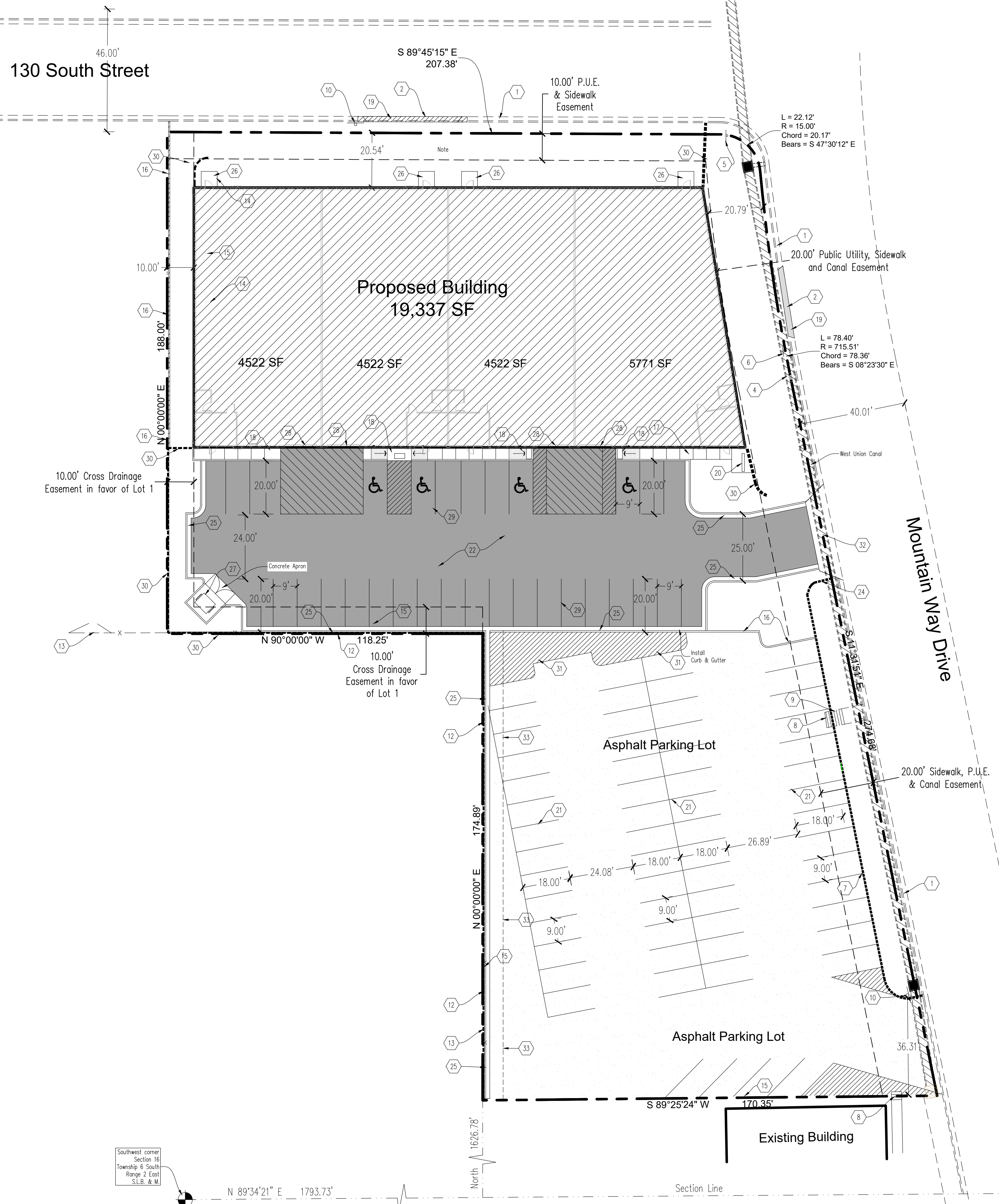
Boulder Industrial Park
Site Plan

Utah
Orem

Revisions table with columns for description and date.

Date: 6-7-2023
Scale: 1" = 20'
By: BHT
Tracing No.: L-

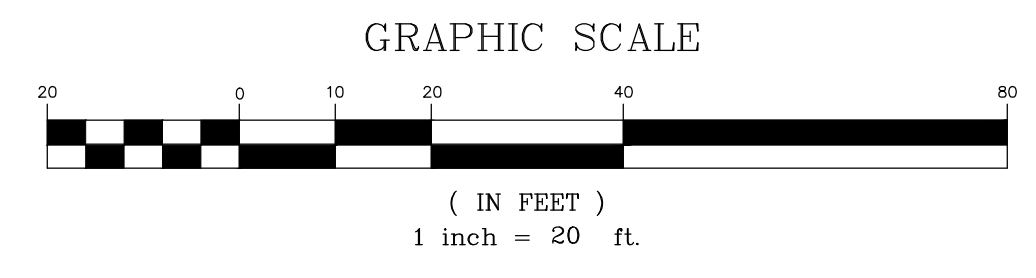
Sheet No.: C-2.0



- KEYED NOTES: 1 Existing 24" curb and gutter to remain. 2 Existing Driveway to be removed and curb to be replaced. 3 Set PK Nail. 4 Set Rebar & Cap. 5 Existing Stop Sign. 6 Existing No Parking Sign. 7 Existing Wall to remain. 8 Existing Stairs to remain. 9 Existing Railing to remain. 10 Existing Towing Enforced Sign. 11 Found Rebar. 12 Existing 6" Chain Link Fence to be removed. 13 Existing Gate to be removed. 14 Existing Private Parking Sign to be removed. 15 Existing Edge of Oil. 16 Install 6" x 18" Curb Wall (See Detail C Sheet C-5). 17 Install 5.00' Sidewalk (See Detail B Sheet C-5). 18 Install ADA Ramp (See Detail G Sheet C-5). 19 Install 2' Curb & Gutter. 20 Install Bicycle parking rack (See Detail E Sheet C-5.1). 21 Existing Parking Striping (White point) Typ. to be removed and re-striped after construction. 22 Construct Asphalt paving (See Paving Section Detail F Sheet C-5). 23 Existing Section of wall to be removed. 24 Install new Section of Wall. 25 Install 2' Curb & Gutter (See Detail D Sheet C-5). 26 Install 48" concrete Landing. 27 Install Dumpster Enclosure Per Orem City Code. 28 Proposed Overhead Door. 29 Install New Parking Striping per Orem City Code 22-15. 30 Install Concrete retaining wall. (See Detail on sheet C-5.0). Wall to have a 42" (min) railing. Owner to determine style. 31 Proposed Solid Striping. 32 Install New Drive approach Per Orem City Code (See Detail Sheet C-5). 33 Sawcut existing asphalt for smooth transition to new curb and gutter.

Parking Requirements = 1/250 Office 1/750 Warehouse
Spaces required Lot 1= 30
Spaces provided Lot 1 = 31
Spaces provided Lot 2 = 56
Total Spaces required = 30
Total Spaces Provided = 88
ADA Spaces required = 4 Spaces required , 1 being Van Accessible

Note:
No driveway or drive access may be located within twenty-five (25') of an existing fence which is greater than three feet (3') in height.




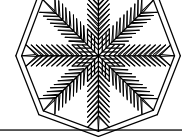
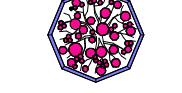




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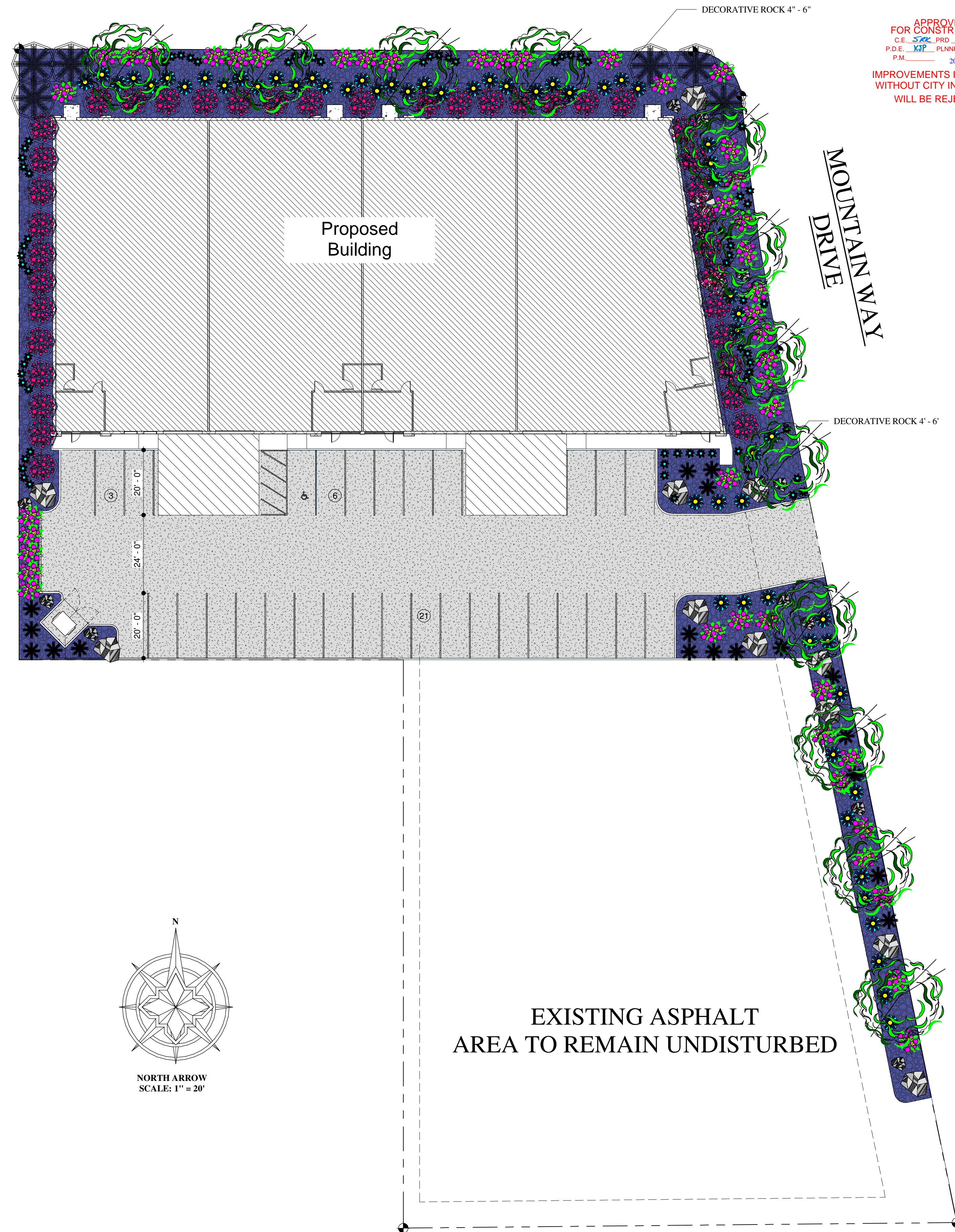
Southwest corner Section 16 Township 6 South Range 2 East S.L.B. & M.

South 1/4 corner Section 16 Township 6 South Range 2 East S.L.B. & M.

PLANT SCHEDULE

TREES:					
SYMBOL:	BOTANICAL NAME:	COMMON NAME:	CONTAINER:	SIZE:	QUANTITY:
	GINKGO BILOBA 'AUTUMN GOLD'	GINKGO	CAGED, BALL AND BURLAP	2" CALIPER	(12)
	PICEA PUNGENS GLAUCA	COLORADO WHITE SPRUCE	CAGED, BALL AND BURLAP	8' TO 10' OFF OF TOP OF ROOT BALL	(7)
SHRUBS:					
	RHAMNUS FRANGULA 'COLUMNARIS'	TALL HEDGE BUCKTHORN	PLASTIC CONTAINER	5 GALLON CONTAINER	(38)
	PINUS MUGO 'PUMILIO'	DWARF MUGO PINE	PLASTIC CONTAINER	5 GALLON CONTAINER	(22)
	POTENTILLA FRUCOSA var. 'RED ACE'	POTENTILLA RED ACE	PLASTIC CONTAINER	3 GALLON CONTAINER	(53)
	BERBERIS THUNBERGII 'ROSE GLOW BARBERRY'	JAPANESE BARBERRY	PLASTIC CONTAINER	1 GALLON CONTAINER	(74)
	LILY LANCIFOLIUM 'TIGRINUM'	TIGER LILY	PLASTIC CONTAINER	1 GALLON CONTAINER	(47)
13,273 SQ' OF DECORATIVE GRAVEL 4" - 6" W/ 1 DUMP TRUCK LOAD OF BOULDERS PLACED STRATIGALY AT ENTRANCE, ALONG THE CORNER OF 130 SOUTH MOUNTAIN WAY DRIVE.					

LANDSCAPE PLAN WITH PLANTING SCHEDULE

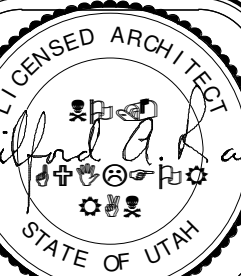


Note: Maintain a 3.00' (min) Horizontal and 10.00' vertical clearance from all bushes and trees.

APPROVED FOR CONSTRUCTION
 C.E.  PRO
 P.O.E.  PLANNR
 P.M. 2023.06.19
 IMPROVEMENTS INSTALLED WITHOUT CITY INSPECTION WILL BE REJECTED

REVISIONS DATE

ARCHITECTURAL COALITION
 962 West 800 North, Orem Utah, 84057 PH: 801-491-0275

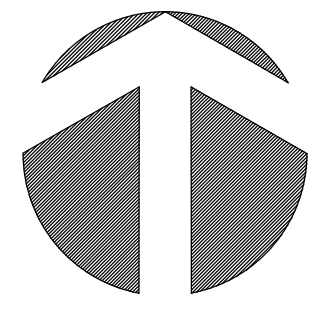
LICENSED ARCHITECT

 STATE OF UTAH

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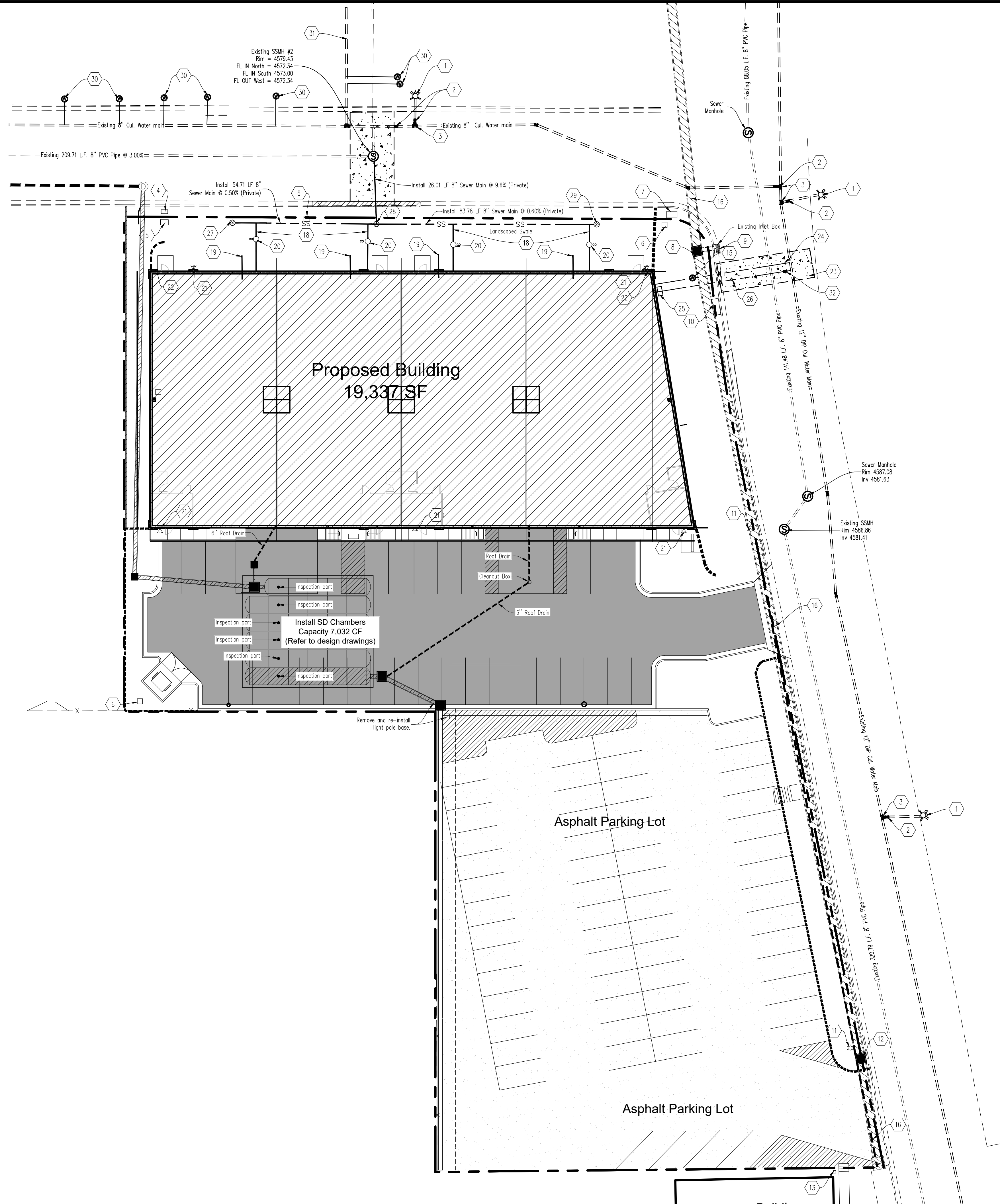
BOULDER INDUSTRIAL PARK
 McKay Winkel
 135 MOUNTAIN WAY DRIVE OREM, UT 84058

SHEET NO.
 L-1.0

DATE
 03/30/2023



NORTH
1" = 20'



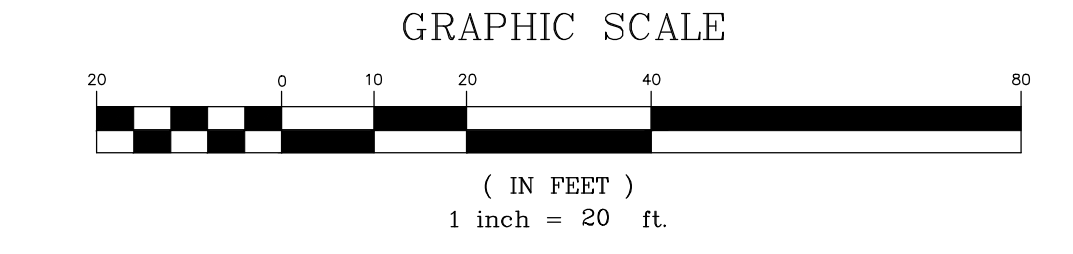
- Keyed Notes:
- 1 Existing Fire Hydrant.
 - 2 Existing Water Valve
 - 3 Existing 8" TEE
 - 4 Existing 1.5x2.5 Centracom Box
 - 5 Existing 2x3 Utopia Box
 - 6 Existing Light Pole Base
 - 7 Existing 2.5x4 Communication Box
 - 8 Existing Irrigation Control Box
 - 9 Existing Catch Basin
 - 10 Existing Electric Box
 - 11 Existing Light Pole
 - 12 Existing 3x4 Irrigation box
 - 13 Existing 1x1 Phone Box
 - 14 Install 4" Sewer Lateral (See Detail SS-3 Sheet C-5.0)
 - 15 Install 1" Water Meter w/ RPZ Backflow Assembly (See Detail W-21 Sheet C-5.0)
Water Meter Rim Elevation needs to match TBC elevation and maintain 36" of cover on service line and fire line
 - 16 Existing 36" CMP Irrigation Pipe (West Union Canal)
 - 17 Existing Sump
 - 18 Install 4" Sanitary Sewer Lateral
 - 19 Install 4" Process Sewer Lateral for future Grease Trap as needed
 - 20 Install Sewer Cleanout (See Detail SS-3 Sheet C-5.0)
 - 21 Install Lighting Wall Pack
 - 22 Install Roof Drain
 - 23 Proposed Asphalt Trench Patch (See Detail M-3 Sheet C-5.1)
 - 24 Install 1" Water Lateral
 - 25 Install FDC
 - 26 Install 6" Fire Line. (Maintain 36" of cover)
 - 27 Install SSMH Rim 4579.00 Inv 4575.78
 - 28 Install SSMH Rim 4579.00 Inv 4575.50
 - 29 Install SSMH Rim 4582.00 Inv 4576.00
 - 30 Existing Water Service
 - 31 Existing 8" Water Main
 - 32 Install 12"x6" Tapping Tee w/ 6" Gate Valve

Note:

Source information from plans and markings has been combined with observed evidence of existing utilities to develop a view of those underground utilities. However lacking excavation, Blue Staking, etc. the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary.

Prior to construction, the contractor is to coordinate the utility locations, size, and condition for connection. Any discrepancies are to be reported to the design engineer.

All utilities shall not be located under covered parking areas and shall be installed according to Chapter 21-4-6 of the Orem City Code. These utilities include but are not limited to water and sewer laterals, water and sewer mains, storm water sumps, sewer manholes, water valves and meters, and fire hydrants.



CAUTION!!! Notice to contractors

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BLUE STAKES OF UTAH
 UTILITY NOTIFICATION CENTER, INC.
 www.bluestakes.org
 1-800-662-4111

APPROVED FOR CONSTRUCTION
 C.E. TRB
 P.D.E. KJP
 OREM
 IMPROVEMENTS INSTALLED WITHOUT CITY INSPECTION
 10/15/2024

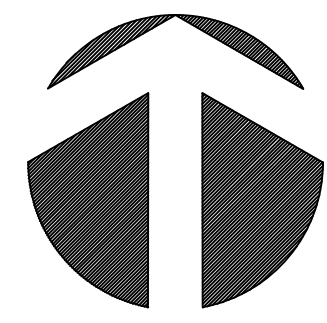
DUDLEY AND ASSOCIATES
 ENGINEERS PLANNERS SURVEYORS
 353 EAST 1200 SOUTH, OREM, UTAH
 801-224-1252

Boulder Industrial Park
 Utility Plan
 Orem

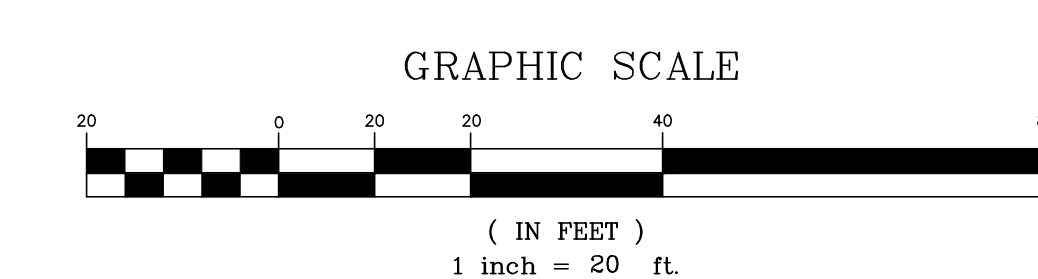
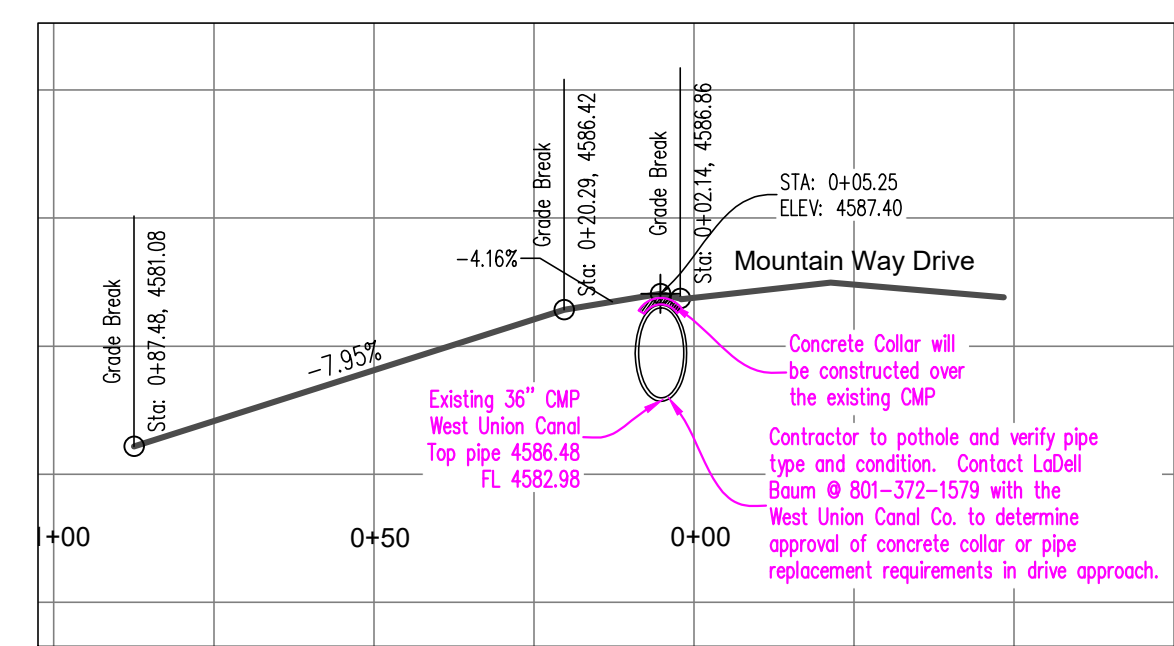
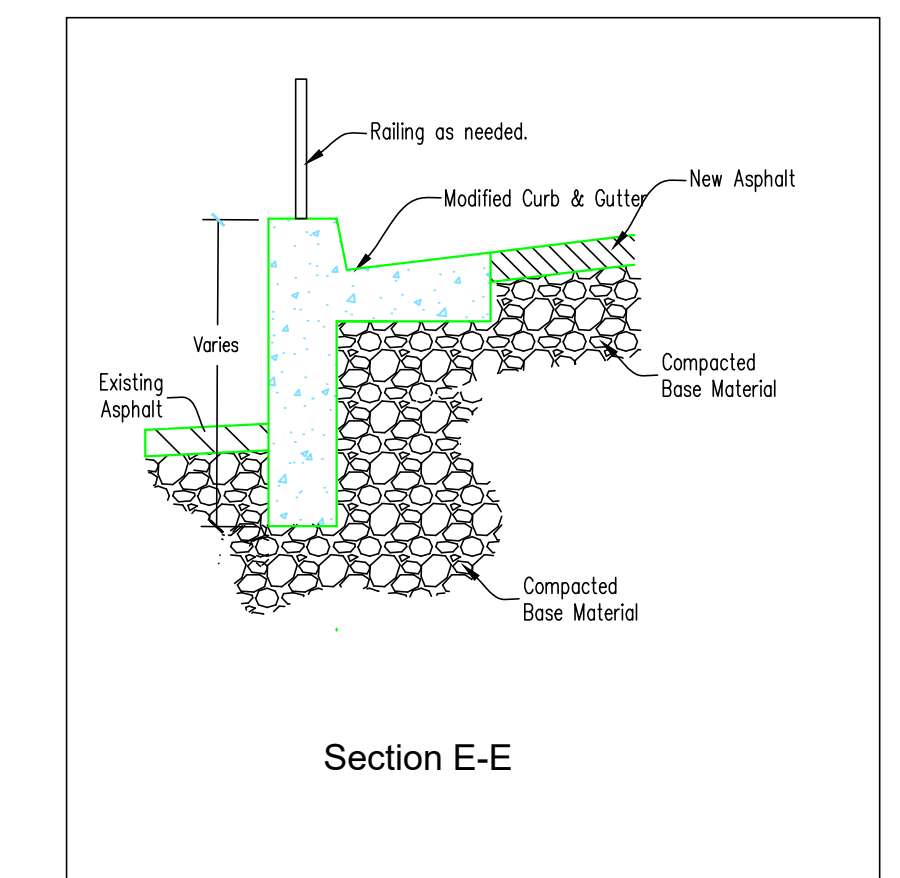
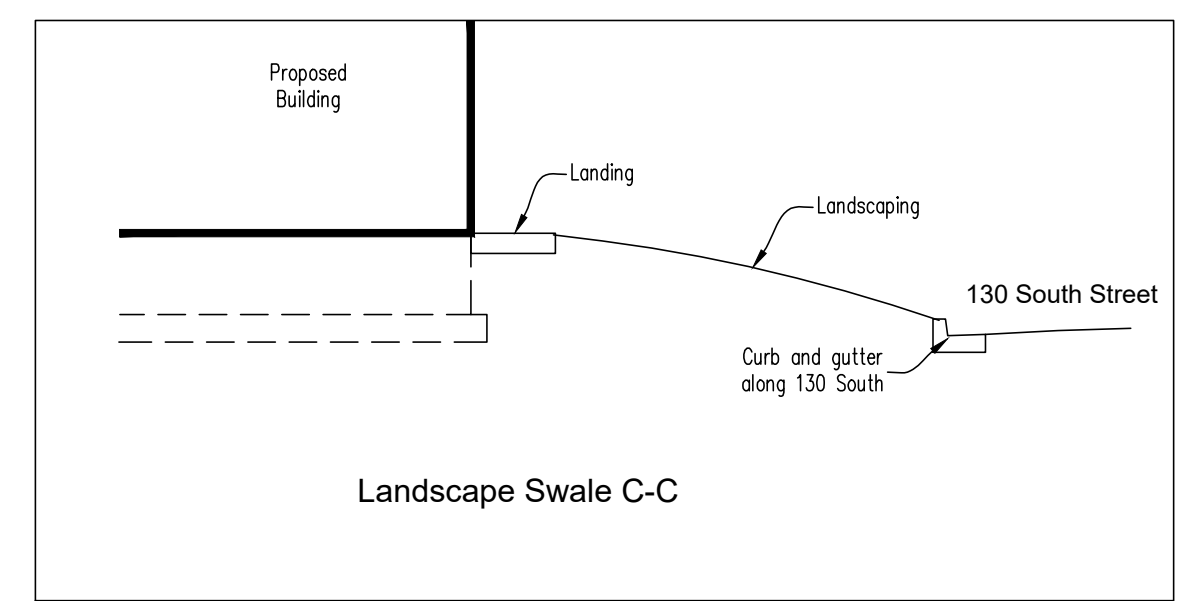
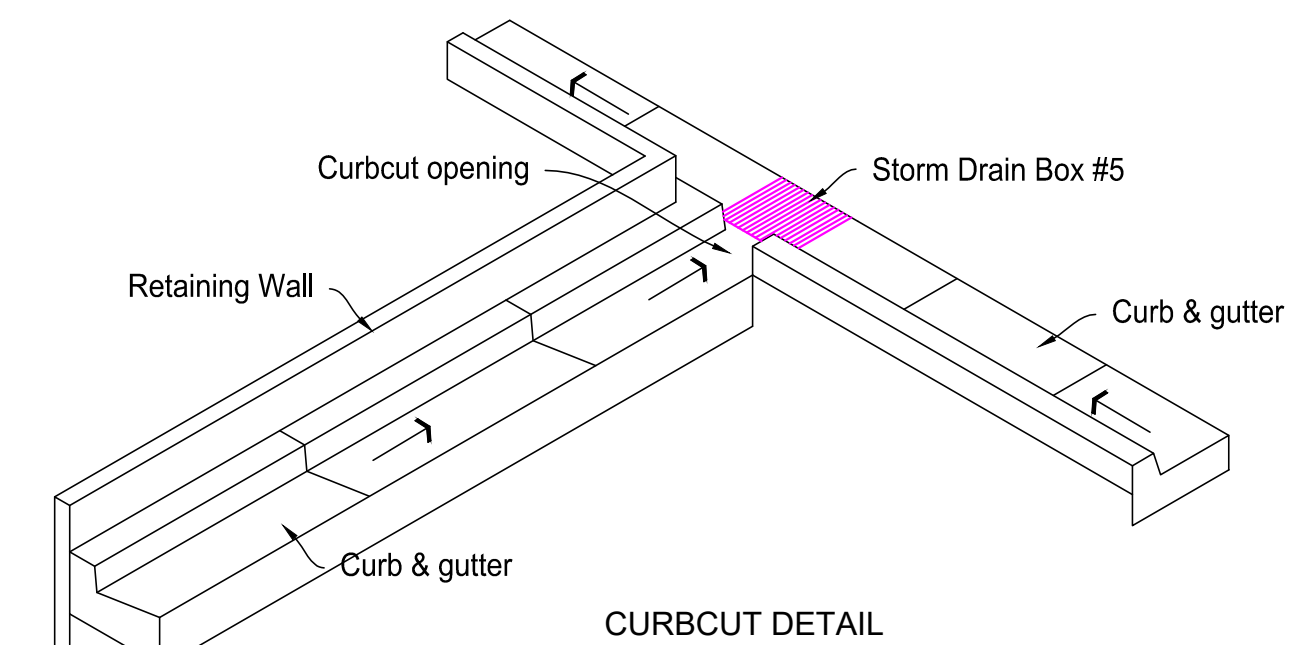
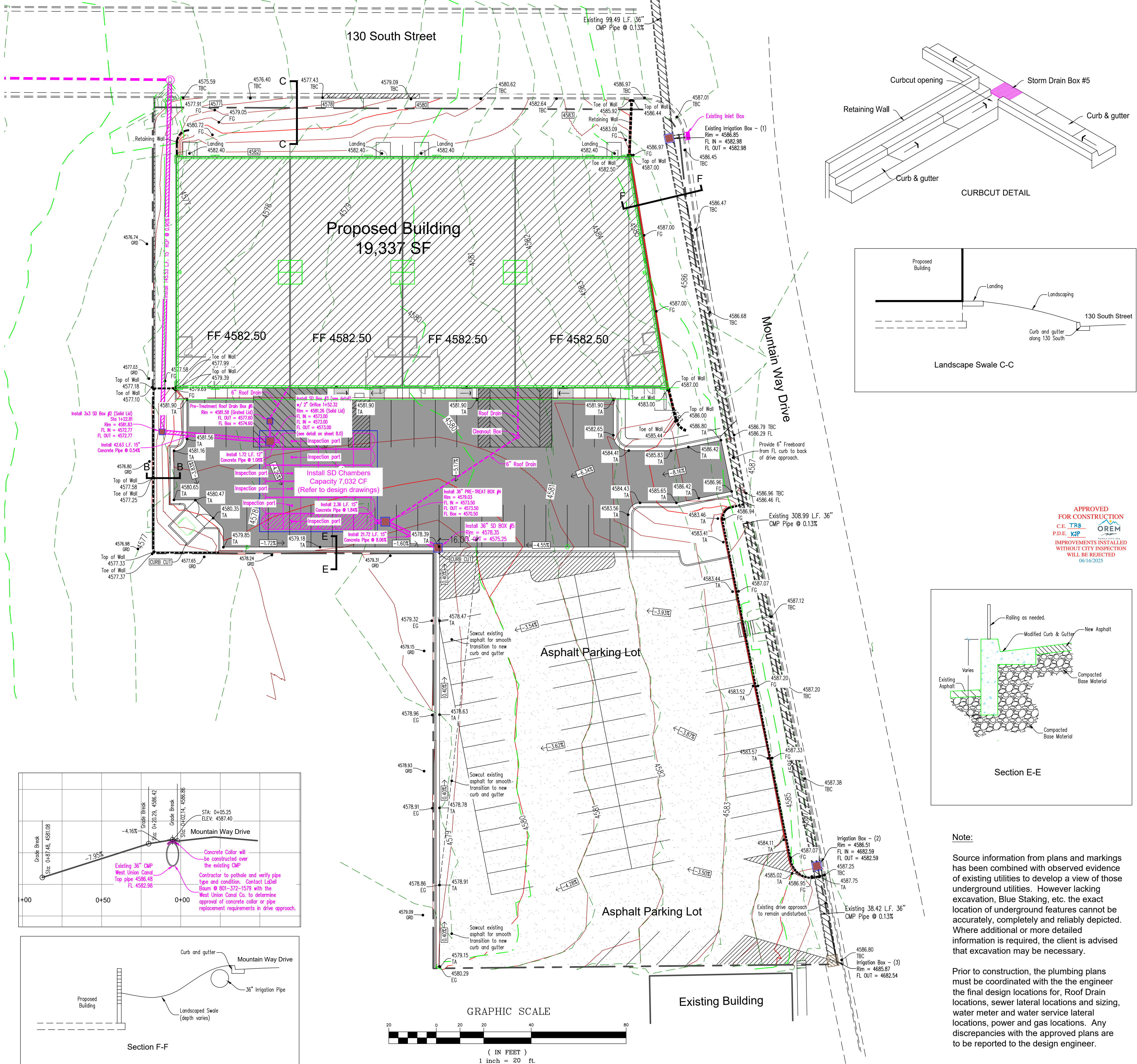
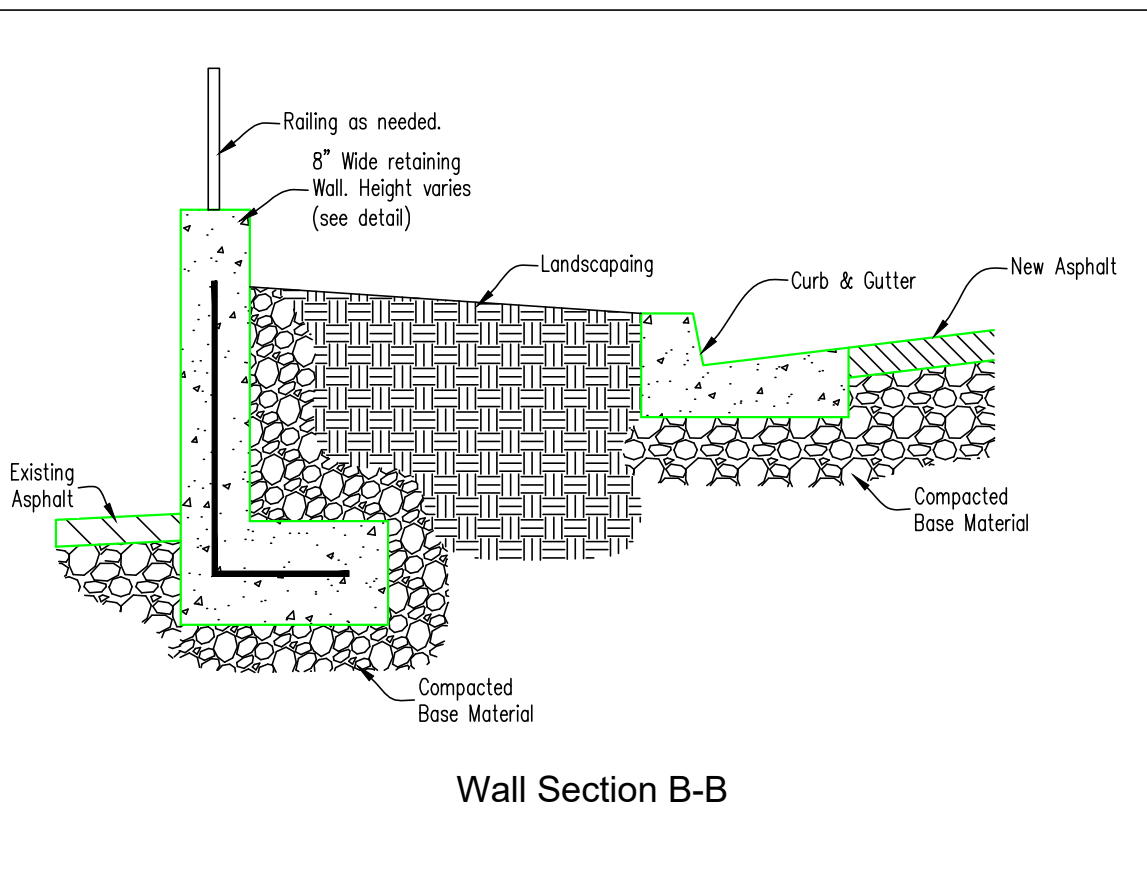
Revisions	10-8-2024
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Date
 6-15-2023
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 1"=20'
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 BHT
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Sheet No.
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NORTH
1" = 20'

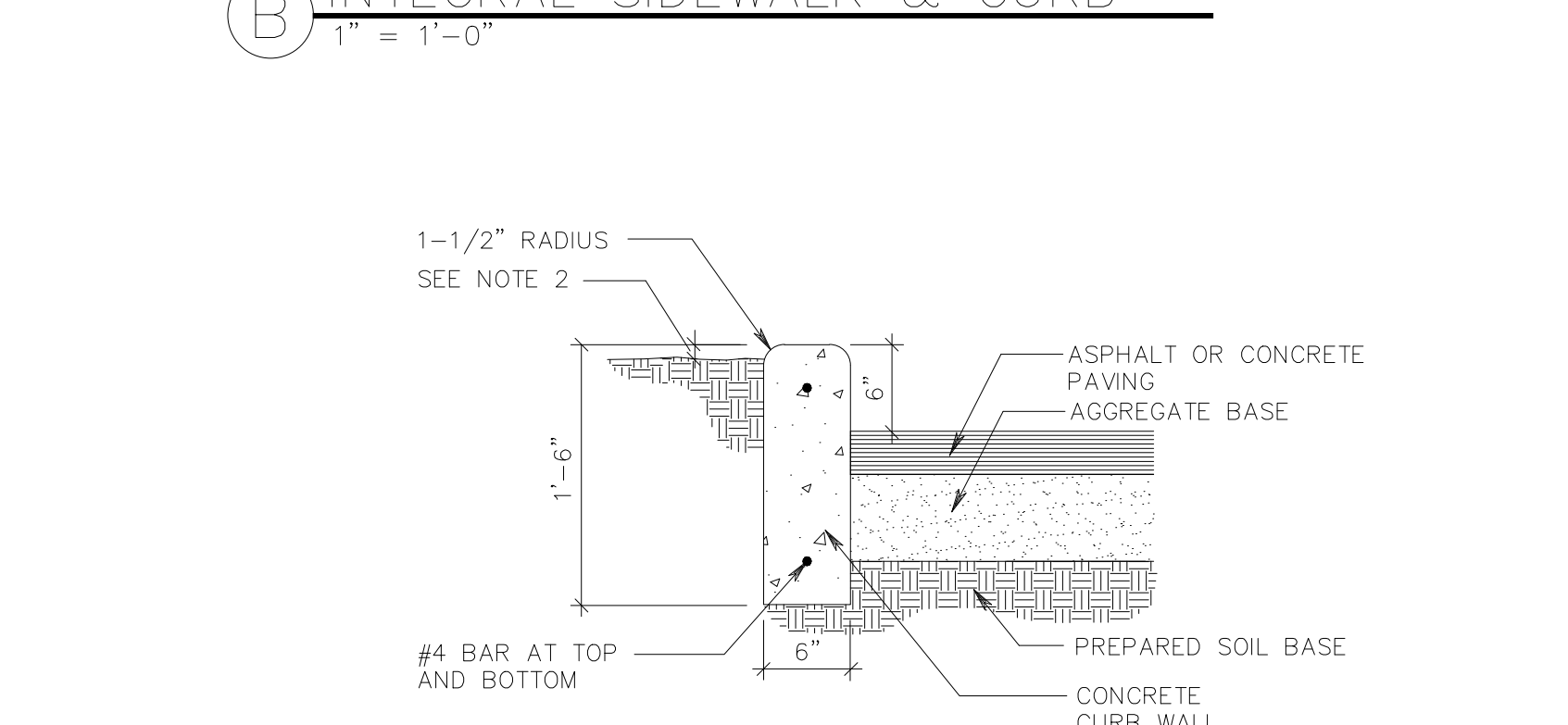
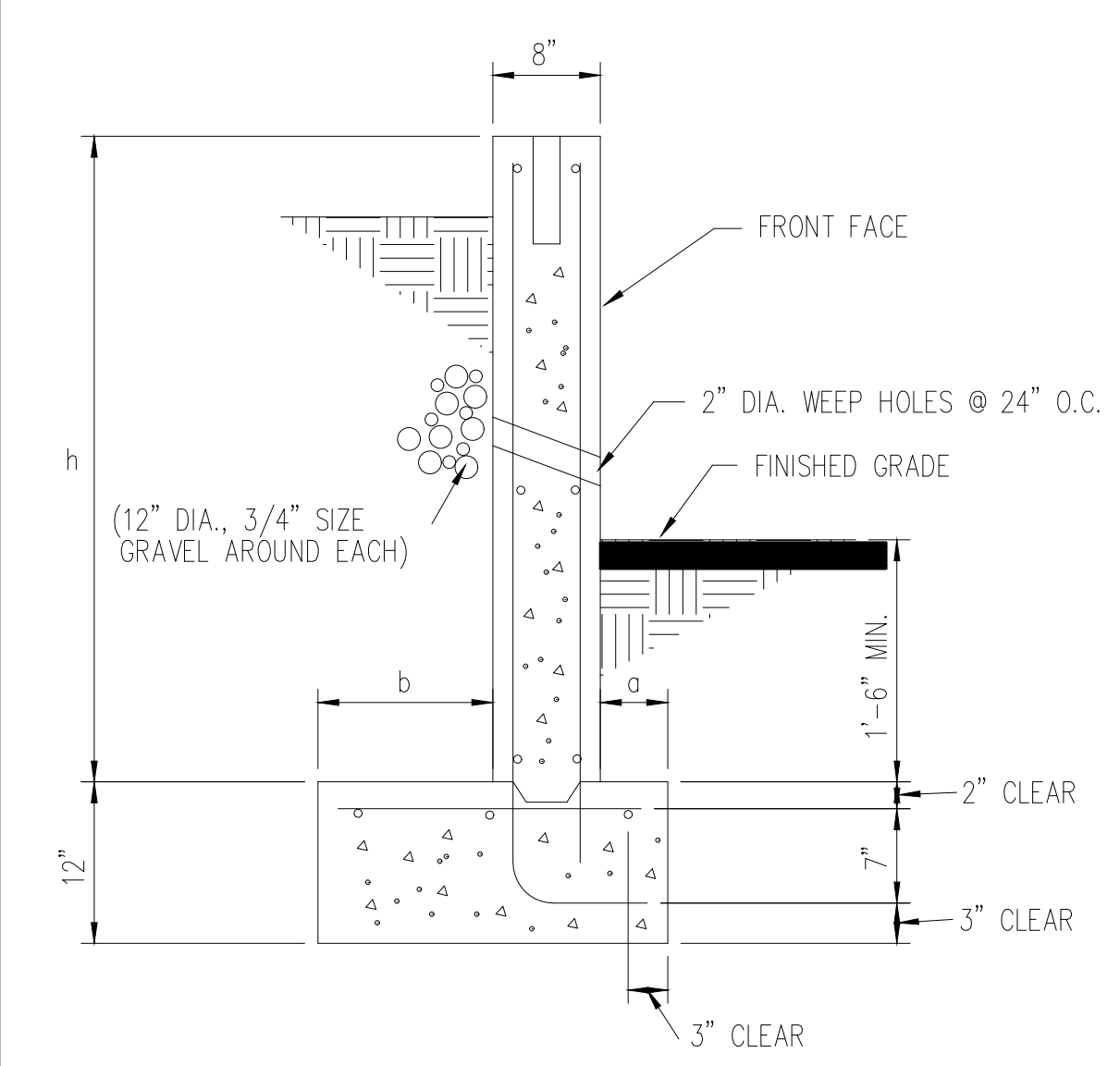
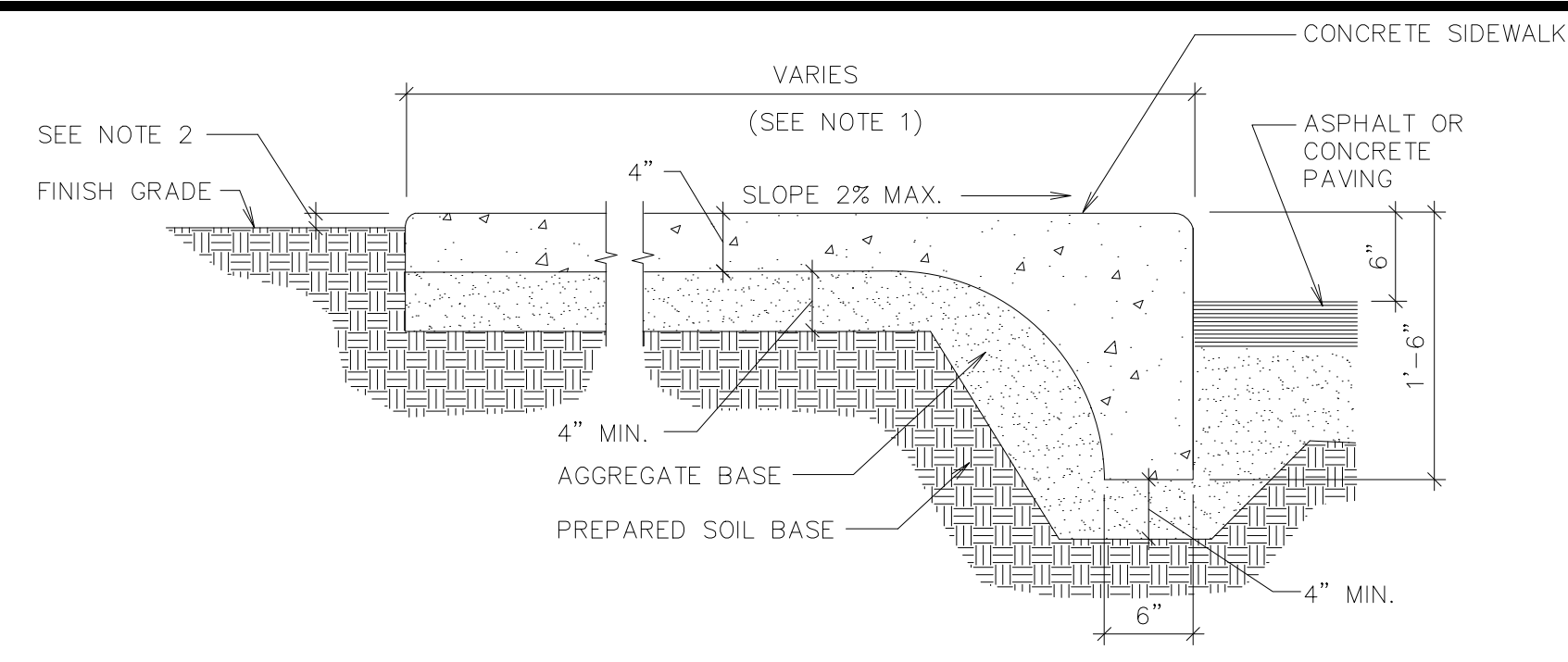
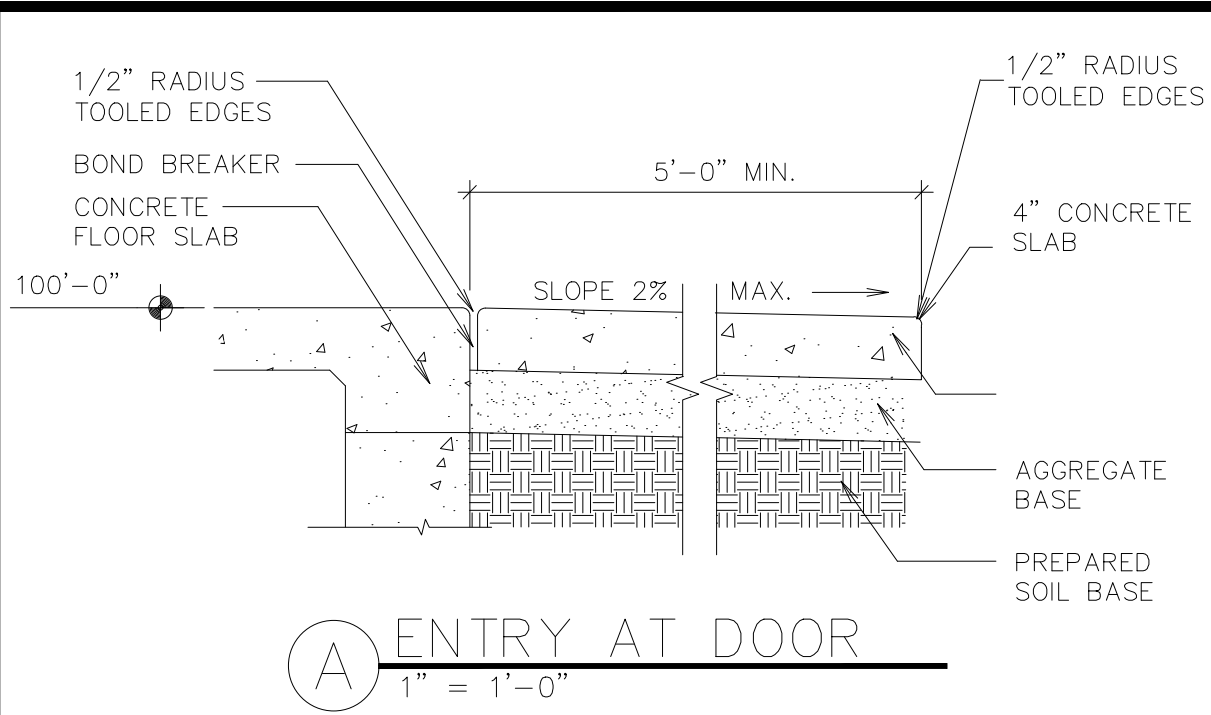


Note:
Source information from plans and markings has been combined with observed evidence of existing utilities to develop a view of those underground utilities. However lacking excavation, Blue Staking, etc. the exact location of underground features cannot be accurately, completely and reliably depicted. Where additional or more detailed information is required, the client is advised that excavation may be necessary.
Prior to construction, the plumbing plans must be coordinated with the engineer the final design locations for, Roof Drain locations, sewer lateral locations and sizing, water meter and water service lateral locations, power and gas locations. Any discrepancies with the approved plans are to be reported to the design engineer.

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Utah
Boulder Industrial Park
Grading and Drainage Plan
Orem

Revisions	10-8-2024	6-16-2025
Date	6-15-2023	
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By	BHT	
Tracing No.	L	
Sheet No.	C-4.0	



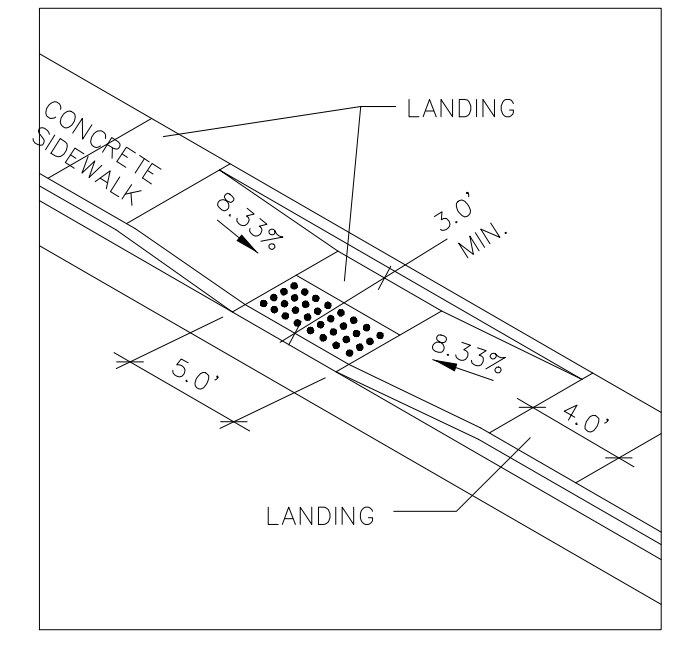
8" THICK RETAINING WALL

REINFORCING SCHEDULE - 8" WALL

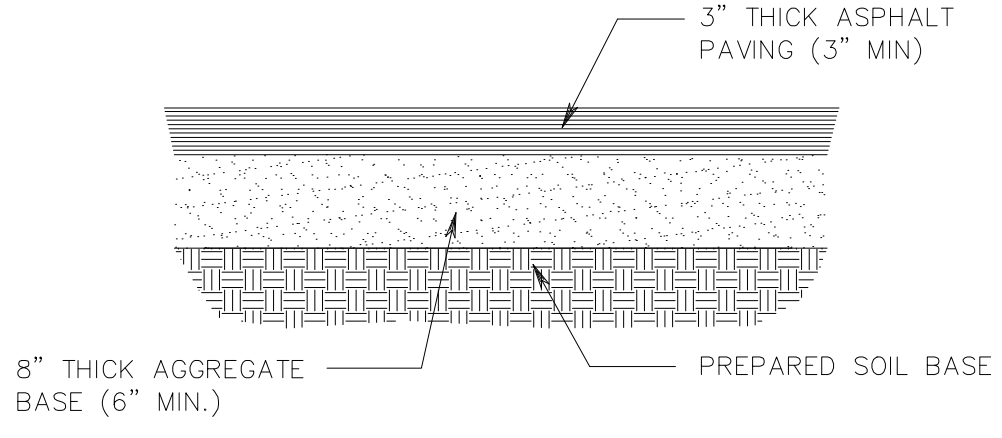
WALL DIMENSIONS			BACK FACE		REINFORCING BARS		TOP OF FOOTING	
h	a	b	VERTICAL	HORIZONTAL	EACH-WAY	CROSS-WISE	LONGITUDE	
3'-0"	4"	8"	#4 @ 16" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#3 @ 18" O.C.	(2) #4	
4'-0"	5"	1'-1"	#4 @ 16" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#3 @ 18" O.C.	(2) #4	
5'-0"	7"	1'-5"	#4 @ 16" O.C.	#4 @ 24" O.C.	#4 @ 24" O.C.	#3 @ 18" O.C.	(3) #4	
6'-0"	9"	2'-0"	#4 @ 16" O.C.	#4 @ 18" O.C.	#4 @ 18" O.C.	#3 @ 18" O.C.	(3) #4	
8'-0"	12"	2'-8"	#5 @ 16" O.C.	#4 @ 18" O.C.	#4 @ 18" O.C.	#5 @ 18" O.C.	(3) #4	
10'-0"	18"	4'-0"	#5 @ 16" O.C.	#4 @ 18" O.C.	#4 @ 16" O.C.	#5 @ 18" O.C.	(4) #4	

(USE 10" THICK WALL FOR 8' & 10' HEIGHT IF DESIRED)
(WALL HEIGHT VARIES, REFER TO PLAN VIEW FOR DETAILS)

- NOTES:
- PROVIDE DETECTABLE WARNING PANELS PER ADA REQUIREMENTS. (MINIMUM OF 2' DEEP BY THE WIDTH OF RAMP).
 - ALL LANDINGS MUST HAVE 1:48 CROSS SLOPE AND RUNNING SLOPE. LANDING MUST BE AS WIDE AS THE RAMP.
 - CROSS SLOPE ON RAMP MUST BE 1:48 OR LESS.
 - COUNTER SLOPES OF ADJOINING GUTTERS AND PAVING ADJACENT TO THE CURB RAMP SHALL NOT BE STEEPER THAN 1:20.



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P.M. ~~SMITH~~
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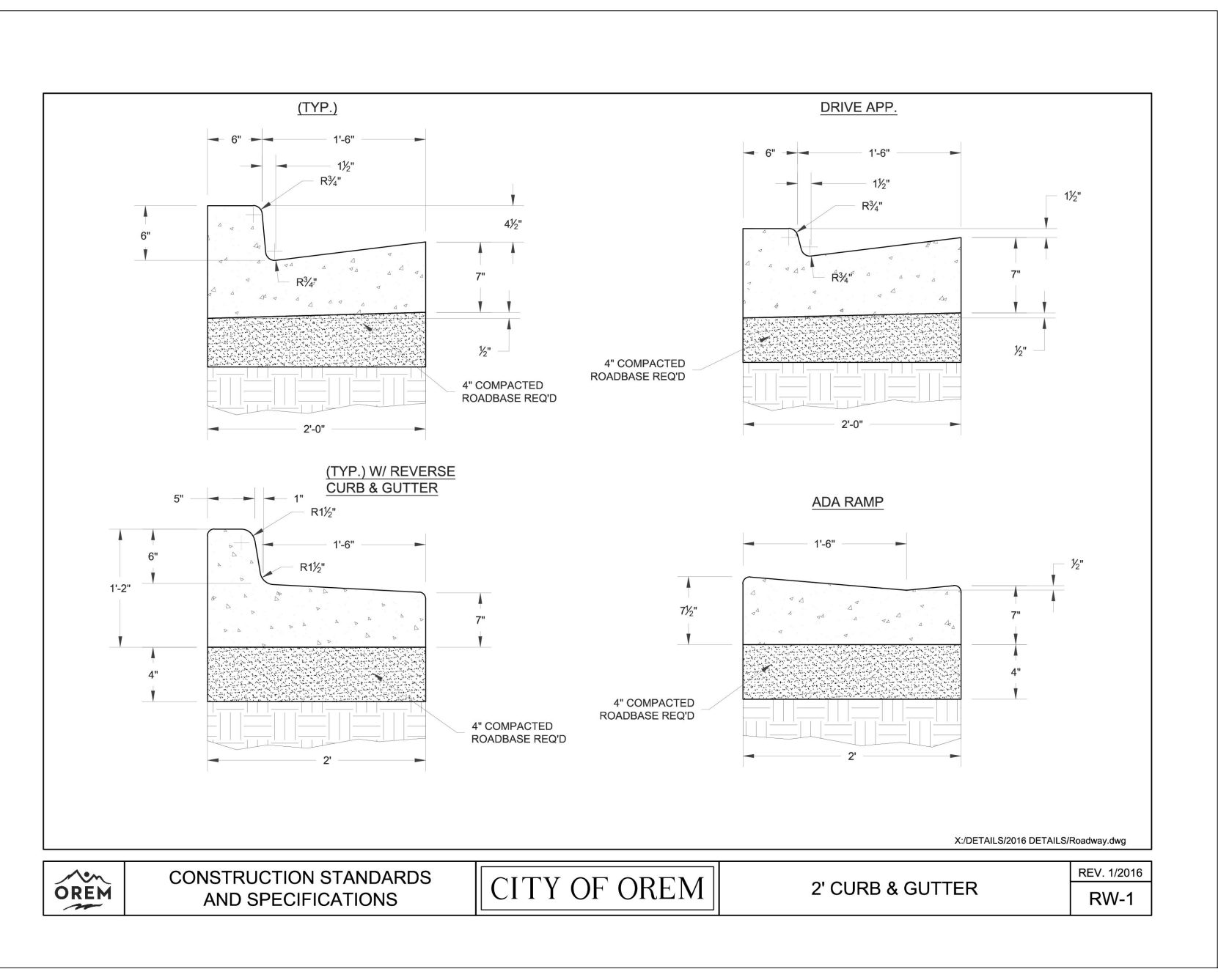


G ADA RAMP
Not to Scale

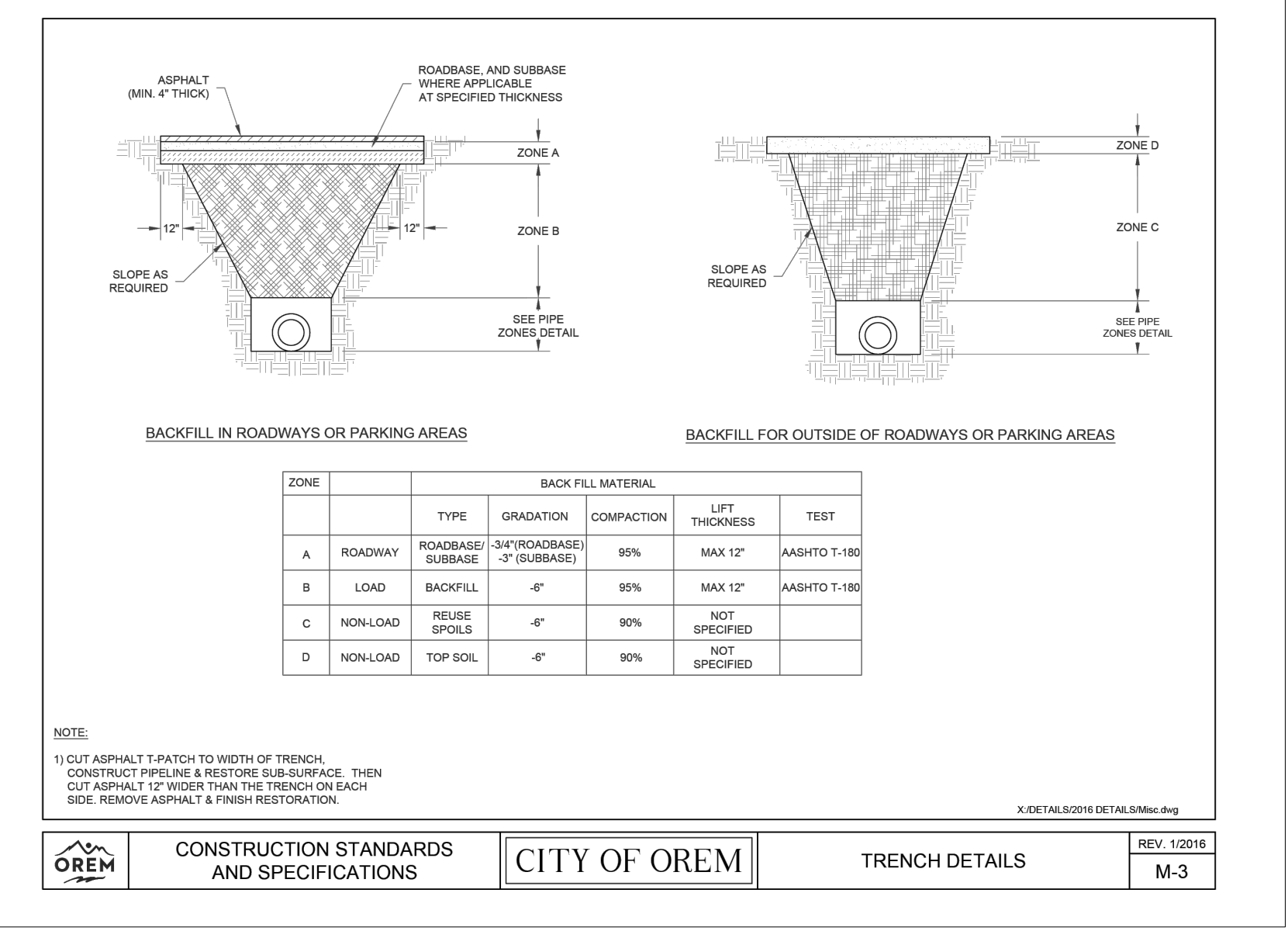
F ASPHALT PAVING
1" = 1'-0"
Parking Area paving section only.

CONCRETE PAVING NOTES WHERE CONCRETE PAVING IS USED:

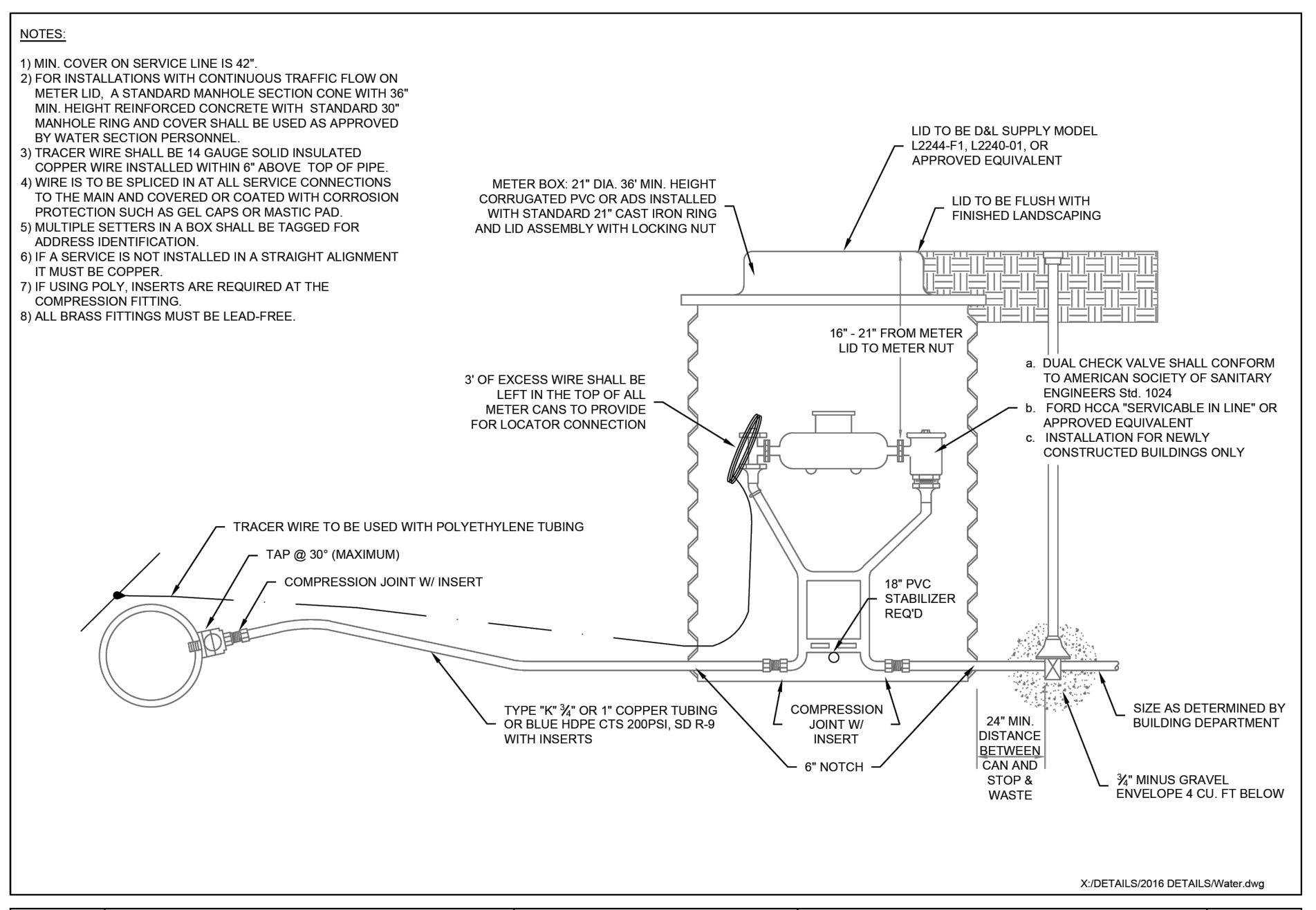
- REINFORCEMENT: ASTM A 615, GRADE 60, EPOXY COATED DEFORMED STEEL REBAR OR SMOOTH STEEL DOWELS WITH DIAMETER AND LENGTH AS INDICATED.
 - A. SPACE REBAR AND DOWELS AT 12 TO 15 INCHES ON CENTER.
 - B. GREASE DOWELS TO PROVIDE MOVEMENT IN EXPANSION JOINTS.
 - C. KEEP THE BARS IN THE VERTICAL CENTER OF THE CONCRETE SLAB AND PERPENDICULAR TO THE JOINT DURING CONCRETE PLACEMENT.
- SAWING: KEEP AT LEAST 3 WORKING POWER SAWS ON-SITE WHEN CONCRETE IS BEING PLACED. SAW CRACK CONTROL JOINTS (CONTRACTION JOINTS) BEFORE SHRINKAGE CRACKING TAKES PLACE. DO NOT TEAR OR RAVEL CONCRETE DURING SAWING. IN COOL WEATHER, THE JOINT SAWING MAY BE DELAYED ONLY FOR THE TIME REQUIRED TO PREVENT TEARING AND RAVELING THE CONCRETE. CUT JOINTS TO DIMENSIONS RECOMMENDED BY SEALANT MANUFACTURER AND APPROVED BY ENGINEER.
- JOINTS: LAY OUT JOINTS TO AID CONSTRUCTION AND CONTROL RANDOM CRACKING.
 - A. JOINT SPACING SHALL BE 12 FEET MAXIMUM ON CENTER IN BOTH DIRECTIONS.
 - B. EXTEND TRANSVERSE CONTROL JOINTS CONTINUOUSLY ACROSS THE FULL WIDTH OF THE CONCRETE. MAKE THE JOINTS COINCIDE WITH CURB AND GUTTER JOINTS.
 - C. MAKE ADJUSTMENTS IN JOINT LOCATIONS TO MEET INLET OR MANHOLE LOCATIONS.
 - D. EXPANSION JOINTS SHALL BE PLACED WHERE CONCRETE ABUTS A BUILDING WALL, SIDEWALK, CURB, GUTTER OR ANY IMMOVABLE STRUCTURE.
- JOINT FILLER: BITUMINOUS (ASPHALT OR TAR) MASTIC, ASTM D994, FORMED AND ENCASED BETWEEN 2 LAYERS OF BITUMINOUS SATURATED FELT OR 2 LAYERS OF GLASS-FIBER FELT EXTENDING TO THE BOTTOM OF THE CONCRETE SLAB.
- BACKER ROD: ROUND RODS. IT MUST BE OVERSIZED APPROXIMATELY 25 PERCENT TO FIT TIGHTLY INTO EACH JOINT AND COMPATIBLE WITH HOT POURED SEALANT.
- JOINT SEALANT: HOT APPLIED, ASPHALT BASE TYPE, ASTM D 3405. REMOVE DIRT, OIL, AND CURING COMPOUNDS FROM JOINT RESERVOIR. SEAL JOINTS IMMEDIATELY AFTER CLEANING.



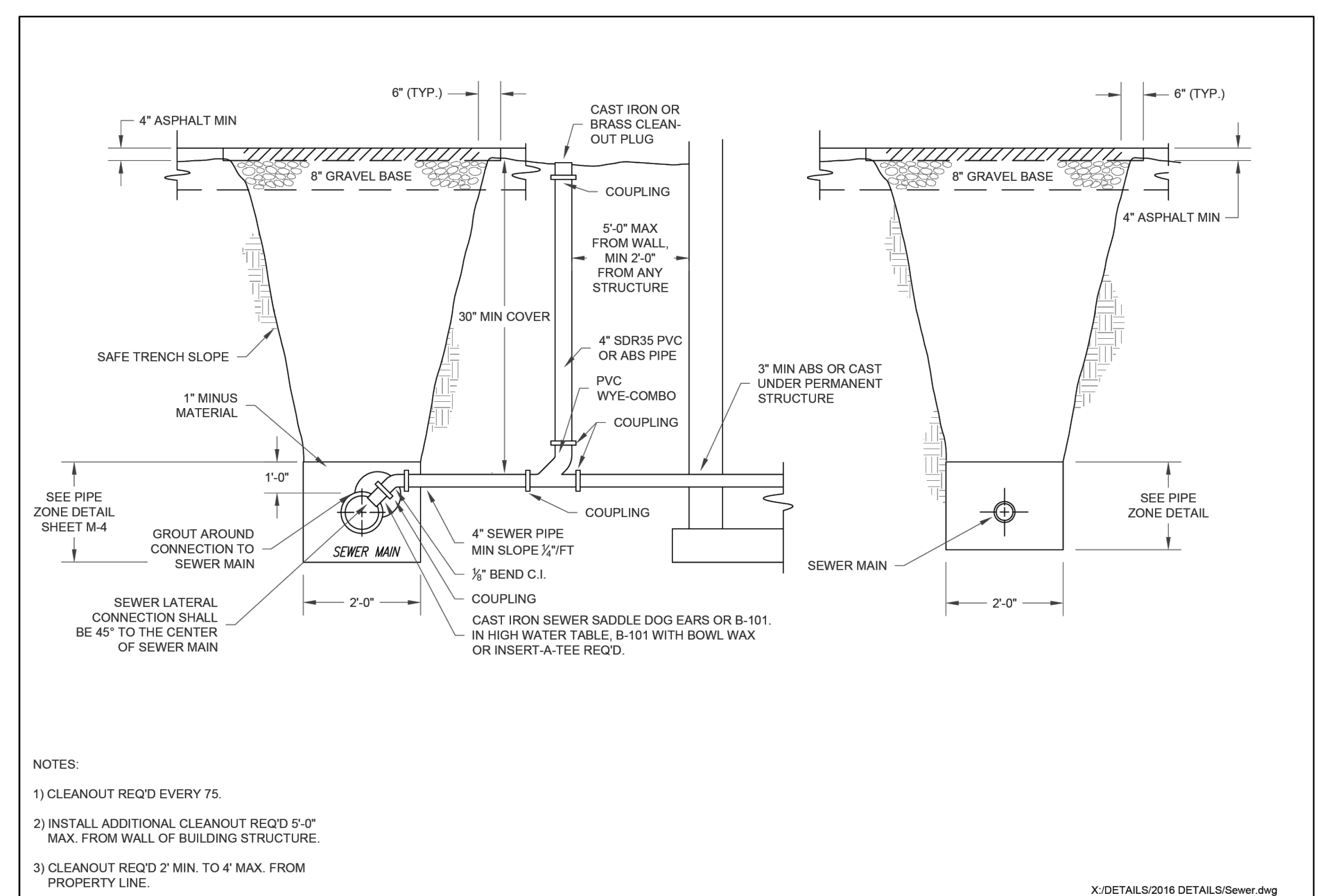
CONSTRUCTION STANDARDS AND SPECIFICATIONS CITY OF OREM 2' CURB & GUTTER REV. 1/2016 RW-1



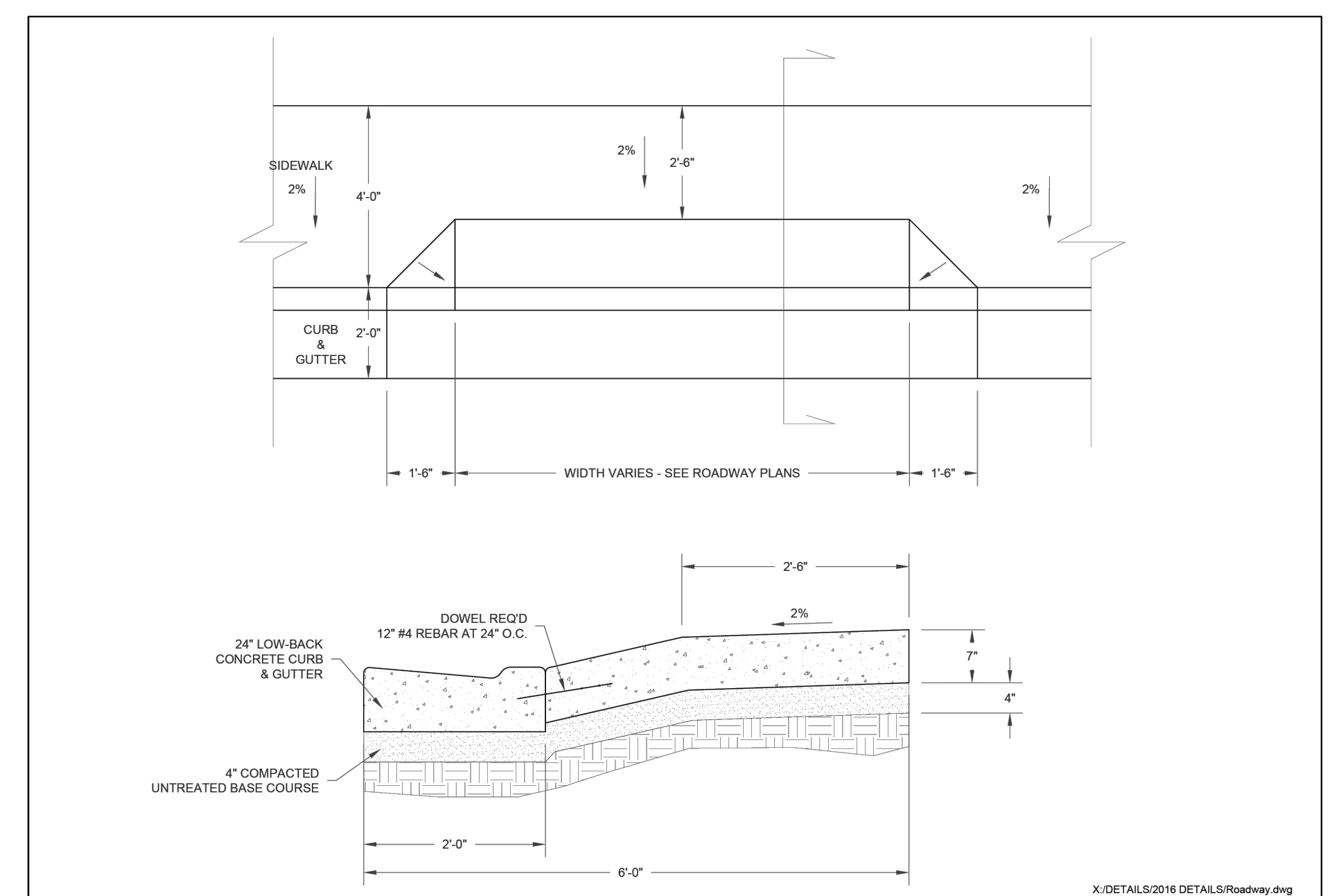
CONSTRUCTION STANDARDS AND SPECIFICATIONS CITY OF OREM TRENCH DETAILS REV. 1/2016 M-3



CONSTRUCTION STANDARDS AND SPECIFICATIONS CITY OF OREM 3/4" & 1" SERVICE LINE INSTALLATION REV. 1/2016 W-13



CONSTRUCTION STANDARDS AND SPECIFICATIONS CITY OF OREM SEWER LATERAL CONNECTION REV. 1/2016 SS-3



CONSTRUCTION STANDARDS AND SPECIFICATIONS CITY OF OREM 6" CURB, GUTTER & SIDEWALK DRIVE APPROACH REV. 1/2016 RW-5

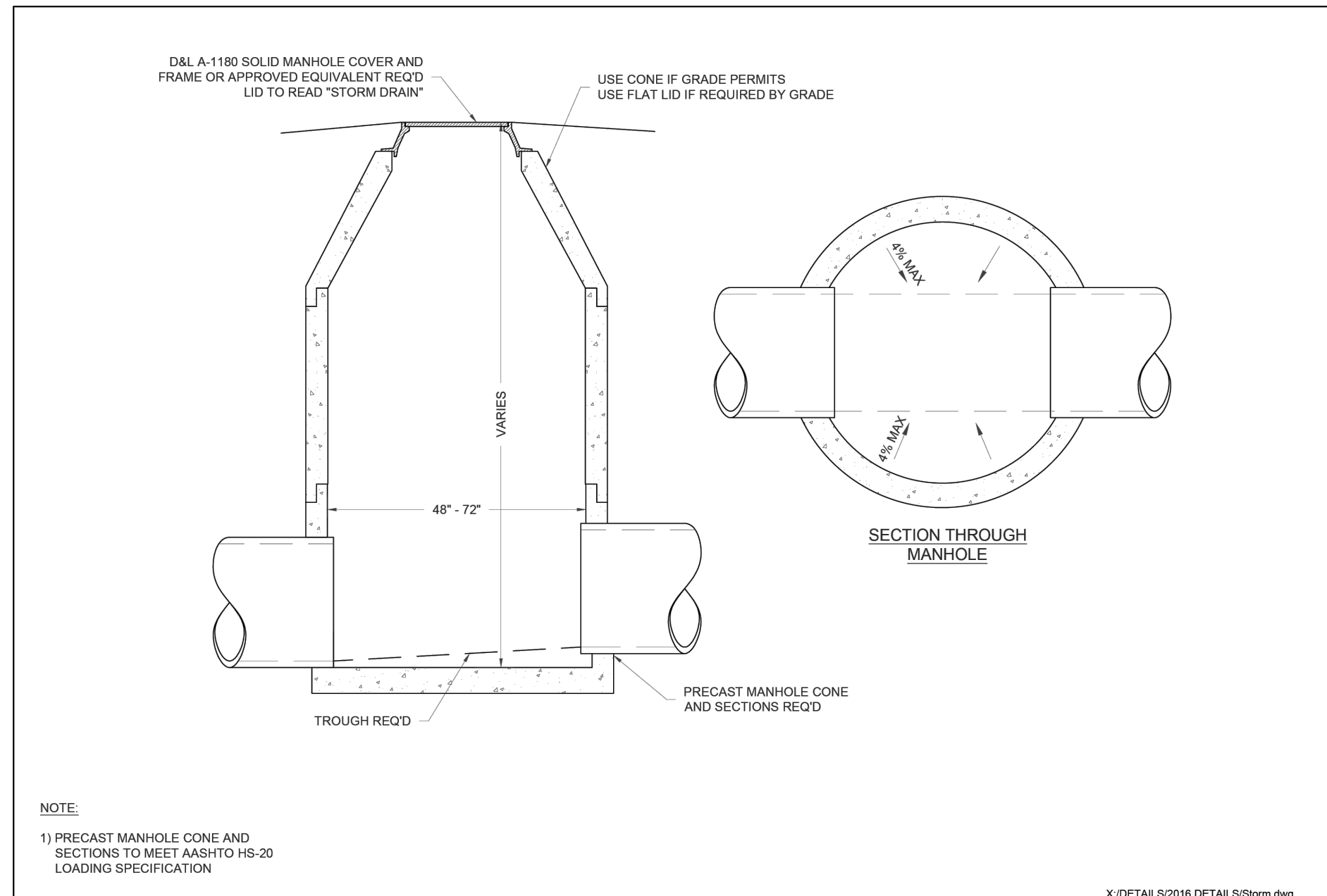
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Utah
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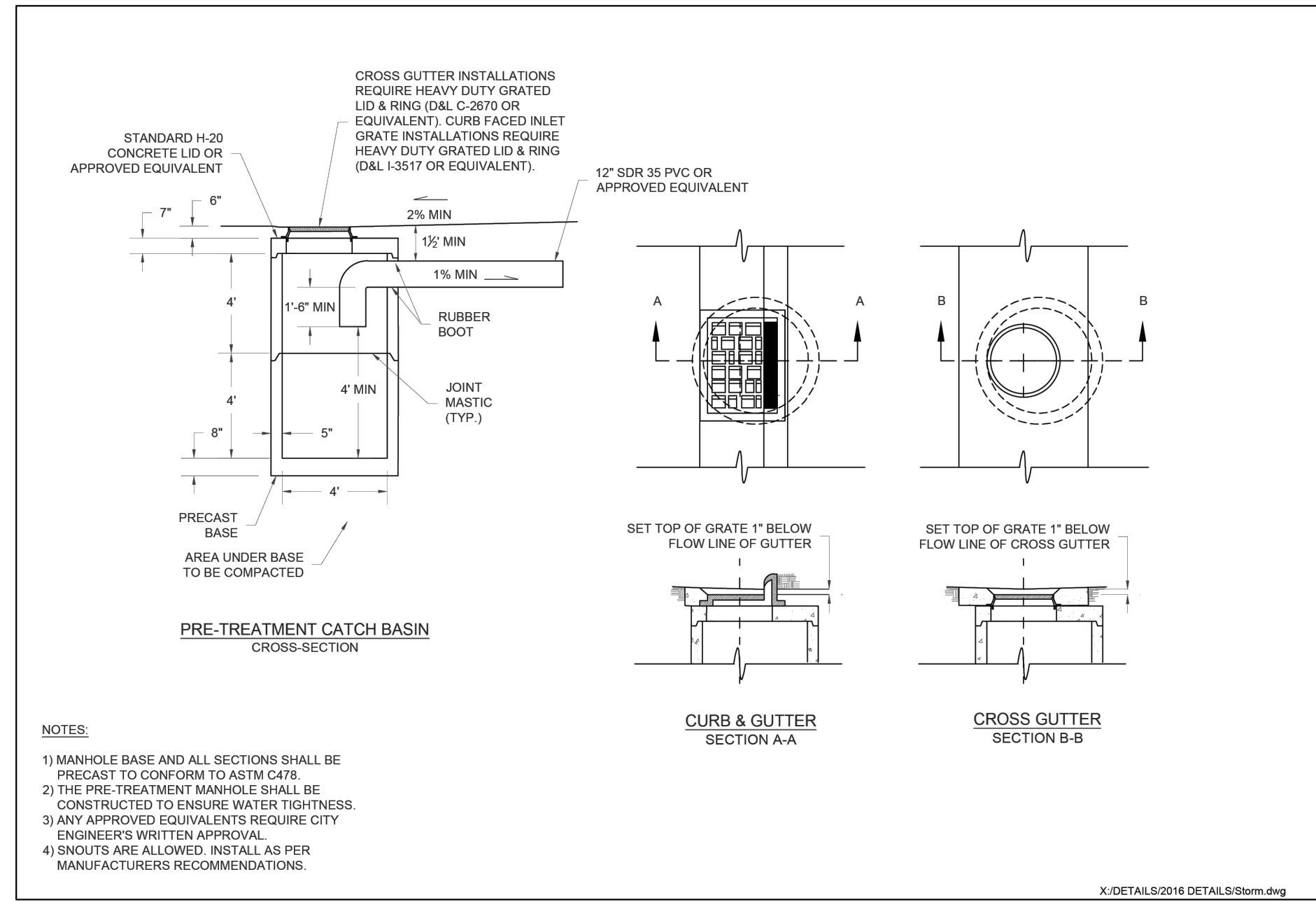
Revisions

Date	Scale	By	Tracing No.
6-7-2023		BHT	

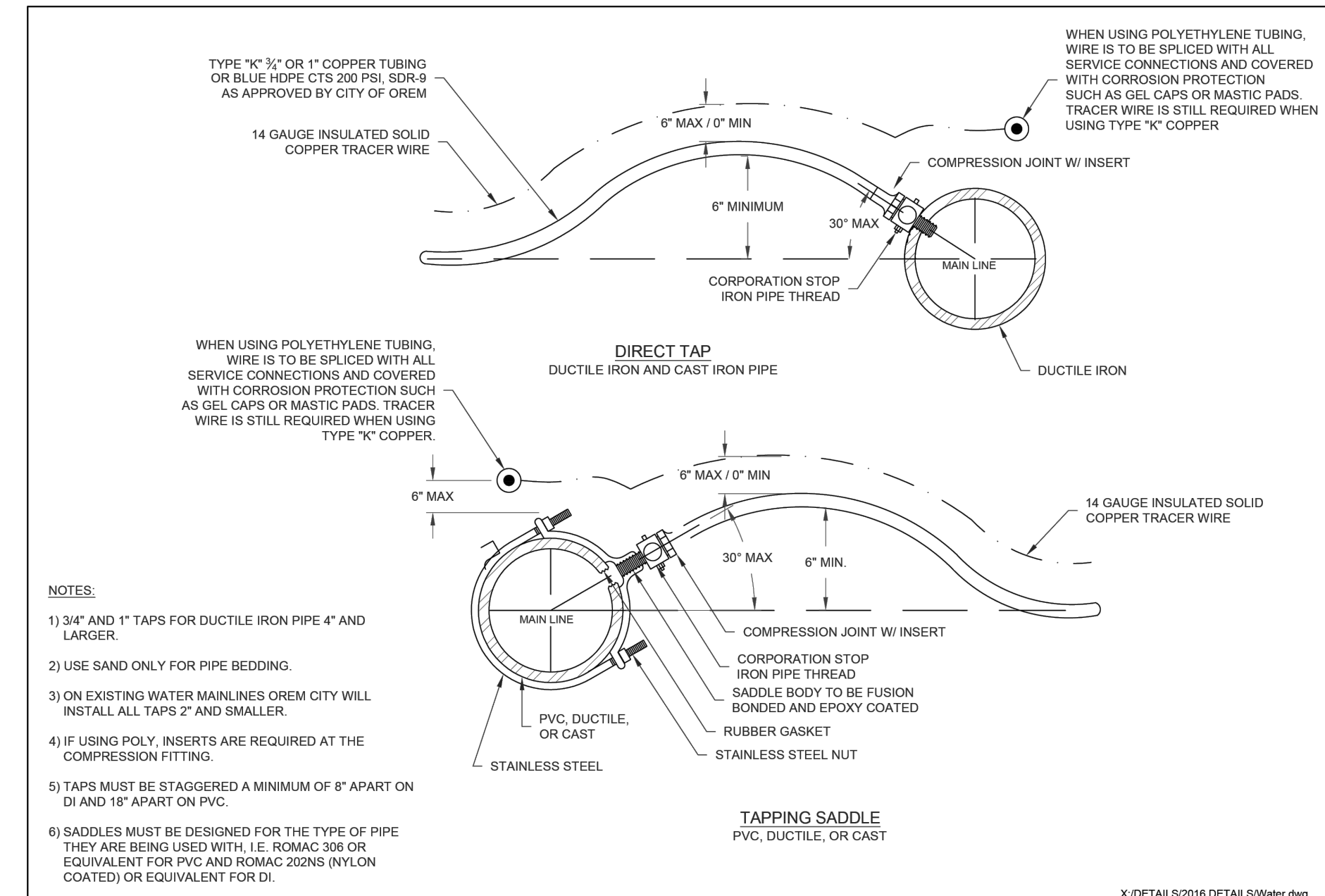
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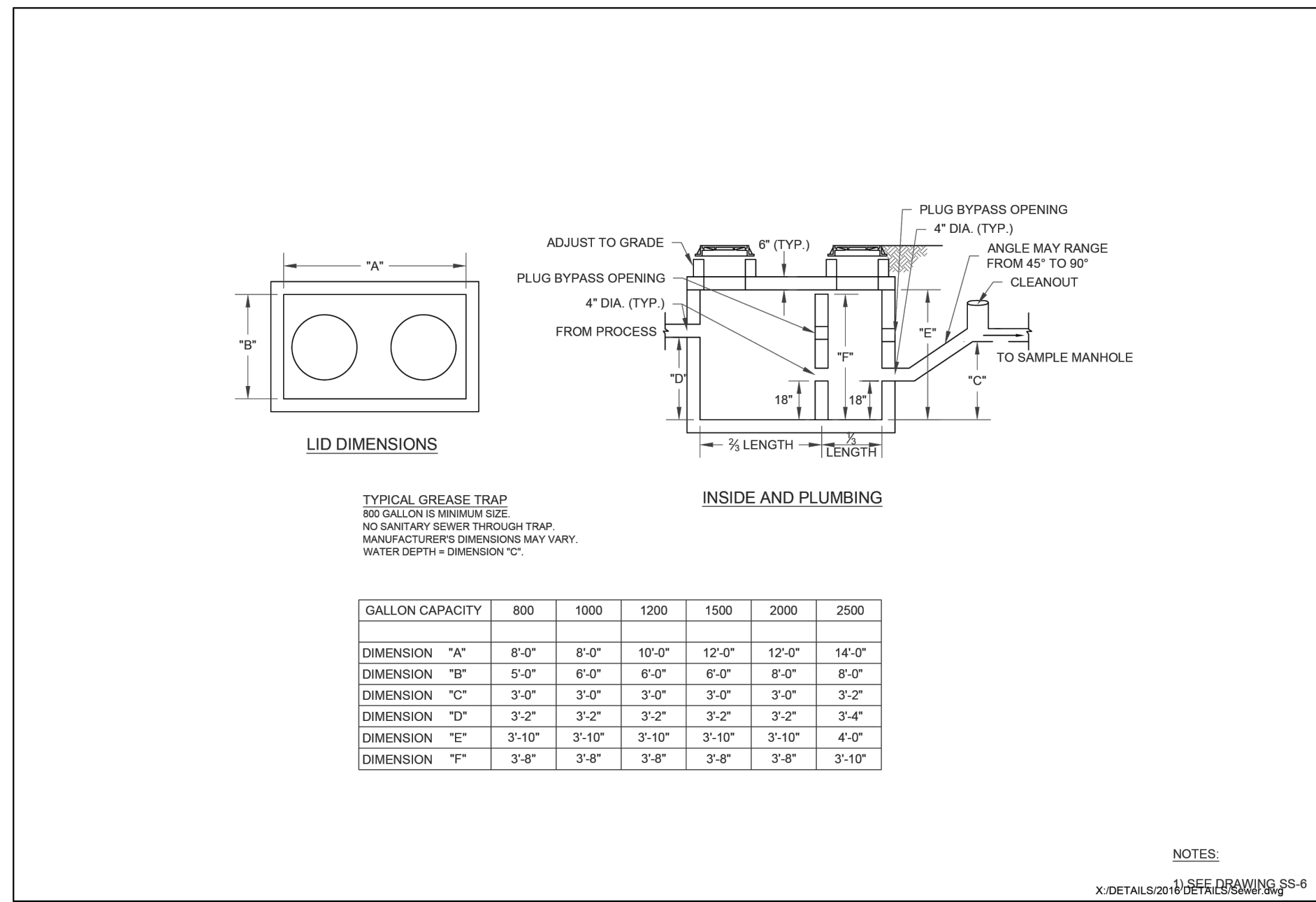
CONSTRUCTION STANDARDS AND SPECIFICATIONS CITY OF OREM 48" - 72" PRECAST STORM DRAIN MANHOLE REV. 1/2016 SD-1



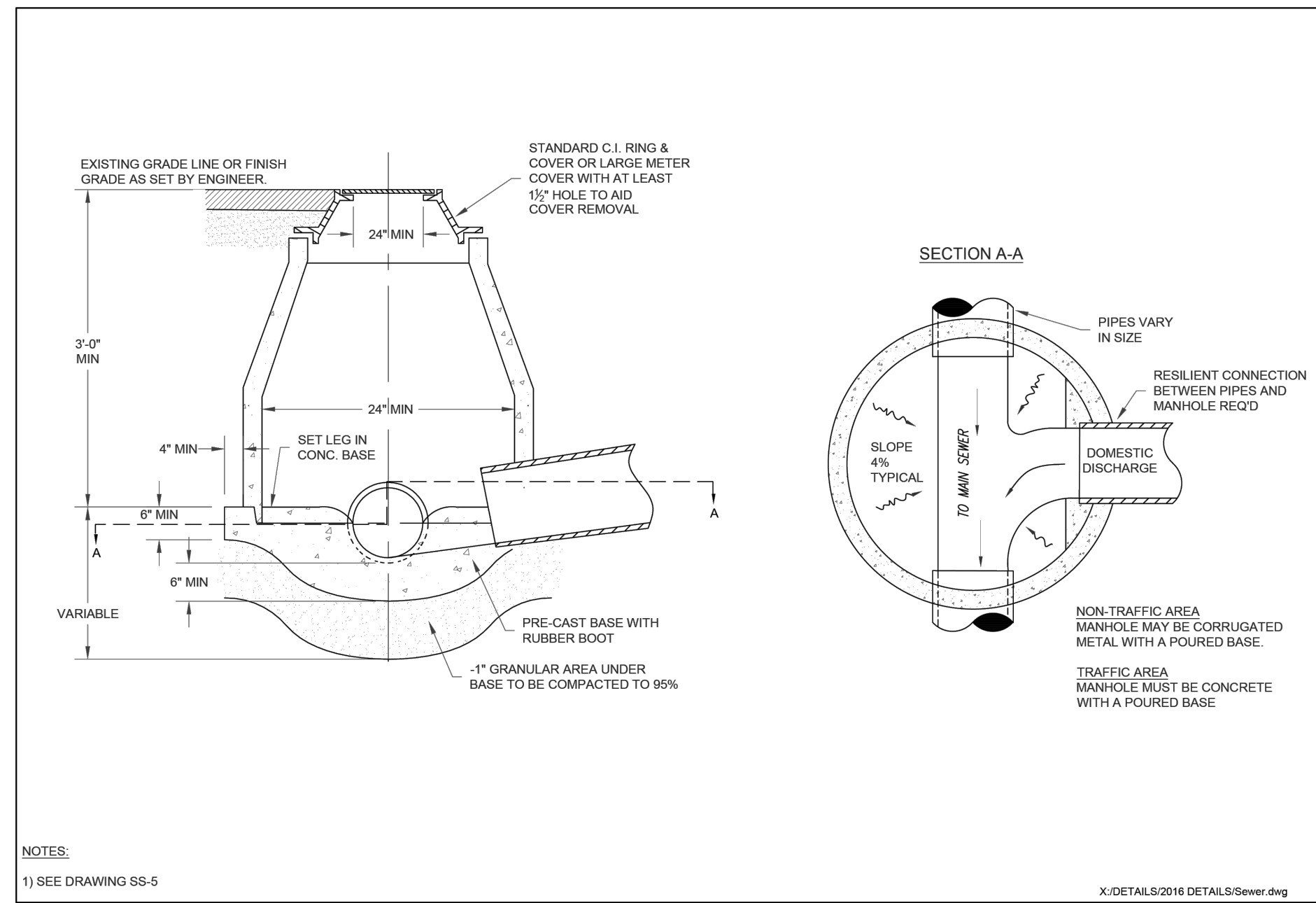
CONSTRUCTION STANDARDS AND SPECIFICATIONS CITY OF OREM PRE-TREATMENT CATCH BASIN REV. 1/2016 SD-2



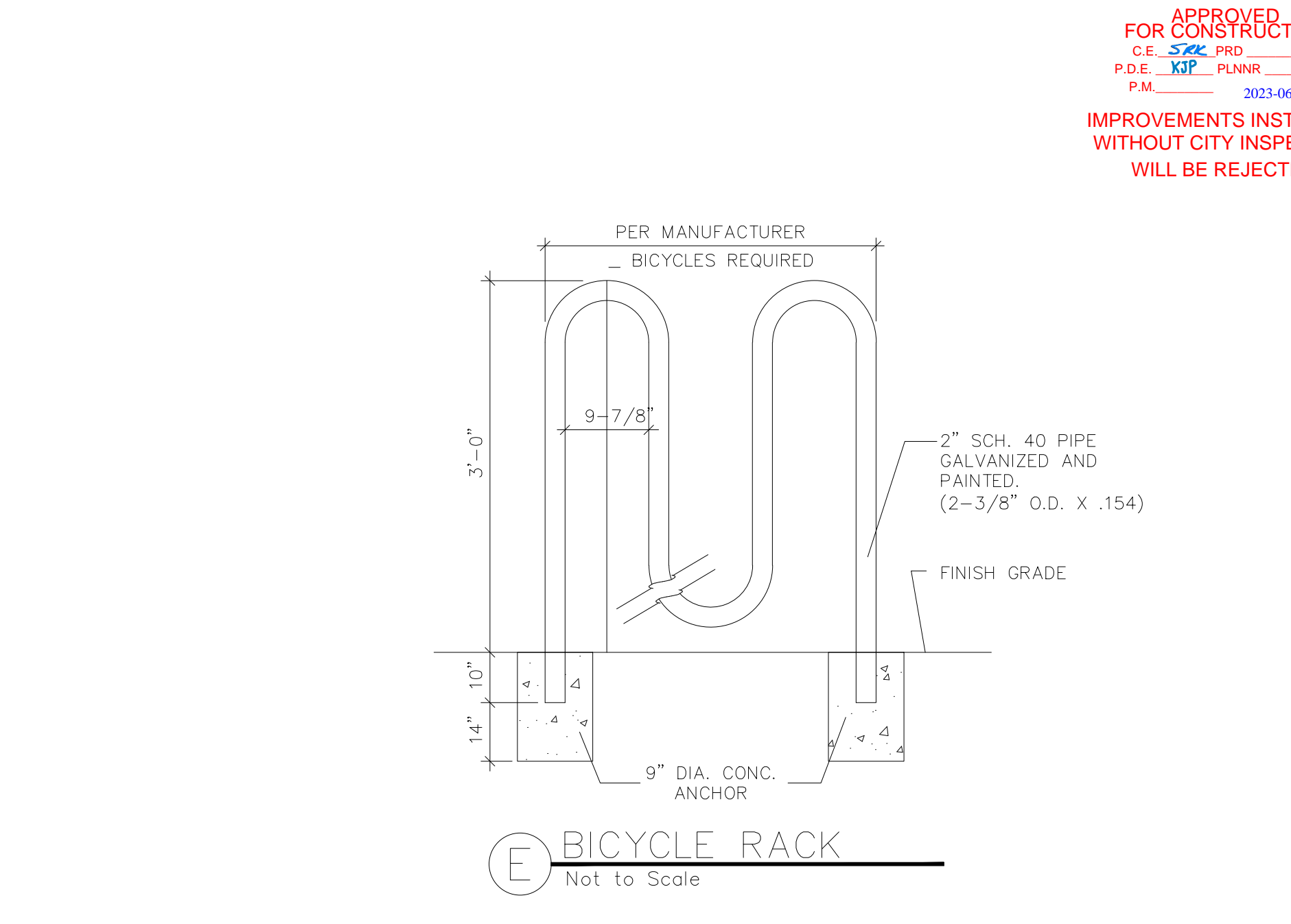
CONSTRUCTION STANDARDS AND SPECIFICATIONS CITY OF OREM WATERMAIN TAPS REV. 1/2016 W-10



CONSTRUCTION STANDARDS AND SPECIFICATIONS CITY OF OREM GREASE TRAP REV. 1/2016 SS-5

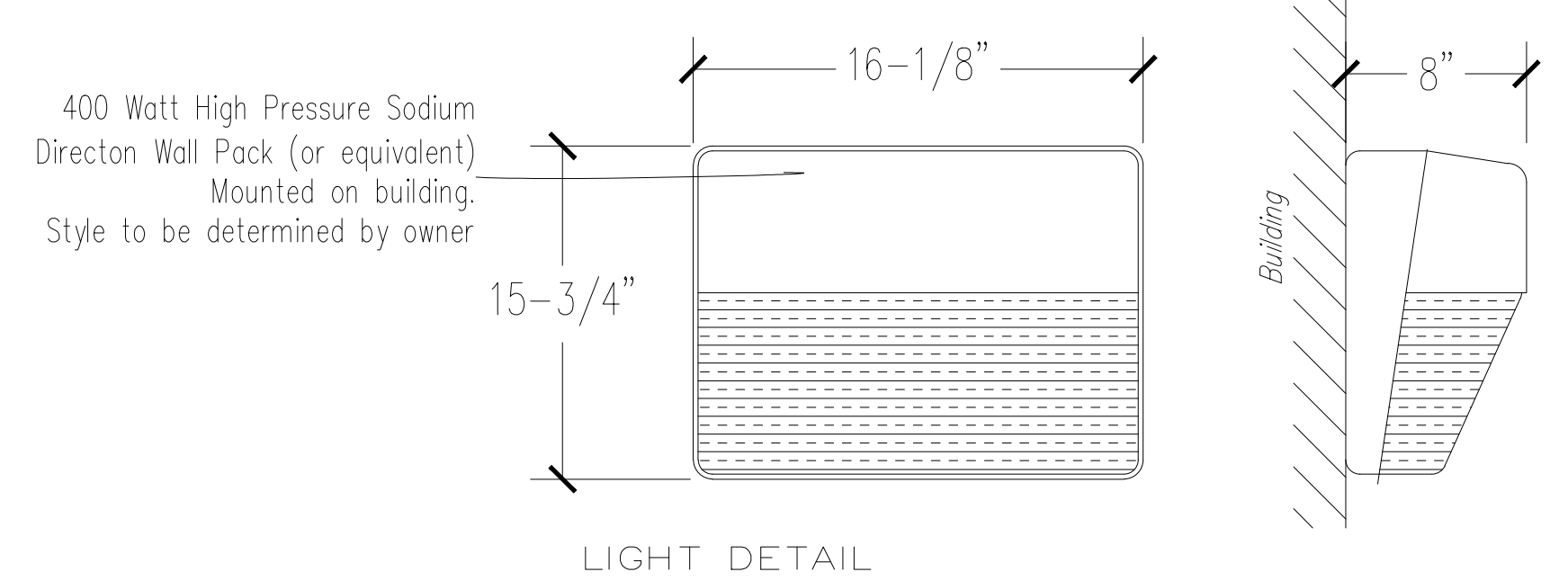


CONSTRUCTION STANDARDS AND SPECIFICATIONS CITY OF OREM GREASE TRAP SAMPLING MANHOLE REV. 1/2016 SS-6



CONSTRUCTION STANDARDS AND SPECIFICATIONS CITY OF OREM BICYCLE RACK REV. 1/2016 W-11

Denotes Area Light Location (6 Proposed)



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By	BHT
Tracing No.	L-

Sheet No.
C-5.1



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P.D.E.: KJP PLNNR
P.M.: _____ 2023-06-19

IMPROVEMENTS INSTALLED
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WILL BE REJECTED

BOULDER INDUSTRIAL PARK OREM, UT

HYDROSTOR HS180 STORMWATER CHAMBER SYSTEM

STORMWATER CHAMBER SPECIFICATIONS

1. CHAMBERS SHALL BE HYDROSTOR HS180 OR APPROVED EQUIVALENT.
2. CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
3. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
4. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL, AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET FOR: 1) LONG-DURATION DEAD LOADS AND 2) SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
5. CHAMBERS SHALL MEET THE REQUIREMENTS OF ASTM F2418-12, "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS."
6. ONLY CHAMBERS THAT ARE APPROVED BY THE SITE DESIGN ENGINEER WILL BE ALLOWED. THE CHAMBER MANUFACTURER SHALL SUBMIT THE FOLLOWING UPON REQUEST TO THE SITE DESIGN ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A. A STRUCTURAL EVALUATION SEALED BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE SAFETY FACTORS ARE GREATER THAN OR EQUAL TO 1.95 FOR DEAD LOAD AND 1.75 FOR LIVE LOAD, THE MINIMUM REQUIRED BY ASTM F2787 AND BY AASHTO FOR THERMOPLASTIC PIPE.
 - B. A STRUCTURAL EVALUATION SEAL BY A REGISTERED PROFESSIONAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12, ARE MET. THE 50 YEAR CREEP MODULUS DATA SPECIFIED IN ASTM F2418 MUST BE USED AS PART OF THE AASHTO STRUCTURAL EVALUATION TO CERTIFY LONG-TERM PERFORMANCE.
 - C. STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL EVALUATION IS BASED.
7. CHAMBERS SHALL BE PRODUCED AT AN ISO 9001 CERTIFIED MANUFACTURING FACILITY.

NOTES:

1. PRIOR TO BEGINNING INSTALLATION OF HYDROSTOR STORMWATER CHAMBERS, A PRECONSTRUCTION MEETING SHALL BE HELD WITH A PRINSCO REPRESENTATIVE AND THE INSTALLERS.
2. HYDROSTOR STORMWATER CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE PRINSCO "HYDROSTOR CONSTRUCTION GUIDE."
3. HYDROSTOR STORMWATER CHAMBERS SHALL NOT BE INSTALLED ON WET OR UNSTABLE FOUNDATION OR SUBGRADE. FOUNDATION STONE MUST BE LEVEL AND COMPACTED.
4. PRINSCO RECOMMENDS PRETREATMENT OF STORMWATER RUNOFF USING A PRINSCO STORMWATER QUALITY UNIT AND/OR A SEDIMENT ROW.
5. MAINTAIN MINIMUM SPACING OF 5" (SPECIFICALLY HS180) BETWEEN CHAMBERS.
6. CONSTRUCTION EQUIPMENT SHALL NOT BE SITUATED ATOP THE CHAMBERS UNTIL SUFFICIENT COVER HAS BEEN ACHIEVED. DUMP TRUCKS, RUBBER TIRE LOADERS, EXCAVATORS, WHEEL OR ROLLER LOADS ARE NOT ALLOWED UNTIL PROPER FILL HEIGHTS HAVE BEEN ACHIEVED. REFER TO PRINSCO "HYDROSTOR CONSTRUCTION GUIDE" FOR SPECIFIC LOADING CRITERIA.
7. EMBEDMENT BACKFILL MUST BE PLACED USING THE FOLLOWING METHODS ONLY:
 - BACKFILL WITH AN EXCAVATOR LOCATED OUTSIDE THE EXCAVATION
 - BACKFILL WITH A STONE SHOOTER LOCATED OUTSIDE THE EXCAVATION
 - BACKFILL AS ROWS ARE BUILT WITH AN EXCAVATOR ON THE SUBGRADE OR FOUNDATION STONE
8. EMBEDMENT BACKFILL SHALL NOT BE PLACED USING THE "DUMP AND PUSH" METHOD. THIS MAY CAUSE DAMAGE TO THE CHAMBERS, WILL RESULT IN IMPROPER INSTALLATION AND WILL VOID THE PRINSCO STANDARD WARRANTY.
9. ONCE SUFFICIENT COVER IS ACHIEVED (12" FOR HS180), GRADING MAY COMMENCE WITH A SMALL DOZER OR SKID LOADER (LESS THAN 4.5 PSI GROUND PRESSURE). EQUIPMENT SHALL ALWAYS TRAVEL PARALLEL TO CHAMBER ROWS. SEE PRINSCO "HYDROSTOR CONSTRUCTION GUIDE" FOR SPECIFIC LOADING CRITERIA.

PROJECT INFORMATION:

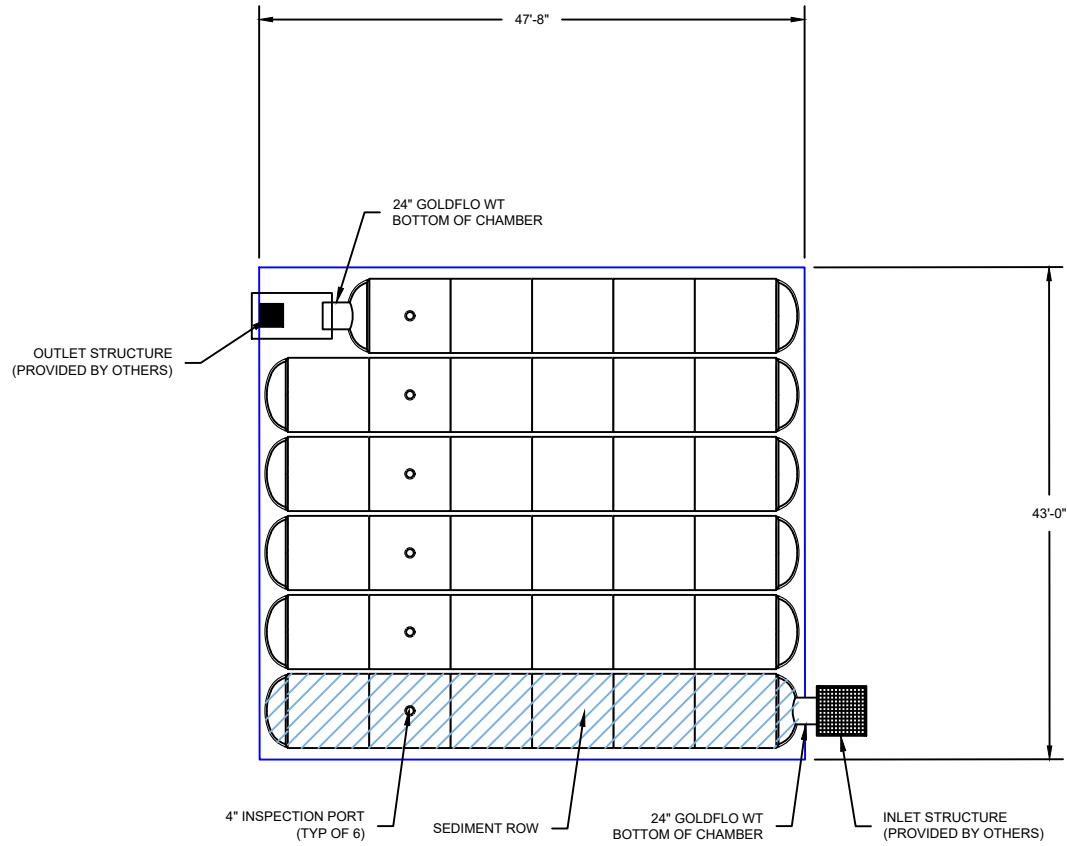
- PROJECT NUMBER: 23-139
- PRINSCO SALES CONTACT: Chad Farnworth: 385-215-4071
- ENGINEER: ----
- CONTRACTOR: ----
- DISTRIBUTOR: ----

THE UNDERSIGNED HEREBY APPROVES THE ATTACHED (8) PAGES	
_____	_____
CUSTOMER	DATE

PRINSCO'S DESIGN ASSUMES 4.4 SOIL BEARING CAPACITY DUE TO UNKNOWN SITE SPECIFIC CONDITIONS. FOUNDATION STONE DEPTH REQUIREMENTS TO BE DETERMINED BY PROJECT ENGINEER BASED ON SOIL BEARING CAPACITY AND COVER HEIGHTS PER PRINSCO DESIGN GUIDE FOUNDATION REQUIREMENTS.

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TYPICAL ELEVATIONS - HS180 BEDS (ft)

MAXIMUM ALLOWABLE GRADE (TOP OF PAVEMENT/UNPAVED):	4584.79
MINIMUM ALLOWABLE GRADE (UNPAVED WITH TRAFFIC):	4578.79
MINIMUM ALLOWABLE GRADE (UNPAVED NO TRAFFIC):	4578.29
MINIMUM ALLOWABLE GRADE (BASE OF FLEXIBLE PAVEMENT):	4578.29
MINIMUM ALLOWABLE GRADE (TOP OF REINFORCED CONCRETE PAVEMENT):	4578.29
TOP OF STONE (MIN):	4577.79
TOP OF CHAMBER:	4576.79
24" BOTTOM OF CHAMBER (INVERT):	4573.25
BOTTOM OF CHAMBER (MIN):	4573.00
BOTTOM OF FOUNDATION STONE:	4572.25

PROPOSED SYSTEM LAYOUT HS180

INSTALLED SYSTEM VOLUME (ft³):	7,032
INSTALLED SYSTEM FOOTPRINT (ft²):	2,047
SYSTEM PERIMETER (ft):	181
TOTAL CHAMBERS:	35
TOTAL END CAPS:	12
STONE REQUIRED (yd³):	266
NON-WOVEN GEOTEXTILE (yd²):	680
WOVEN GEOTEXTILE (yd²):	78

BILL OF MATERIALS - NORTH SYSTEM

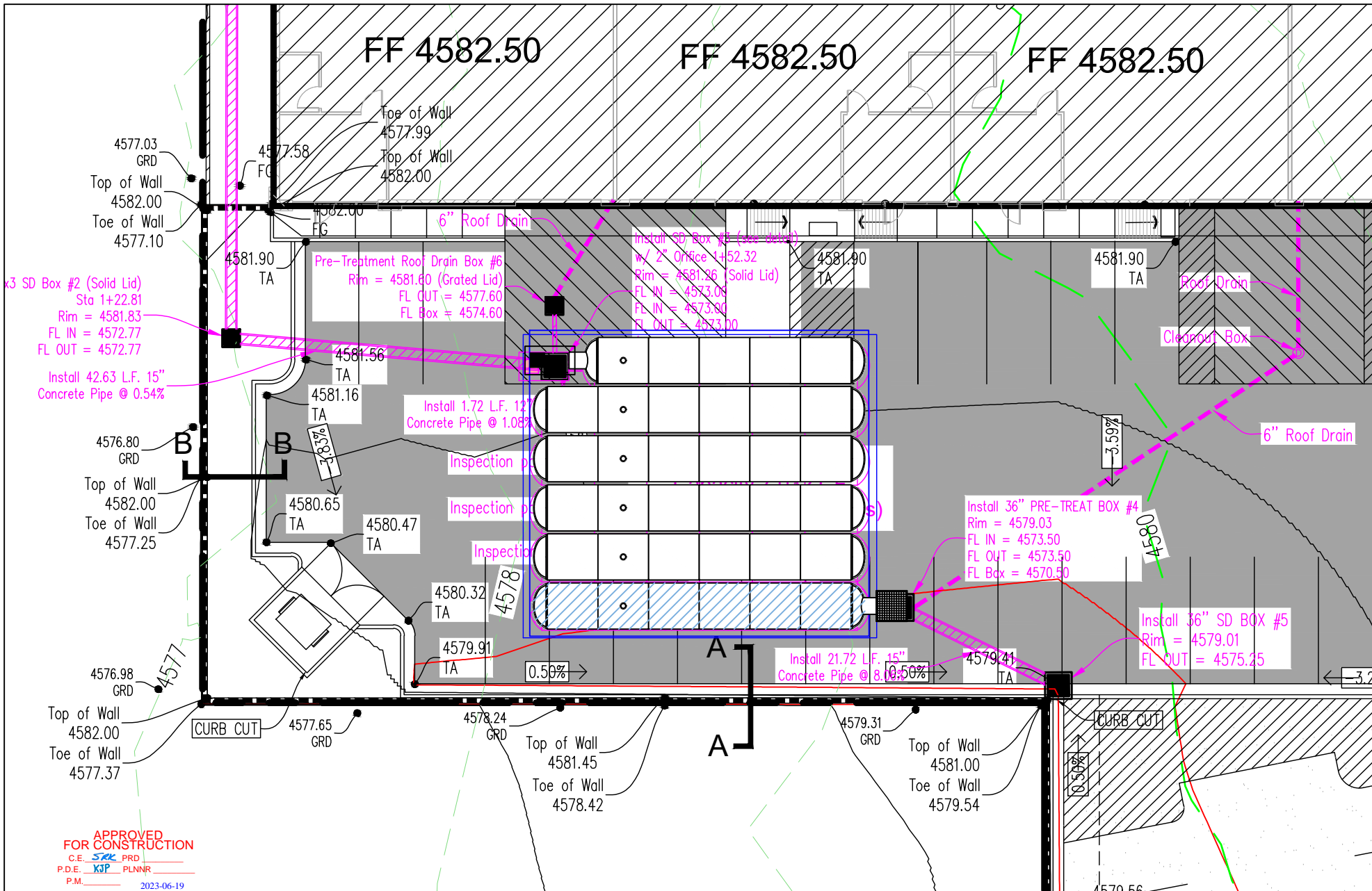
PART	DESCRIPTION	QTY.	PART	DESCRIPTION	QTY.
A1	HYDROSTOR HS180 CHAMBER (HS180C)	35	A2	HYDROSTOR HS180 END CAP (HS180E)	10
A3	HYDROSTOR HS180 END CAP w/ 24" CORED HOLE BOTTOM (HS180E-24HB)	2	A4	24GF20NP (FIELD CUT PIPE FOR MANIFOLD)	20'

THIS DETAIL DEPICTS RECOMMENDED INSTALLATION PRACTICES AND IS NOT INTENDED TO SUPERSEDE ANY NATIONAL, STATE OR LOCAL SPECIFICATIONS. PRINSCO BEARS NO RESPONSIBILITY FOR ANY ALTERATIONS, REVISION AND/OR DEVIATION FROM THIS STANDARD DETAIL. PRINSCO HAS NOT PERFORMED ANY ENGINEERING OR DESIGN SERVICE FOR THIS PROJECT. THE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION TO VERIFY SUITABILITY. © PRINSCO, INC.



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CHECKED BY: TJW	PRINSCO SALES CONTACT: Chad Farnworth: 385-215-4071	
DRAWN BY: HDC	DATE: 15-Jun-23	DRAWING NUMBER: 23-139
SCALE: NTS	SHEET: 1 OF 2	



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OVERLAY

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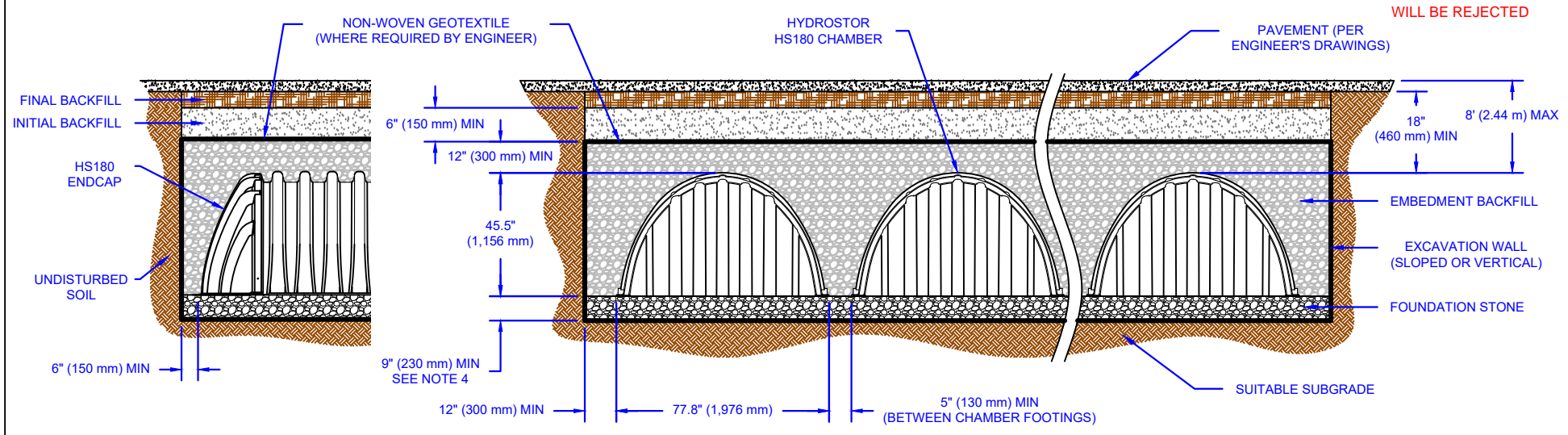


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TITLE: BOULDER INDUSTRIAL PARK OREM, UT		REV: G
CHECKED BY: TJW	PRINSCO SALES CONTACT: Chad Farnworth: 385-215-4071	
DRAWN BY: HDC	DATE: 15-Jun-23	DRAWING NUMBER: 23-139
SCALE: NTS	SHEET: 2 OF 2	

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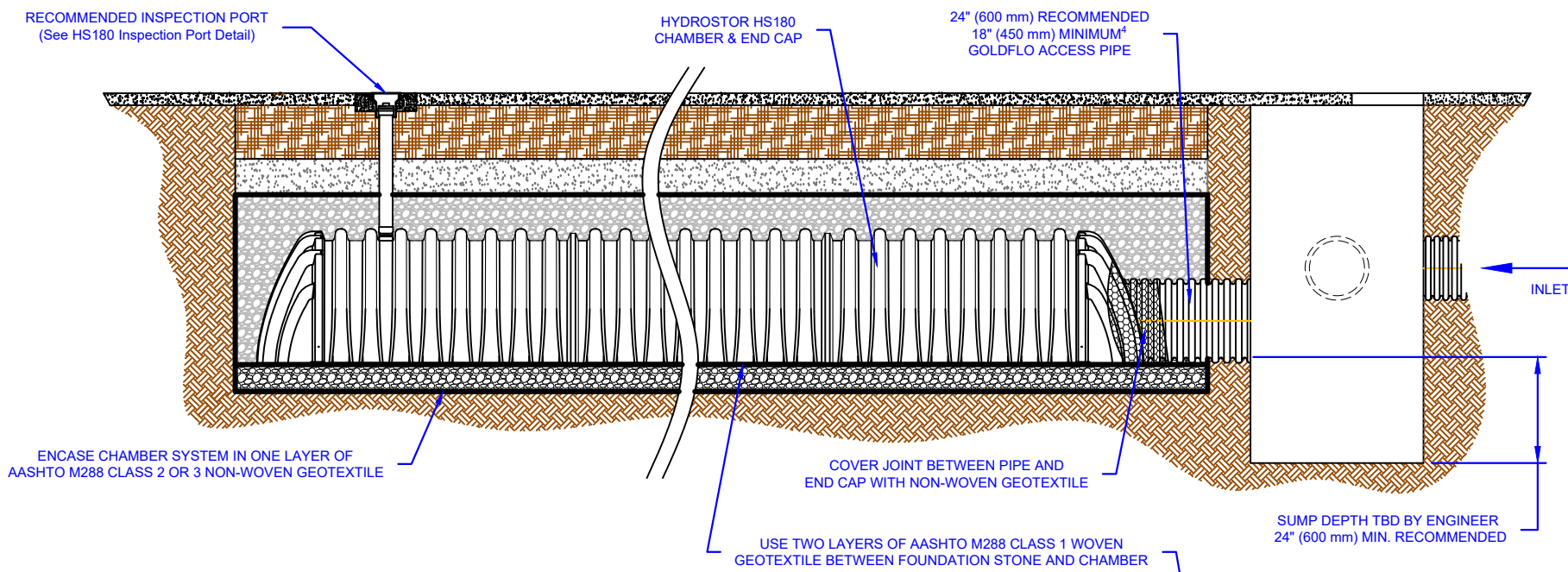
NOTES:

- HYDROSTOR HS180 CHAMBERS** SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418. HS180 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION GUIDELINES.
- SUBGRADE:** TRENCH BOTTOMS WITH UNSTABLE OR UNYIELDING MATERIAL SHALL BE EXCAVATED TO A DEPTH DIRECTED BY THE ENGINEER AND REPLACED WITH SUITABLE MATERIAL. FOR UNSTABLE MATERIALS, GEOTEXTILE MAY BE USED TO STABILIZE THE TRENCH BOTTOM, IF DIRECTED BY THE ENGINEER. THE DESIGN ENGINEER IS RESPONSIBLE FOR VERIFYING SUBGRADE SUITABILITY.
- GEOTEXTILE:** AN AASHTO M288 CLASS 2 OR 3 NON-WOVEN GEOTEXTILE SHOULD BE USED FOR EMBEDMENT BACKFILL MATERIAL 3/4 TO 2 INCH (19 - 51 MM). GEOTEXTILE FILTER FABRIC IS PLACED AROUND THE SYSTEM TO PREVENT NATIVE SOIL FROM MIGRATING INTO THE EMBEDMENT BACKFILL MATERIAL. TO ENSURE FABRIC IS SUITABLE WITH IN SITU SOILS, A GEOTECHNICAL ENGINEER SHOULD BE CONSULTED.
- FOUNDATION STONE:** SUITABLE MATERIAL SHALL BE A 3/4 - 2 INCH (19 - 51 mm), CLEAN, CRUSHED ANGULAR STONE, OR AASHTO M43 SIZES (3, 357, 4, 467, 5, 56, 57) WITH CLEAN, CRUSHED, ANGULAR STONE ADDED TO THE GRADATION, e.g., CLEAN, CRUSHED, ANGULAR #3 (AASHTO M43) STONE. MINIMUM FOUNDATION STONE THICKNESS TO BE DETERMINED BY DESIGN ENGINEER. MINIMUM OF 9" (230 mm) RECOMMENDED. REFER TO PRINSCO DESIGN MANUAL FOR ADDITIONAL GUIDANCE. COMPACTION SHOULD BE DONE IN LIFTS OF NO MORE THAN 9 INCHES (230 mm).
- EMBEDMENT BACKFILL:** SUITABLE MATERIAL SHALL BE A 3/4 - 2 INCH (19 - 51 mm), CLEAN, CRUSHED ANGULAR STONE, OR AASHTO M43 SIZES (3, 357, 4, 467, 5, 56, 57) WITH CLEAN, CRUSHED, ANGULAR STONE ADDED TO THE GRADATION, e.g., CLEAN, CRUSHED, ANGULAR #3 (AASHTO M43) STONE. EMBEDMENT BACKFILL SHALL EXTEND FROM TOP OF BEDDING TO NOT LESS THAN 12 INCHES (300 mm) ABOVE THE TOP OF THE CHAMBER. NO COMPACTION IS REQUIRED BUT AN EFFORT SHOULD BE MADE TO HAND KNIFE STONE IN BETWEEN ALL CORRUGATIONS.
- INITIAL BACKFILL:** SUITABLE MATERIAL SHALL BE A GRANULAR, WELL GRADED SOIL WITH LESS THAN 35% FINES OR AASHTO M43 SIZES (3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10). MOST PAVEMENT SUBBASE MATERIALS FALL WITHIN THIS GRADING CRITERIA. INITIAL BACKFILL SHALL EXTEND FROM TOP OF EMBEDMENT BACKFILL TO NOT LESS THAN 18 INCHES (460 mm) ABOVE THE TOP OF THE CHAMBER. COMPACT TO A MINIMUM OF 95% STANDARD PROCTOR DENSITY.
- FINAL BACKFILL:** SUITABLE MATERIALS SHALL BE ANY SOIL DIRECTED BY THE ENGINEER. FINAL BACKFILL SHALL EXTEND FROM TOP OF INITIAL BACKFILL TO NO MORE THAN 8 FEET (2.44 m) ABOVE THE TOP OF THE CHAMBER. COMPACTION LEVELS SHOULD FOLLOW ENGINEERS RECOMMENDATIONS.
- MINIMUM COVER:** FOR TRAFFIC APPLICATIONS A MINIMUM COVER OF 18 INCHES (460 mm) IS REQUIRED, MEASURED FROM THE TOP OF THE CHAMBER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR TO THE TOP OF RIGID PAVEMENT. FOR UNPAVED INSTALLATIONS WHERE RUTTING MAY OCCUR, INCREASE COVER TO 24 INCHES (610 mm) FOR H-20 LOADING. ADDITIONAL COVER MAY BE REQUIRED FOR CONSTRUCTION LOADS.
- MAXIMUM COVER:** A COVER HEIGHT OF OVER 8 FEET (2.44 m) IS NOT RECOMMENDED. COVER HEIGHT IS MEASURED FROM THE TOP OF THE CHAMBER TO THE TOP OF THE PAVEMENT.
- LOAD RATING:** HS180 CHAMBERS ARE TRAFFIC RATED FOR H-20 VEHICLES WITH ADDITIONAL CONSIDERATION FOR LANE LOADING, COMMONLY REFERRED TO AS HL-93 LOAD RATING (AASHTO DESIGN TRUCK).

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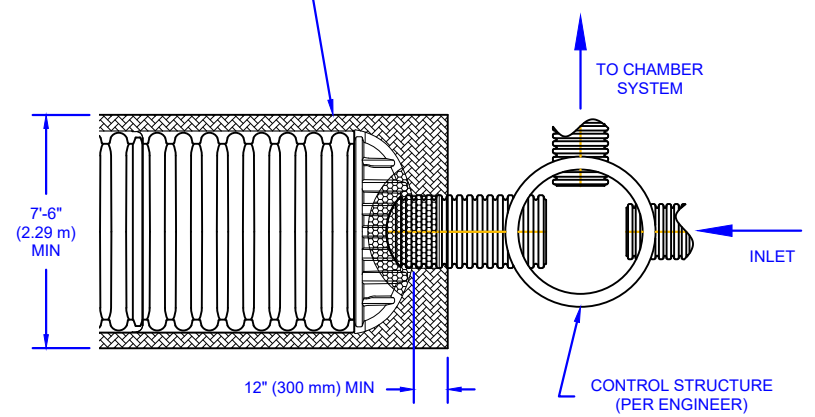
PRINSCO
WATER MANAGEMENT SOLUTIONS
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WILLMAR, MN 56201
www.prinSCO.com

TITLE: HYDROSTOR HS180 - CROSS SECTION			
DRAWN BY: RMA	DATE: 19-Dec-22	DRAWING NUMBER: D-7-200A	
SCALE: NTS	SHEET: 1 OF 1		



NOTES:

1. HYDROSTOR HS180 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 AND SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418. HS180 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION GUIDELINES.
2. **GEOTEXTILE:** TWO DIFFERENT GEOTEXTILES WILL BE USED IN CREATING A FUNCTIONING SEDIMENT ROW. TO ENSURE FABRIC IS SUITABLE WITH IN SITU SOILS, A GEOTECHNICAL ENGINEER SHOULD BE CONSULTED.
 - AN AASHTO M288 CLASS 2 OR 3 NON-WOVEN GEOTEXTILE SHOULD BE USED FOR EMBEDMENT BACKFILL MATERIAL 3/4 TO 2 INCH (19 - 51 MM). GEOTEXTILE FILTER FABRIC IS PLACED AROUND THE SYSTEM TO PREVENT NATIVE SOIL FROM MIGRATING INTO THE EMBEDMENT BACKFILL MATERIAL. TO ENSURE FABRIC IS SUITABLE WITH IN SITU SOILS, A GEOTECHNICAL ENGINEER SHOULD BE CONSULTED.
 - TWO LAYERS OF AN AASHTO M288 CLASS 1 WOVEN FABRIC IS PLACED BETWEEN THE FOUNDATION AND THE CHAMBER FOR THE CREATION OF THE SEDIMENT ROW. THE TWO LAYERS PROVIDE A PROTECTIVE BARRIER FOR THE EMBEDMENT BACKFILL BUT STILL ALLOW WATER TO INFILTRATE INTO THE SYSTEM. THE WOVEN GEOTEXTILE IS DURABLE ENOUGH TO ALLOW JETTING TO CLEAN THE SEDIMENT ROW.
3. **INSPECTION AND MAINTENANCE:** INSPECTION OF THE SYSTEM SHOULD OCCUR BIANNUALLY TO ENSURE LARGE AMOUNTS OF SEDIMENT OR DEBRIS HAVE NOT BEEN DEPOSITED IN THE SEDIMENT ROW. DURING THE FIRST YEAR INSPECTION SHOULD OCCUR MORE FREQUENTLY DUE TO CONSTRUCTION SEDIMENT LOADING. TO CLEAN THE SYSTEM, A JET/VAC PROCESS CAN BE USED TO REMOVE SEDIMENT AND DEBRIS FROM THE SEDIMENT ROW. FOR MORE INFORMATION, REFER TO PRINSCO'S "RETENTION/DETENTION CLEANING AND MAINTENANCE" TECHNICAL NOTE.
4. **ACCESS PIPE:** PRINSCO RECOMMENDS A 24 INCH (600 mm) DIAMETER ACCESS PIPE TO THE SEDIMENT ROW. CONTACT YOUR LOCAL SALES REPRESENTATIVE WITH ANY QUESTIONS.



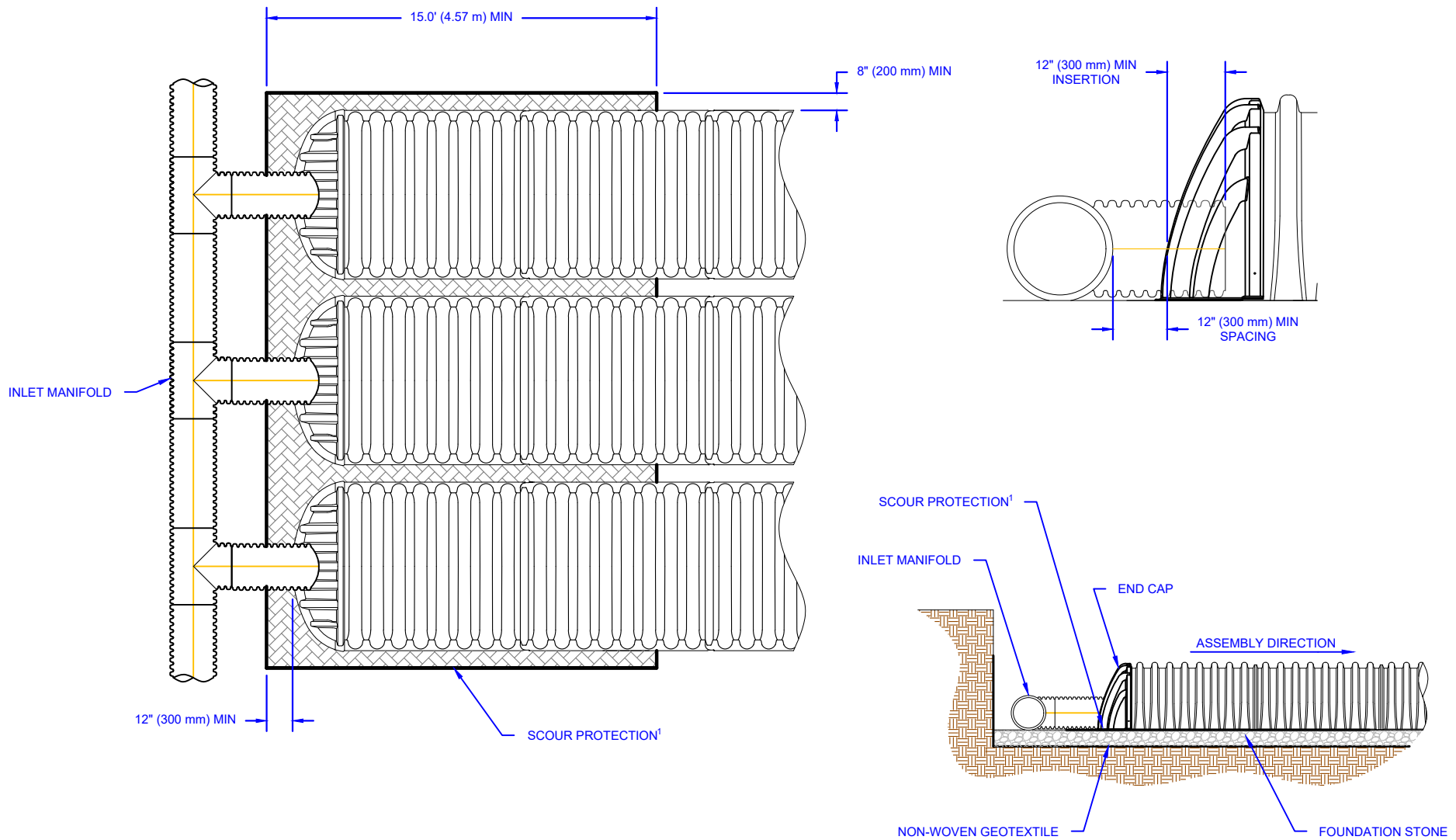
APPROVED FOR CONSTRUCTION
 C.E.: SK PRD
 P.D.E.: KJP PLNR
 P.M.: _____ 2023-06-19
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TITLE: HYDROSTOR HS180 - SEDIMENT ROW		REV:
DRAWN BY: DJW	DATE: 29-Jul-21	DRAWING NUMBER: D-7-202
SCALE: NTS	SHEET: 1 OF 1	



NOTES:

- SCOUR PROTECTION SHOULD USE A WOVEN GEOTEXTILE. GEOTEXTILE SHOULD MEET AASHTO M288 CLASS 1 SPECIFICATION.
- SCOUR PROTECTION IS ONLY NEEDED WITH CHAMBER ROWS CONNECTED TO THE INLET MANIFOLD.

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FOR CONSTRUCTION
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P.D.E. KJP PLNRR
P.M. _____
2023-06-19

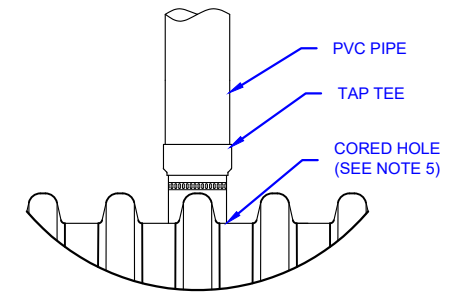
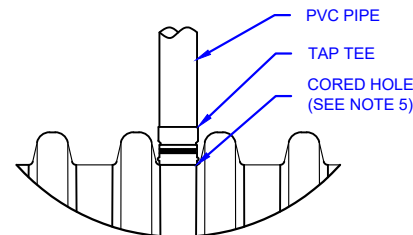
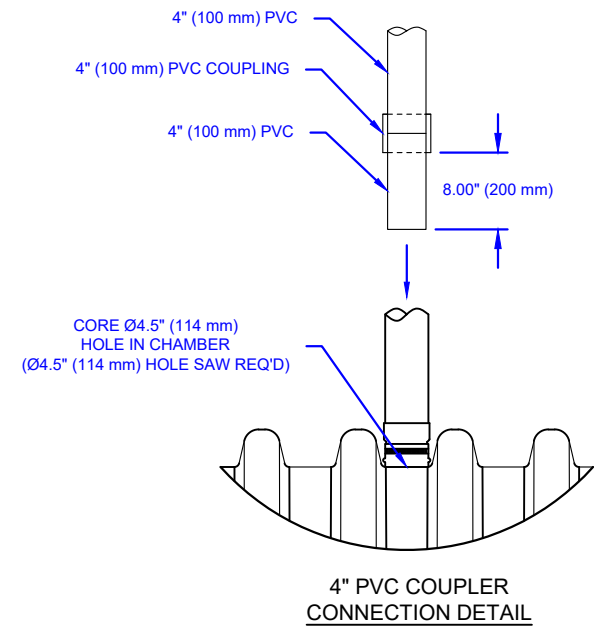
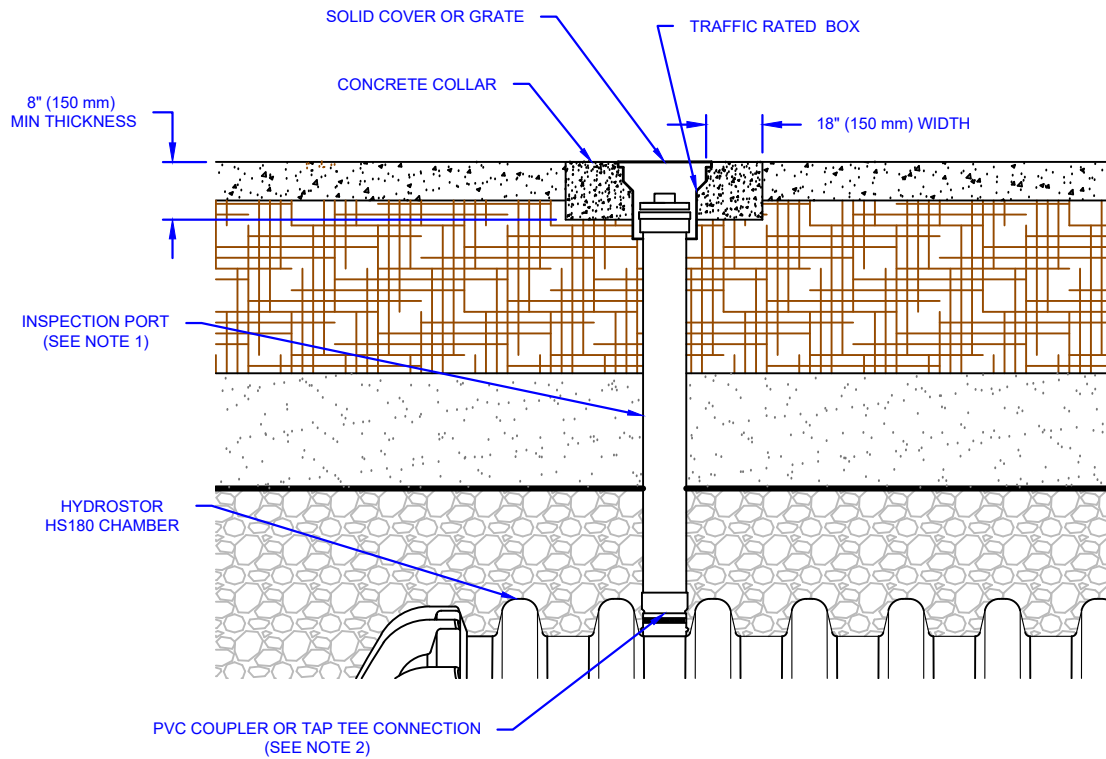
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TITLE: HYDROSTOR HS180 - SCOUR PROTECTION			REV:
DRAWN BY: DJW	DATE: 29-Jul-21	DRAWING NUMBER: D-7-207	
SCALE: NTS	SHEET: 1 OF 1		



NOTES:

1. 4" (100 mm) INSPECTION PORTS MAY BE CONNECTED THROUGH A CORED HOLE, CENTERED ON A VALLEY BETWEEN (2) TWO CORRUGATIONS.
6" (150 mm) OR 8" (200 mm) INSPECTION PORTS MAY BE CONNECTED THROUGH A CORED HOLE, CENTERED ON A CORRUGATION.
2. TAP TEE CONNECTION CAN CONSIST OF QWICKSEAL, INSERTA TEE OR APPROVED ENGINEERING EQUIVALENT.
3. ALL PVC FITTINGS TO BE SOLVENT CEMENTED.
4. PVC MAY BE EITHER SDR 35 OR SCH 40
5. CORED HOLE SIZES AS FOLLOWS: 4" (100 mm) CUT TO 5" (125 mm);
6" (150 mm) CUT TO 7" (180 mm); 8" (200 mm) CUT TO 9" (230 mm)

4" (100 mm) TAP TEE CONNECTION DETAIL (SEE NOTE 1)

6" (150 mm) & 8" (200 mm) TAP TEE CONNECTION DETAIL (SEE NOTE 1)

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 C.E. SKL PRD
 P.D.E. KJP PLNNR
 P.M. _____
 2023-06-19

IMPROVEMENTS INSTALLED WITHOUT CITY INSPECTION WILL BE REJECTED

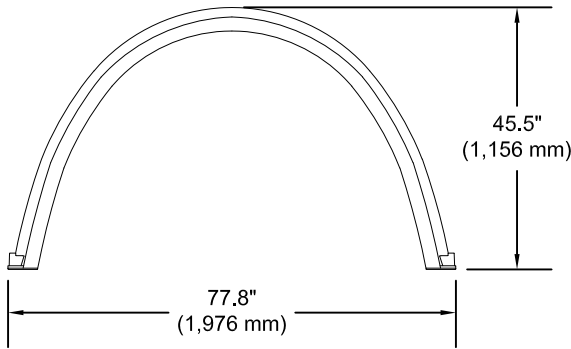
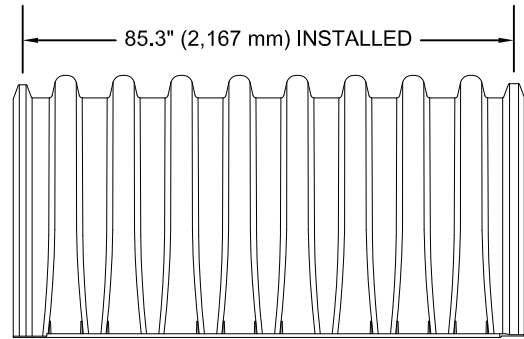
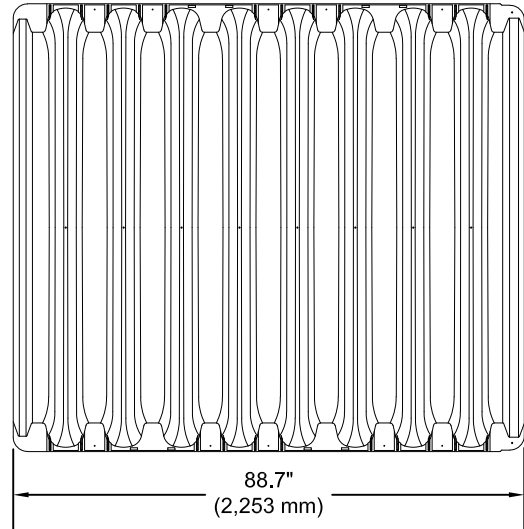
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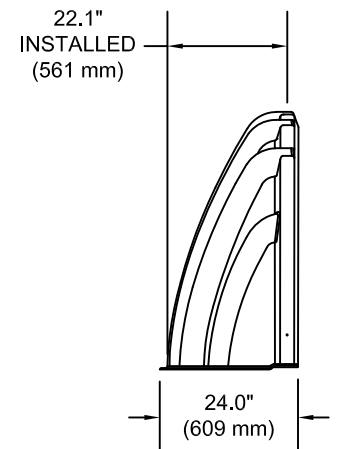
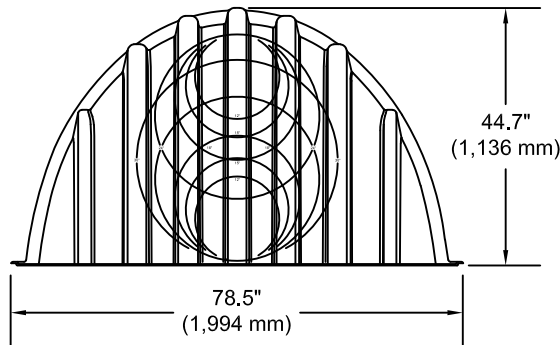
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TITLE: HYDROSTOR HS180 - INSPECTION PORT		
DRAWN BY: HRT	DATE: 19-May-23	DRAWING NUMBER: D-7-203
SCALE: NTS	SHEET: 1 OF 1	

Chamber Specifications	
Chamber Size (L x W x H)	88.7" x 77.8" x 45.5" (2,253 x 1,976 x 1,156 mm)
Installed Length	85.3" (2,167 mm)
Chamber Storage	113.6 ft ³ (3.2 m ³)
Min. Installed Storage*	176.0 ft ³ (5.0 m ³)
Weight	122 lbs (55.3 kg)
Chambers / Pallet	19
Approx. Weight / Pallet	2,500 lbs (1,135 kg)



End Cap Specifications	
End Cap Size (L x W x H)	24.0" x 78.5" x 44.7" (609 x 1,994 x 1,136 mm)
Installed Length	22.1" (561 mm)
End Cap Storage	15.3 ft ³ (0.4 m ³)
Min. Installed Storage*	44.8 ft ³ (1.3 m ³)
Weight	52 lbs (23.6 kg)



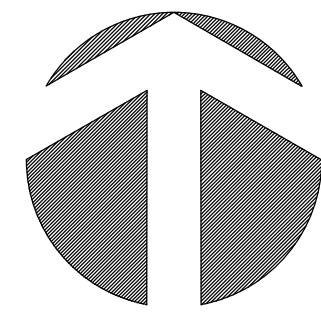
*ASSUMES 12" (300 mm) STONE ABOVE CHAMBERS/END CAPS, 9" (230 mm) OF STONE FOR FOUNDATION STONE, 5" (130 mm) OF STONE BETWEEN CHAMBERS/END CAPS, 6" (150 mm) OF STONE PERIMETER IN FRONT OF END CAPS AND 40% STONE POROSITY.

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TITLE: HYDROSTOR HS180 - SPECIFICATION	
DRAWN BY: AED	DATE: 09-Aug-22
SCALE: NTS	SHEET: 1 OF 1
DRAWING NUMBER: D-7-201	



NORTH
1" = 20'

130 South



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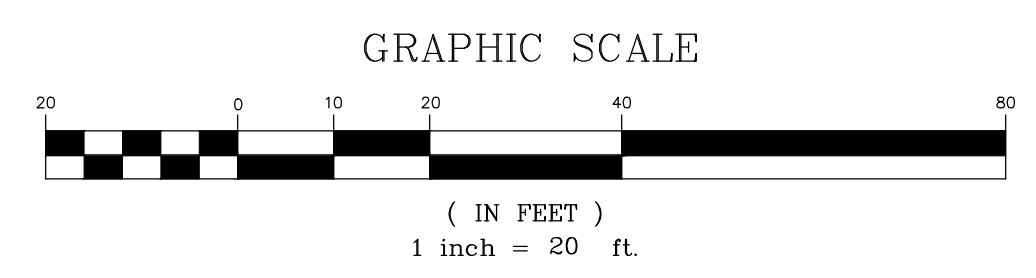
KEYED NOTES

- 1 → Private Parking Sign to be removed
- 2 → Old Light Pole Base to be removed
- 3 → Towing enforced sign to be removed
- 4 → Existing Driveway to be removed & replaced w/ 2' Curb & Gutter
- 5 → Existing Section of Wall to be Removed
- 6 → Existing Section of Curb & Gutter to be removed
- 7 → Existing Fence to be removed
- 8 → Existing Gate to be removed

CAUTION!!! Notice to contractors

The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field. The information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to request the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.

Know what's below. 811
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 UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
 1-800-662-4111



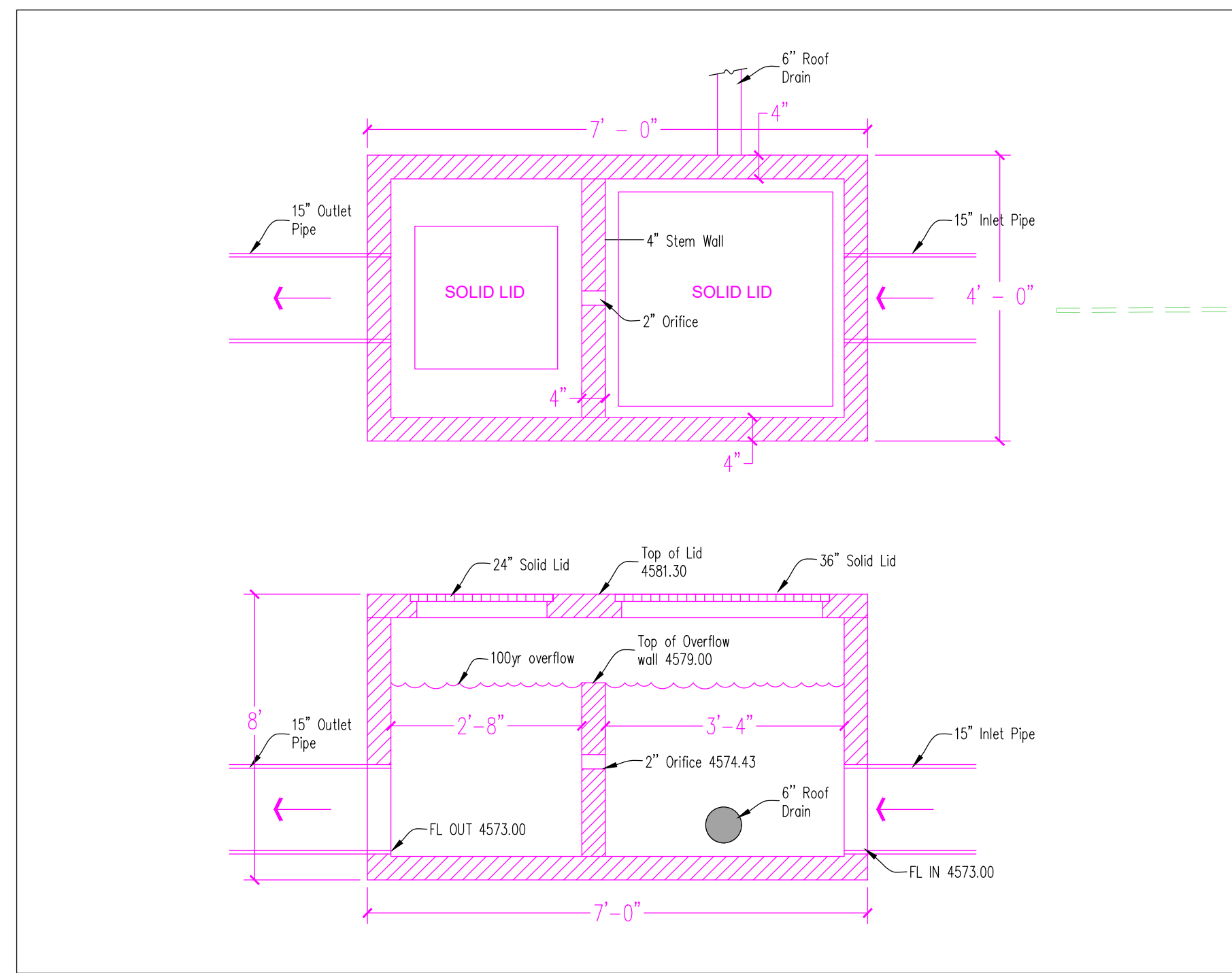
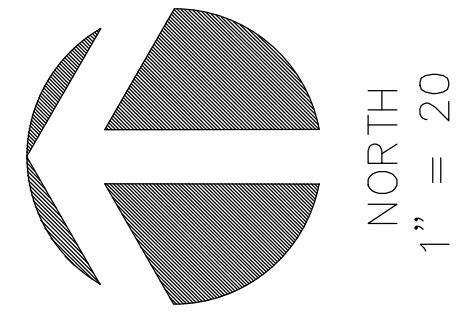

DUDLEY AND ASSOCIATES
 ENGINEERS PLANNERS SURVEYORS
 353 EAST 1200 SOUTH, OREM, UTAH
 801-224-1252

Boulder Industrial Park
Demo Plan
 Utah
 Orem

Revisions

Date	6-7-2023
Scale	1" = 20'
By	BHT
Tracing No.	L -

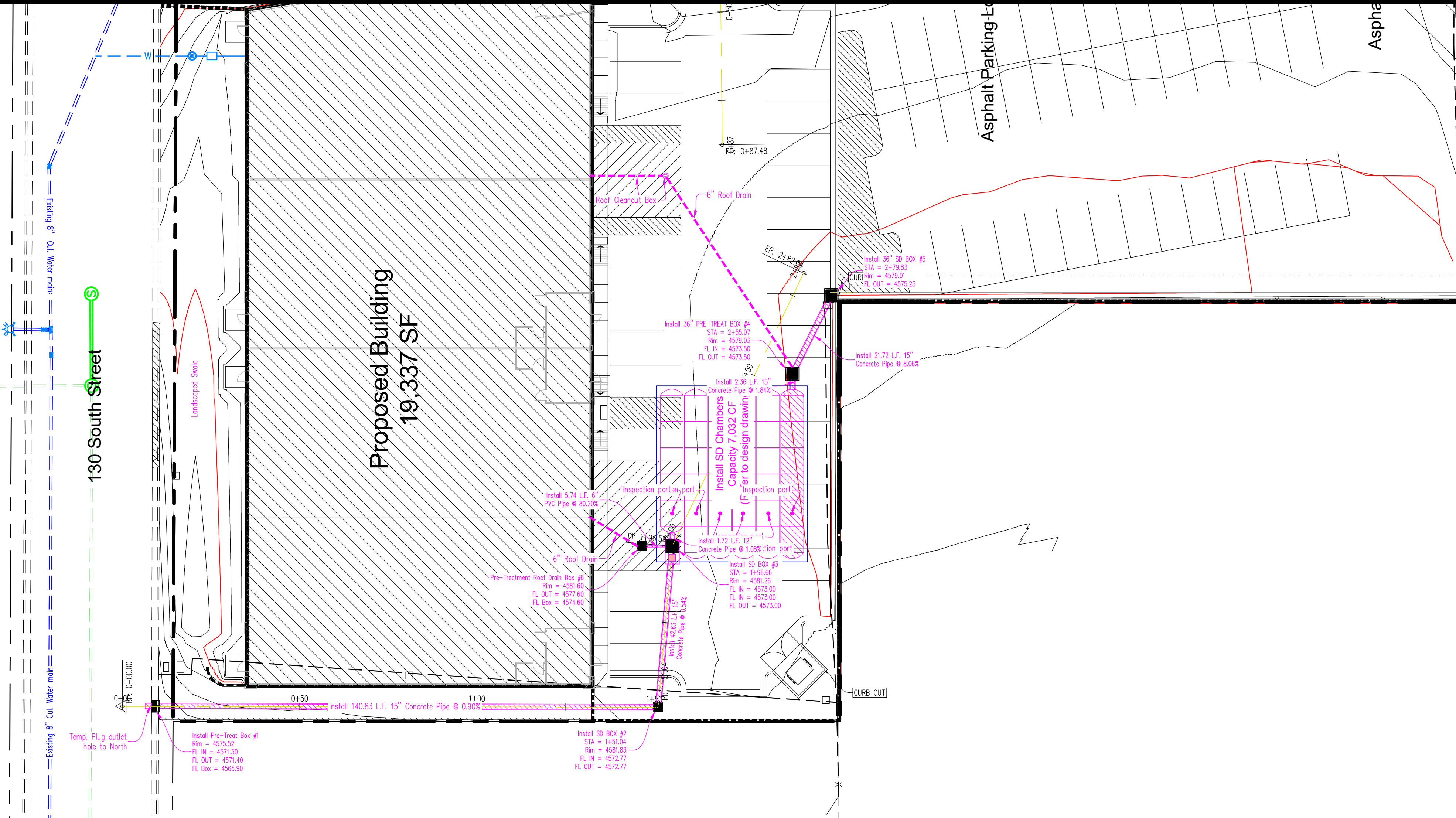
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OVERFLOW BOX #3 DETAIL

130 South Street

Proposed Building 19,337 SF



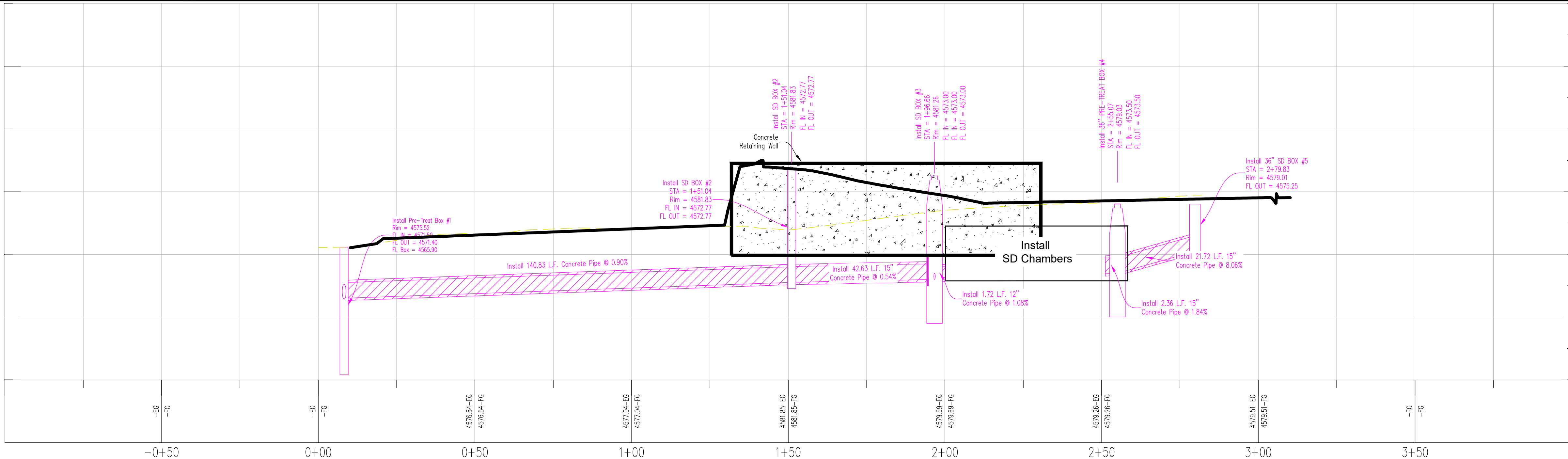
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801-224-1252

Boulder Industrial Park
Storm Drain Plan

Utah
Orem City

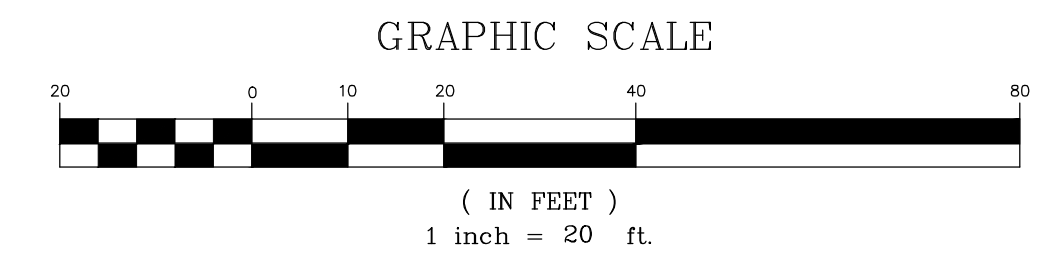
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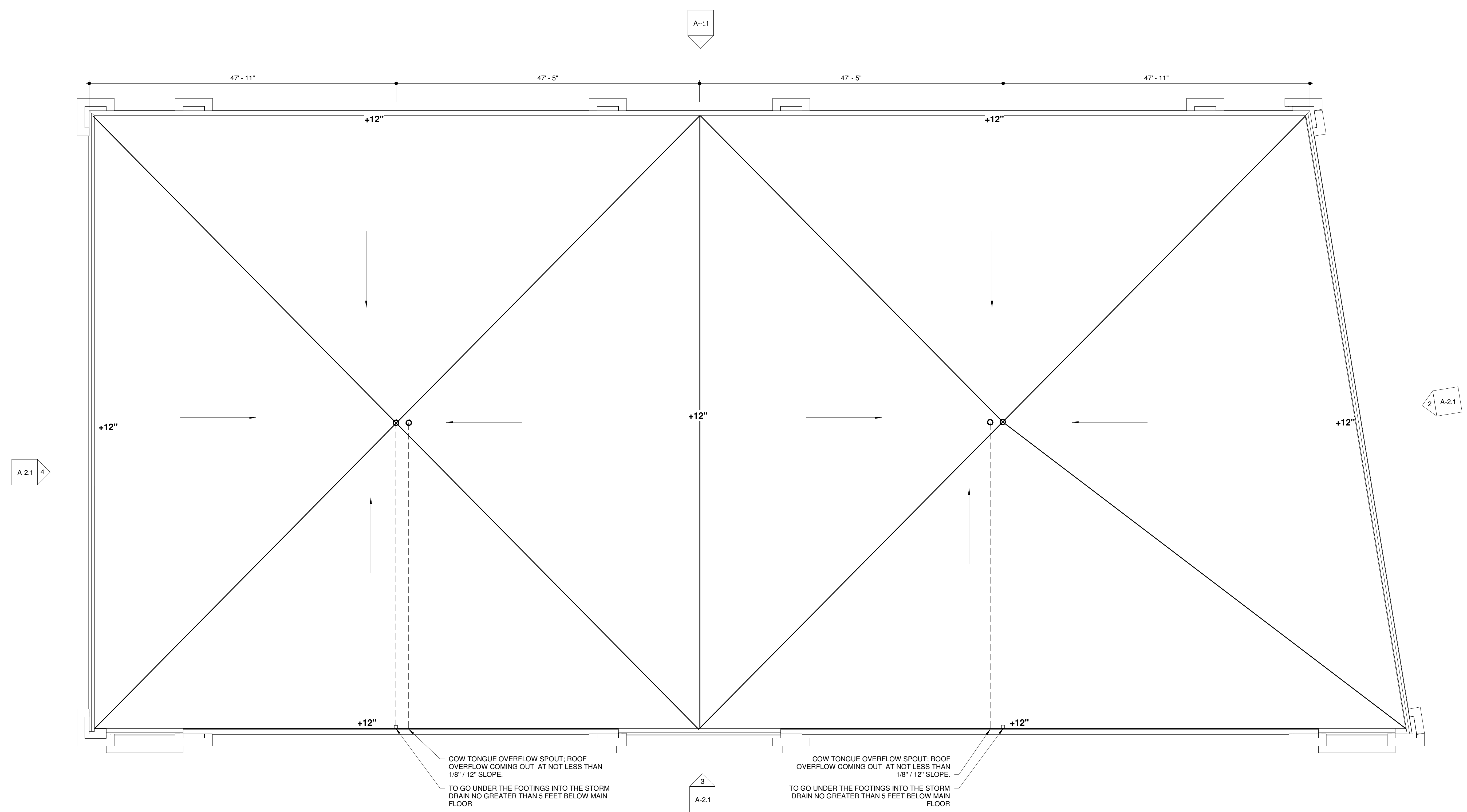


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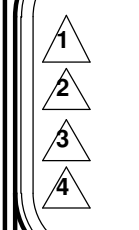
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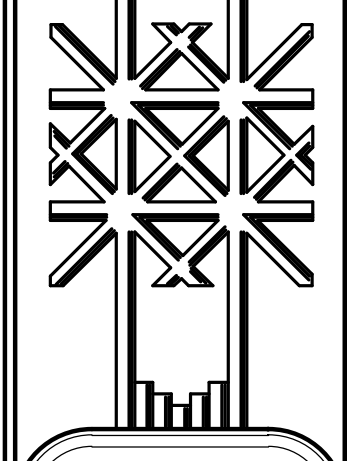
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ROOF PLAN
SCALE 1/8" = 1'-0"

REVISIONS
DATE





ARCHITECTURAL COALITION
962 West 800 North, Orem Utah, 84057 PH: 801-491-0275

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McKay Winkel
Orem, Ut

McKay Winkel
135 MOUNTAIN WAY DRIVE

SHEET NO.
A-1.3

DATE
6/6/2023

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P.D.E. KJP PLNRR
P.M. 2023-06-19
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DATE

GUILFORD RAND, ARCHITECT
1991 South State Road Springville, UT 84663 PH: 801-491-0275

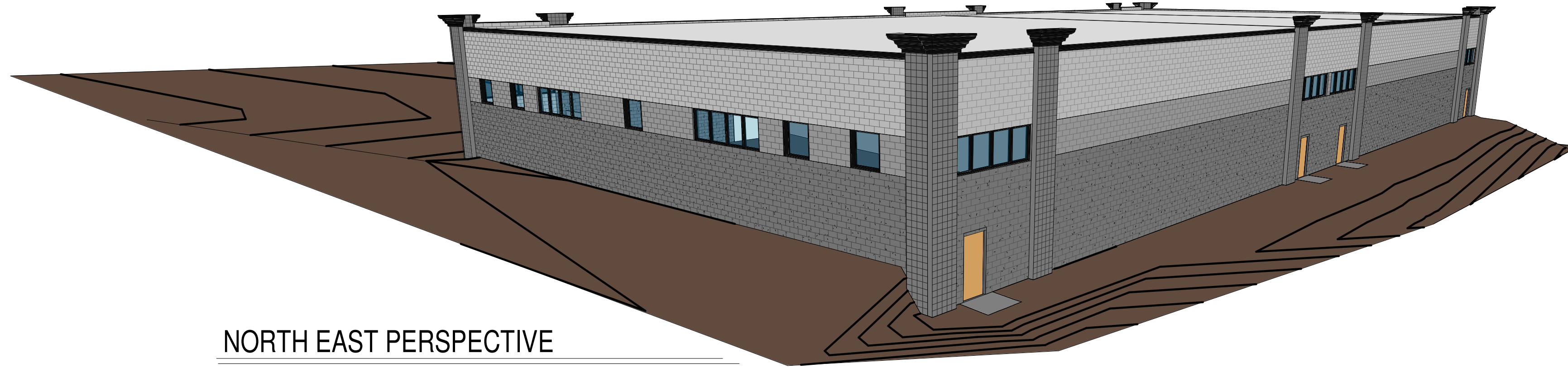
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McKay Winkel
McKay Winkel
135 MOUNTAIN WAY DRIVE
Orem, Ut

SHEET NO.
A-2.2

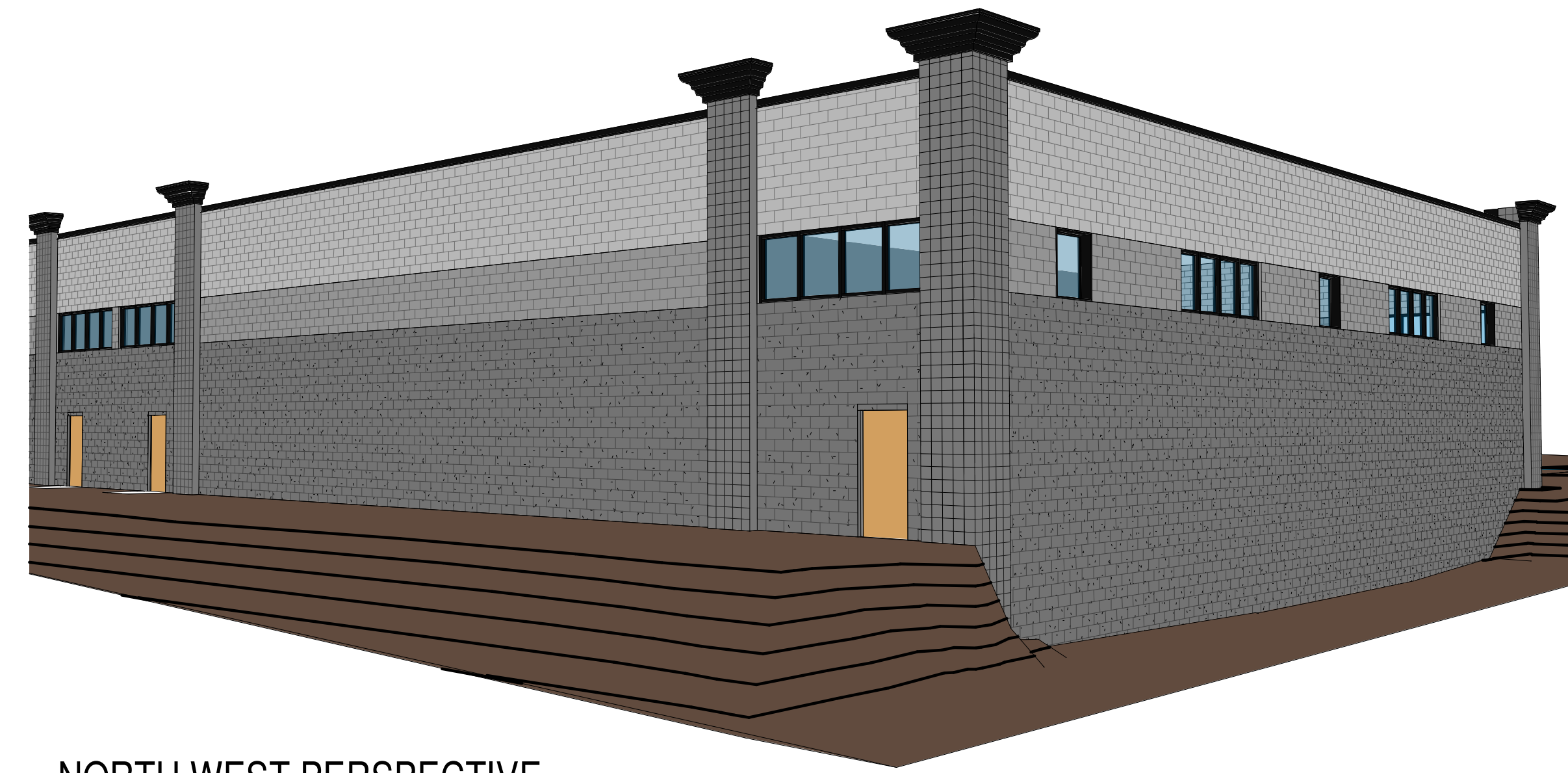
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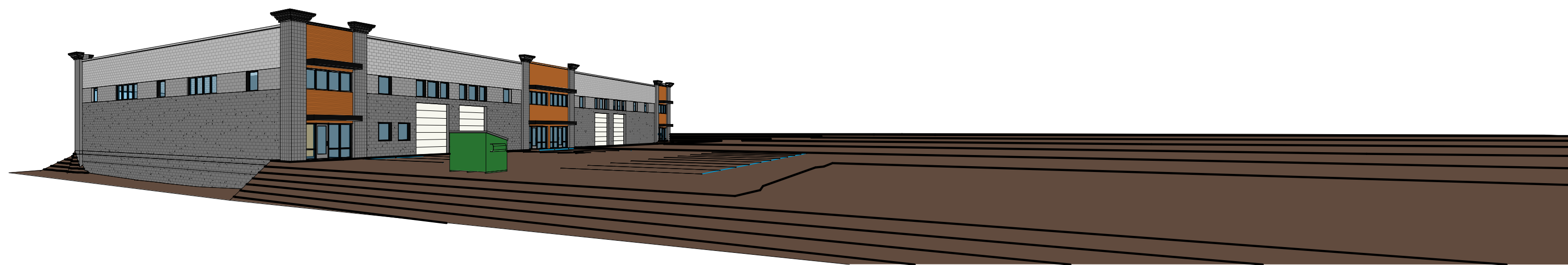
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SCALE



SOUTH EAST PERSPECTIVE
SCALE

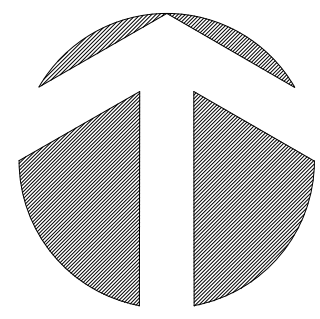


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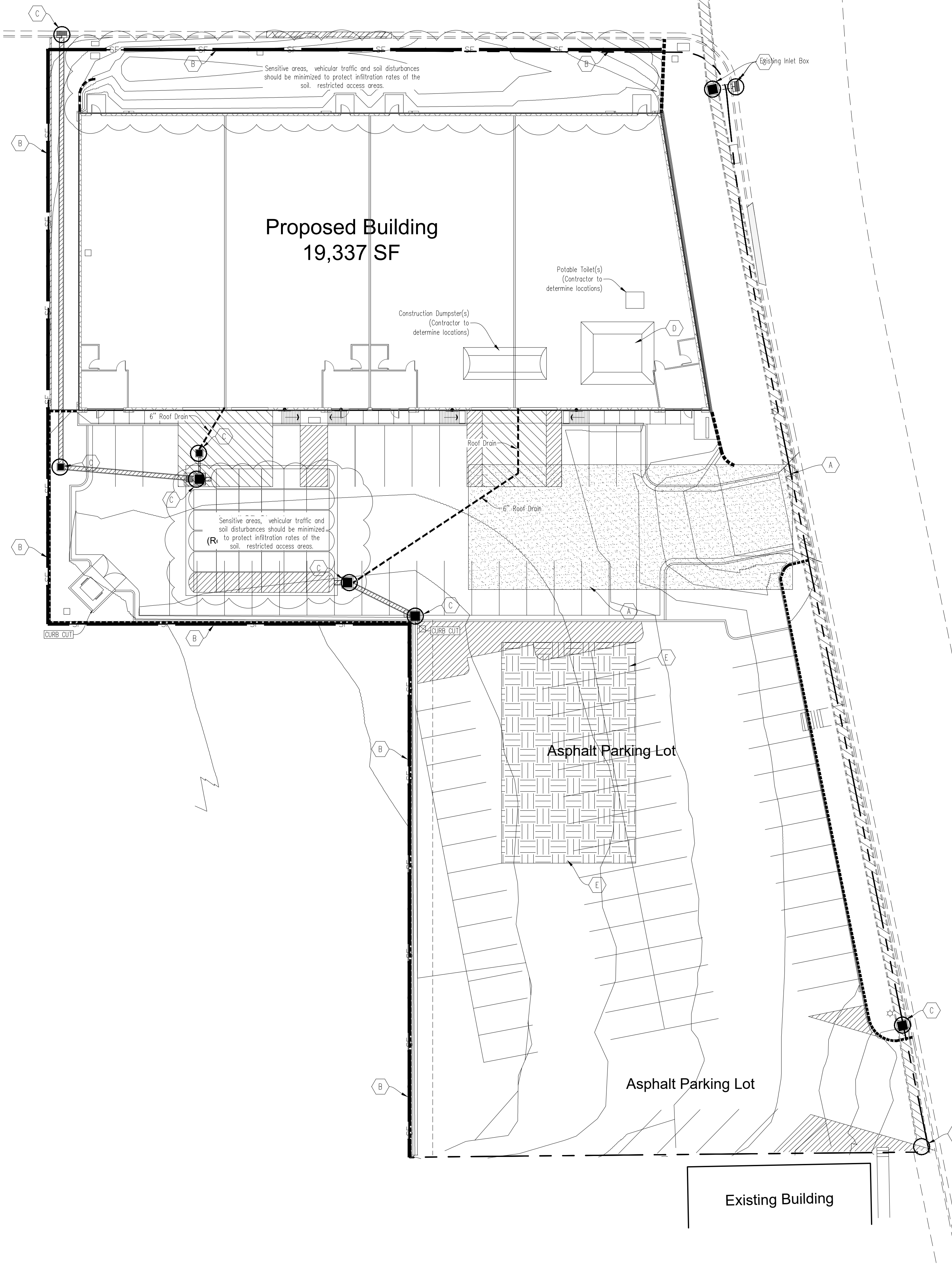


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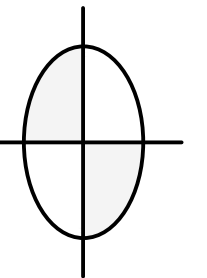
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NORTH
1" = 20'



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801-224-1252

Utah

SWPPP

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Revisions

Date
6-7-2023
Scale
1" = 20'
By
TD
Tracing No.
L -

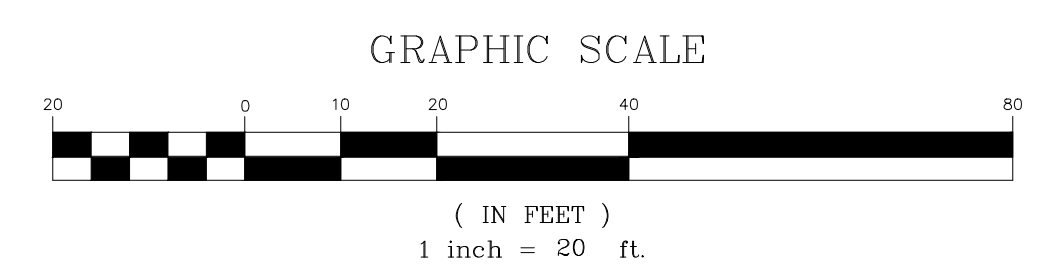
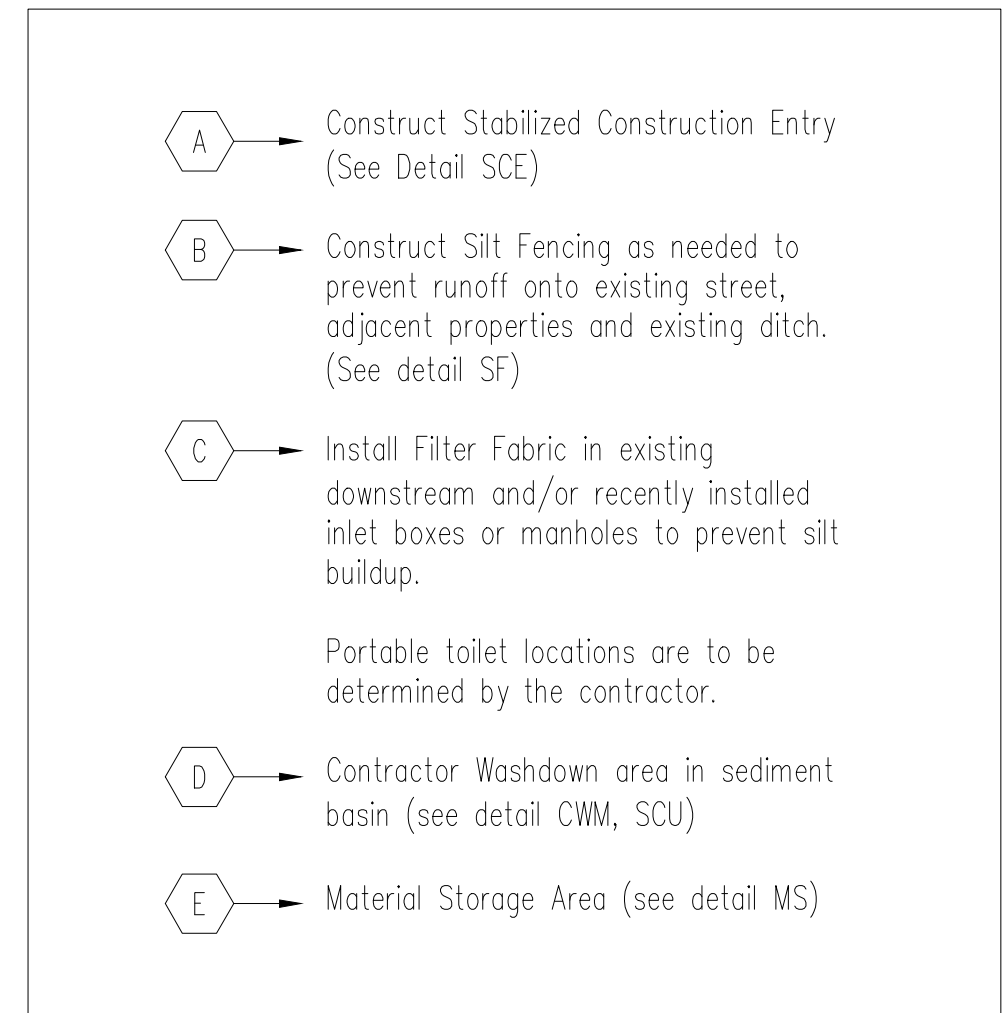
Sheet No.
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Storm Water Management Note:
The disturbed area of the project = >1.00 Acre and therefore a State UPDES Storm Water General Permit from the Division of Water Quality is NOT required. BMP's are required to be in place prior to any construction activity.

NOTES:
This plan is to be used to control storm water runoff and reduce pollutants in storm water runoff until construction is complete and the subject site is in operation.

THE FOLLOWING BEST MANAGEMENT PRACTICES (BMP'S) ARE TO BE USED AS A PART OF THE CONSTRUCTION SITE STORM WATER MANAGEMENT PLAN FOR THIS SITE

1. Contaminated or Erodible Surface Areas (CESA) Prevent the discharge, pollutants, and storm water from contaminated or erodible surface areas by maintaining undisturbed site until construction of Phase II is completed.
2. Dust Controls (DC) Dust control measures including vegetation, seeding, etc. to stabilize site from wind erosion and reduce dust until site is completely developed.
3. Detention/Infiltration Device Maintenance (DIDM) Detention basin and accompanying facilities will be regularly maintained and corrected to promote effective storm drain pollutant removal for pond, piping, and boxes.
4. Material Storage (MS) Any hazardous, toxic, or chemical substances will be stored and controlled inside building areas. No control substances will be discharged into storm water or sewage systems.
5. Portable Toilets (PT) Temporary on site sanitary facilities will be furnished and maintained during all construction activity until on site facilities are constructed and usable.
6. Stabilized Construction Entrance and Wash Area (SCEWA) A stabilized pad of crushed stone located at the construction entrance as shown will be provided and maintained during all construction activities.
7. Spill Cleanup (SCU) All on site materials used in construction will be maintained on site to prevent harmful materials from entering off site receiving waters.
8. Silt Fencing (SF) placed on the perimeter of the project where there is potential runoff from site to adjacent streets, or properties.



CAUTION!!! Notice to contractors

The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field. The information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to request the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.

Know what's below. 811
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

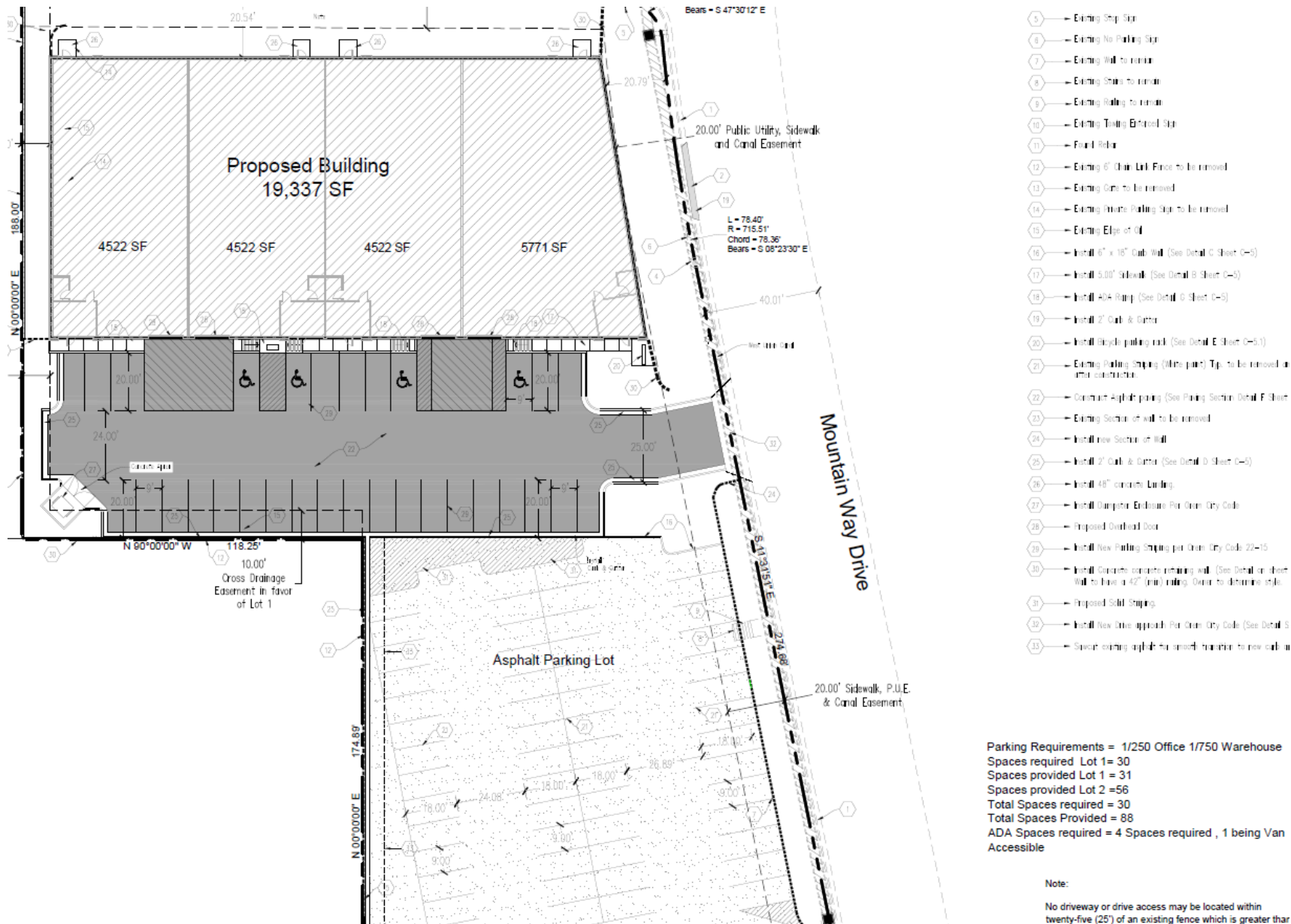


Figure 1 – Design plans demonstrating the property above and parking lot below. Note that the initial plans submitted to the city included both the building + parking lot below, however, this was changed during the selling process to only include the building above. Although the modification met minimum code requirements for a warehouse, it did only allow for minimal buildout. Our planned buildout would require 22 additional parking spaces per current code requirements for M2 zoned buildings.

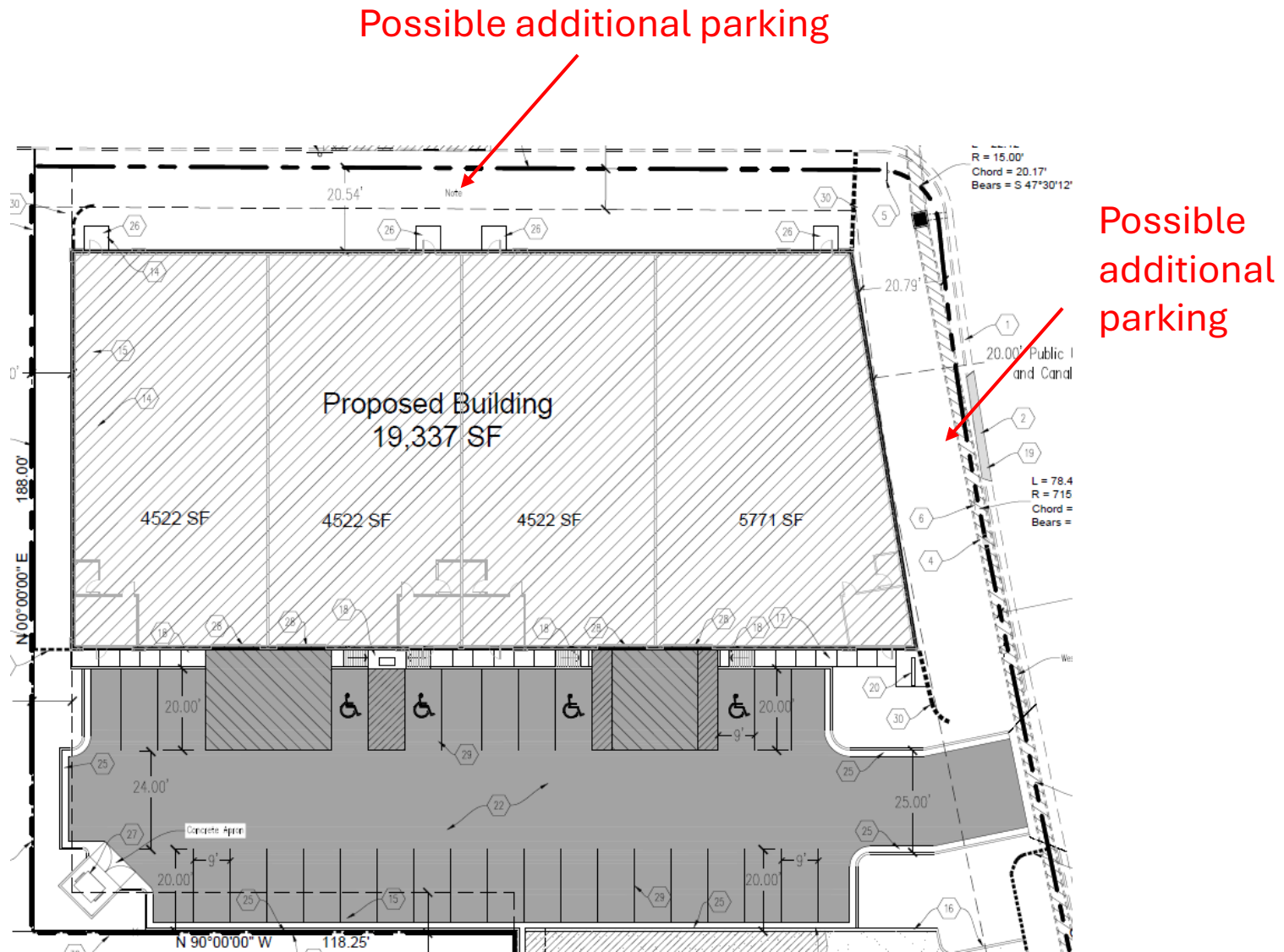


Figure 2 – Images demonstrating proposed location for off-street parking and examples of adjacent/nearby businesses using similar parking. This solution would also provide sufficient parking to address needs for the interior buildout



Off street parking examples from adjacent and nearby properties



Figure 2 Cont'd



Planning Commission
May 6th, 2025

**5.1, 1500 S.
Zone Change**

PUBLIC HEARING – ZONING MAP AMENDMENT
Request to rezone property located generally at 360 W. 1500 South from PF, Public Facilities and R12, Single-Family Residential to R8, Single-Family Residential. (Approximately 5.45 acres.)

Prepared By:
Jared Hall

Applicant:
Community Development

Notices:

Posted in 2 public places
Posted on City Webpage and City hotline
Posted at Utah.gov/pmn
Notices sent to property owners within a 1,000-foot radius

Site Information:

General Plan Designation:
Low Density Residential

Current Zone: **PF & R12**
Acreage: **5.45 acres**
Neighborhood: **Lakeview**

Action:

The Planning Commission is an advisory body in legislative applications and should forward a recommendation to the City Council to approve or deny the requested Zone Map Amendment or may vote to continue the hearing to a future date to allow for further review, additional information, or public comment to make a decision.

REQUEST: The Community Development Department requests that the Planning Commission forward a positive recommendation to the City Council for the proposed change of zoning in order to facilitate the development of a single-family residential subdivision on the subject property, which is owned by Orem City.

BACKGROUND: 3.8 acres of the subject property is owned by Orem City, and is zoned PF, Public Facilities. A smaller portion (1.65 acres) is currently zoned R12 and is part of an adjacent, approved single-family subdivision called Acadia Heights. The City hopes to rezone the property to R8 and then subsequently develop a single-family subdivision on it.



Figure 1: Subject Properties, aerial view. REPLACE WITH WHATEVER BECCA USED FOR THE 1st NOTICE

REVIEW & ANALYSIS: The request is for a change of zoning that will allow the development of the property as a single-family subdivision. Two concepts have been prepared along with this request to represent what might be possible in a future subdivision. Any subdivision would be served from an extension of the existing 1600 South right-of-way (ROW). That extension of 1600 South could continue north and terminate in a cul-de-sac or could connect to the existing ROW at 360 West. Neither concept contemplates continuing 1600 South farther east, and both could provide eighteen lots meeting R8 Zoning standards.

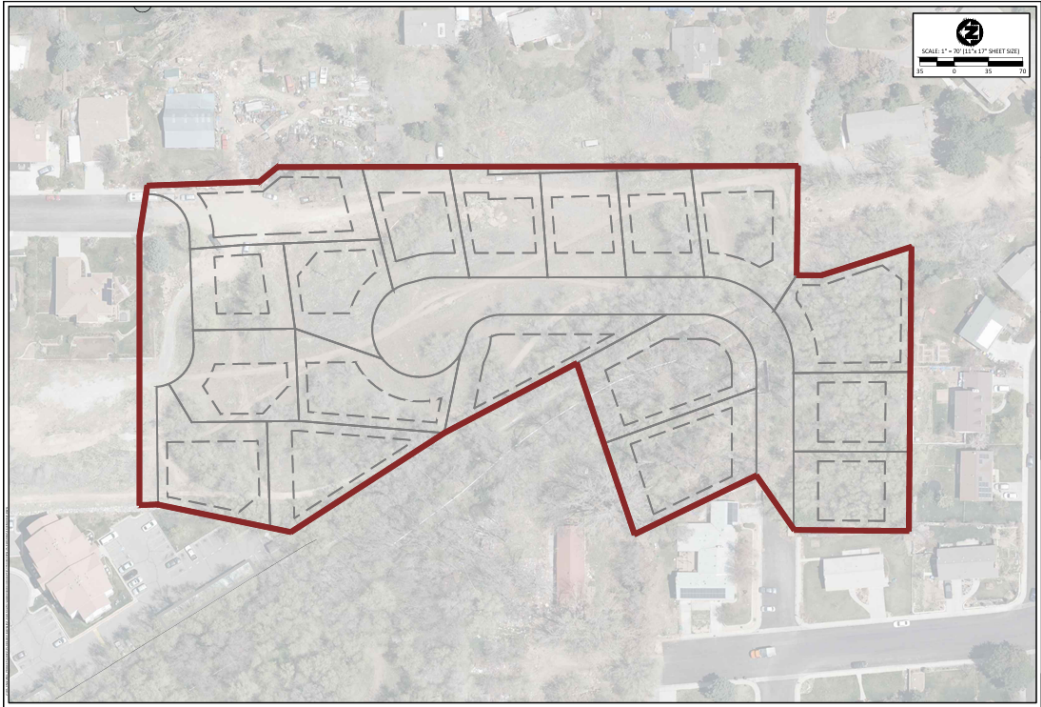


Figure 2: Cul-de-sac option, 18 lot subdivision concept on the subject property

General Plan – All properties included in the request are currently designated “Low Density Residential” (LDR) on the General Plan’s land use map. The LDR category prioritizes single-family development, supporting the R6, R6.5, R7, R8, R12, and R20 Zones. The proposed change in zoning adheres to the General Plan’s designation.

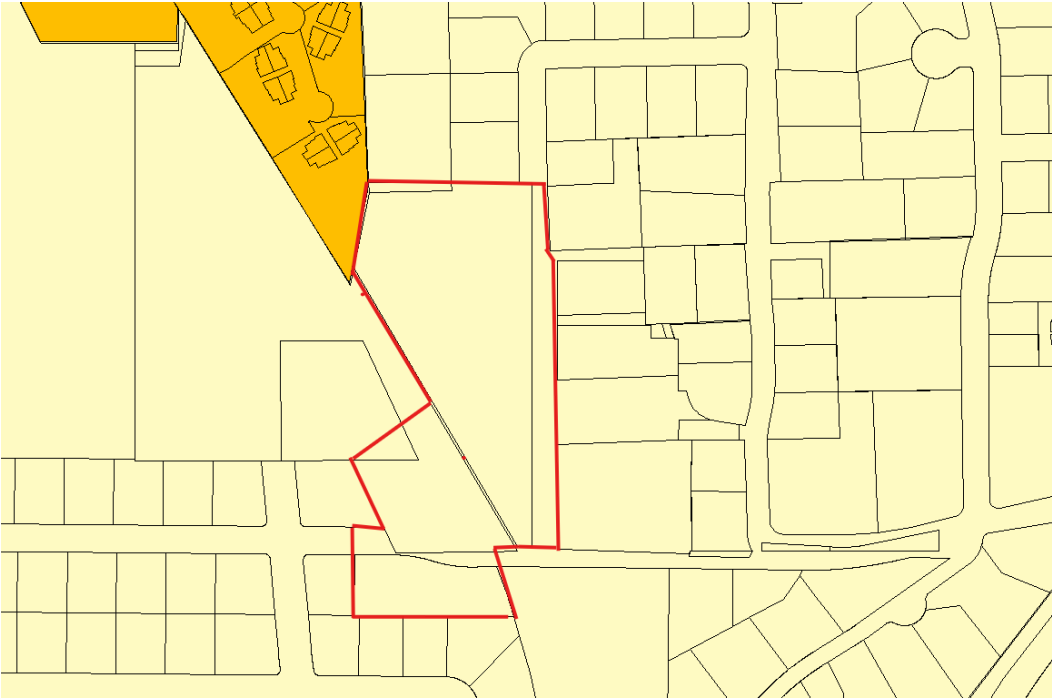


Figure 3: Subject Property, General Plan designation LDR

Current Zoning – A large portion of the subject property is currently zoned PF, Public Facilities. The purpose of the PF Zone is to “...provide areas for public schools, local government facilities and other uses incidental and accessory

thereto.” The PF Zone permits uses such as water treatment facilities, water pressure control stations, sewage pressure control stations, government services, public schools, parks, orchards, and undeveloped land.

The remainder of the subject property is located in the R12 Zone. The purpose of the R12 Zone is stated to “...promote low density residential uses with a minimum lot size of 12,000 square feet per lot, and to allow other selected uses which are compatible with the character of the zone.” The R12 Zone permits primarily single-family detached residential uses on lots of at least 12,000 ft², but also allows schools, churches and public utilities. Multi-family development is not permitted.

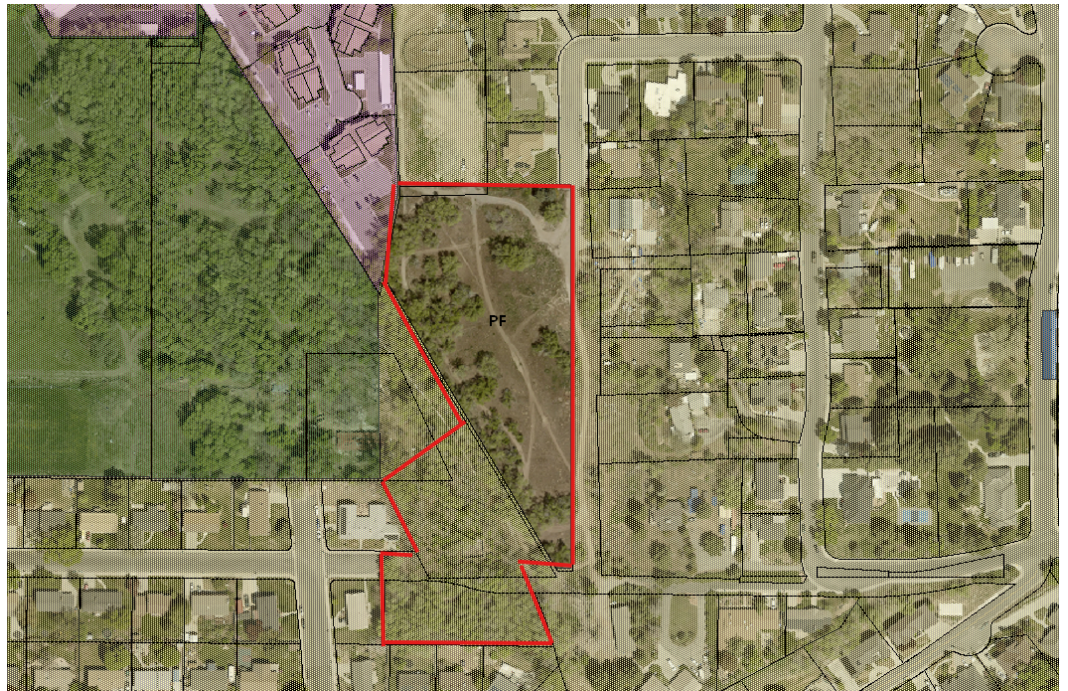


Figure 4: Existing Zoning, PF and R12

Proposed Zoning – The City has proposed zoning the property R8. The R8 Zone allows primarily single-family detached residential uses on lots of at least 8,000 ft². The R8 Zone also allows churches, schools, parks, and some utilities. Multi-family development is not permitted.

Subdivision Concepts – The concept plans for potential subdivision are attached to this report. One provides 18 potential lots and the other 19. The subject property includes significant slopes, but there are some benefits to residential development at this location.

- **Water:** The water lines in 1600 South and in 630 West can be looped together – in both concepts. In the cul-de-sac concept, an easement for utilities and pedestrian access can run between proposed lots through to 630 West.
- **Sewer:** Development of the subject property would bring additional sewer connection and capacity to the area. Many lots to the east of the subject property are not connected to city sewer lines. Development of the property

can make connection to the system possible through easements across proposed lots.

- **Access:** The lots to the east of the subject property in some cases have steeply sloped, large, rear yards. Access to those rear yard areas can be maintained/provided by larger easements for access in the side-yard areas of specific proposed lots.

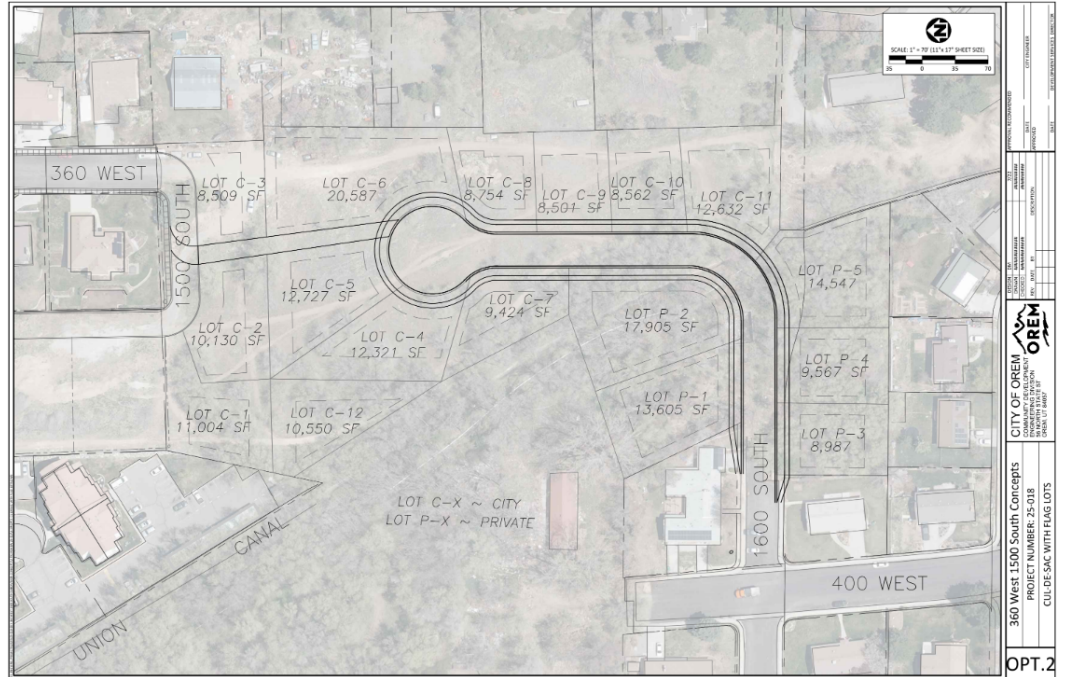


Figure 5: Subdivision Concept

Neighborhood Meeting: A neighborhood meeting is required for all zone map amendment applications. City Staff held the required meeting at the City Center on February 25, 2026. The minutes of that meeting are attached for your review. There was general support for single-family residential development, with the majority of attendees favoring a plan with a cul-de-sac

DEVELOPMENT REVIEW COMMITTEE (DRC): The proposed zone map amendment has been reviewed by the DRC. The DRC has voted to move the request to the Planning Commission for the public hearing.

STATE REQUIRED PROCESS FOR LAND USE AMENDMENTS:

For land use amendments like the requested zone change, Utah State Code states that the “planning commission shall... review and recommend to the [Orem City Council (“Council”)] a proposed land use regulation that represents the planning commission's recommendation for regulating the use and development of land within all or any part of the area of the municipality. See Utah Code 10-9a-502(1)(d)(i).

The Council “may not make any amendment [to the land use ordinance or zoning map] unless the Council... first submits the amendment to the planning commission for the planning commission's recommendation.” See Utah Code 10-9a-503(2).

ALTERNATIVE ACTIONS

After review and consideration of the application, the Planning Commission may:

- **Recommend Approval** of the proposed amendment to the Zoning Map.
- **Recommend Denial** of the proposed amendment to the Zoning Map.
- **Continue the Request** to a future date for further review, additional information, or public comment.

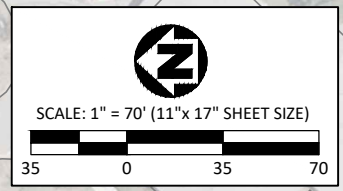
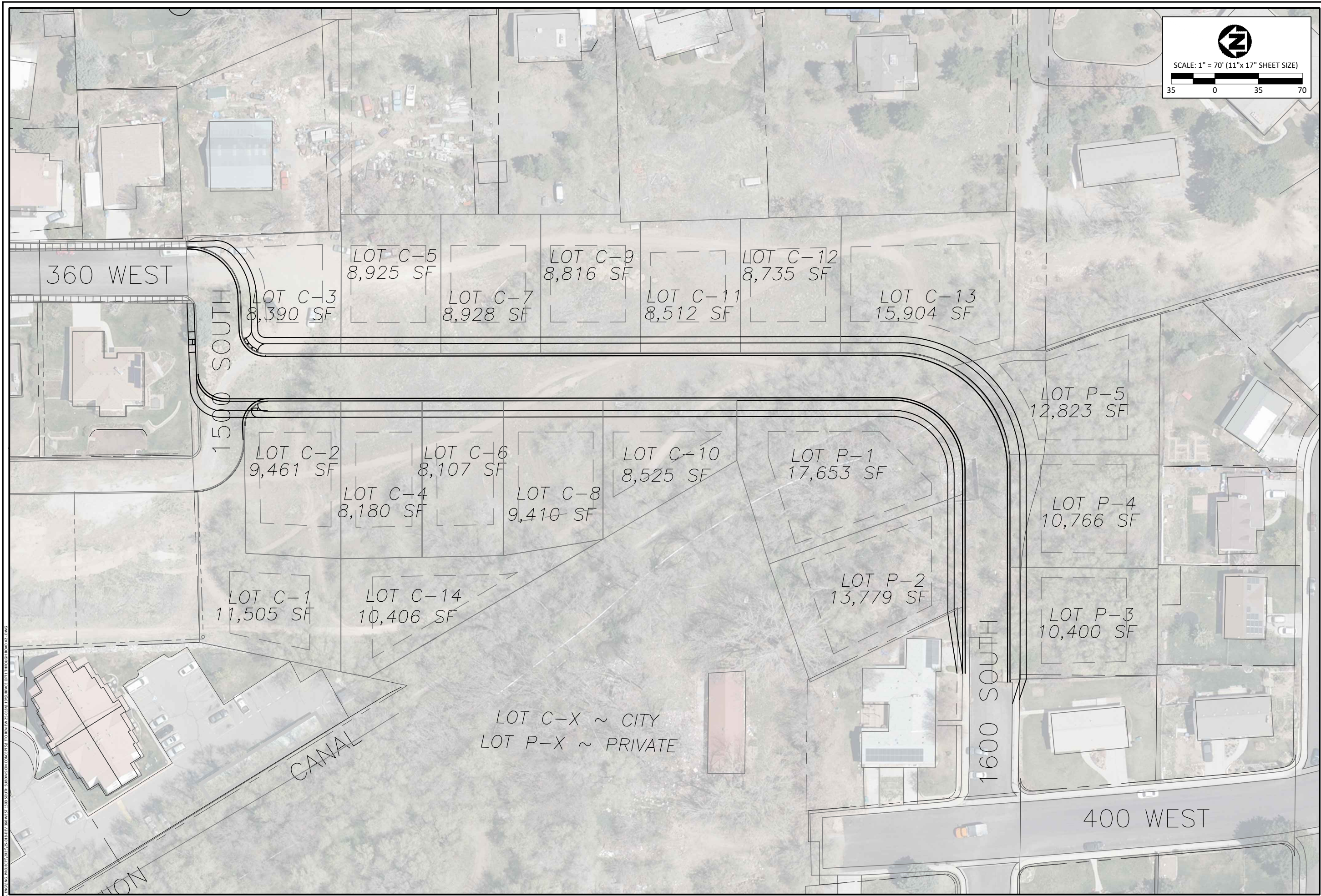
ALTERNATIVE MOTIONS:

Motion to Approve or Deny

“I move that the Planning Commission forward a recommendation of [**choose APPROVAL or DENIAL**] to the City Council for the request to amend Article 22-5-3(A) and the Zoning Map of the City of Orem by changing the zone of the property located generally at 360 West 1500 South from PF, Public Facilities and R12, Single Family Residential to R8, Single-Family Residential. Approximately 5.45 acres.

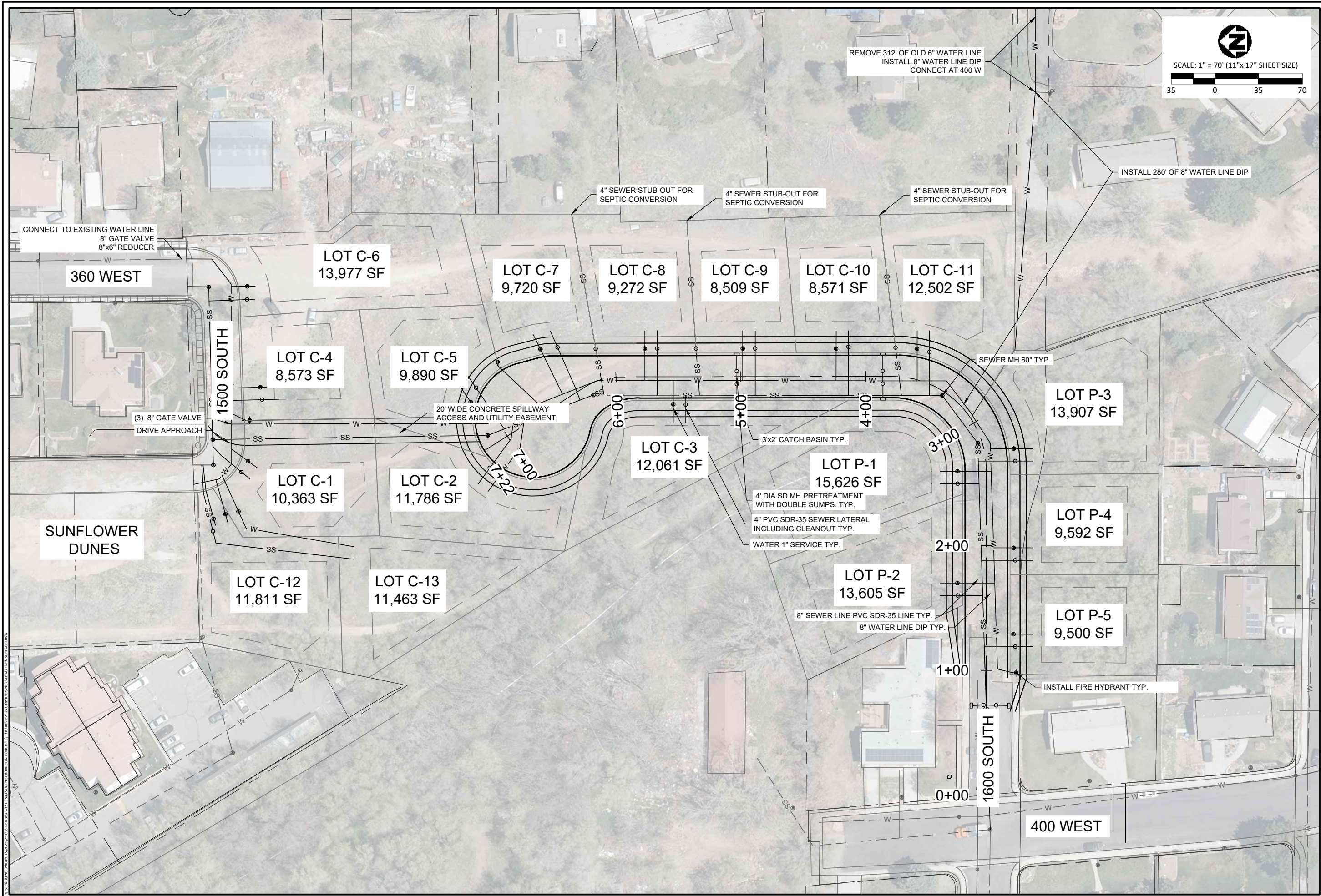
Motion to Continue the Request

“I move that the Planning Commission continue this request for further consideration to (choose another date as appropriate).”



ENGINEERING PROJECTS 2025/26 018 819 280 WEST 1500 SOUTH SUBDIVISION CONCEPTS TO BE REVIEWED BY THE CITY ENGINEER THROUGHOUT THE PROJECT PERMITS AND SURFACE OPT THROUGHOUT ROAD 02.DWG

DESIGN DM		7/22	APPROVAL RECOMMENDED
DRAWN	#####	#####	CITY ENGINEER
CHECKED	#####	#####	DATE
REV	DATE	BY	APPROVED
			DATE
			DEVELOPMENT SERVICES DIRECTOR
<p>CITY OF OREM COMMUNITY DEVELOPMENT ENGINEERING DIVISION 56 NORTH STATE ST OREM, UT 84057</p>			
<p>360 West 1500 South Concepts PROJECT NUMBER: 25-018 THROUGH ROAD</p>			
<p>OPT.1</p>			



SCALE: 1" = 70' (11" x 17" SHEET SIZE)

OPT.2	360 West 1500 South Concepts PROJECT NUMBER: 25-018 CUL-DE-SAC WITH FLAG LOTS	CITY OF OREM COMMUNITY DEVELOPMENT ENGINEERING DIVISION 56 NORTH STATE ST OREM, UT 84057
		APPROVAL RECOMMENDED 7/72 DESIGN DM DRAWN ##### CHECKED ##### REV DATE BY DESCRIPTION
		APPROVED DATE CITY ENGINEER DEVELOPMENT SERVICES DIRECTOR DATE

COMMENT CARD

Name: Donna Stocks

My Vote is ^{Yes for single family homes}
 Concept 2 -
Cul-de-sac

FIRST Suggestion - Have a professional assess whether or not it is actually safe & viable to build homes in that area

COMMENT CARD

Name: Kevin Stocks

1. Yes - putting in houses (single)
 2. Prefer option 2
 Like the city transparency

COMMENT CARD

Name: REID COPE
 301-687-1398

INSTALL A CUL-DE-SAC AT 1600 S. AND 400 W AT LEAST ONE, WHERE CURRENT OR FUTURE DEVELOPMENT IS. WE DON'T NEED EXCESSIVE, MORE TRAFFIC GOING THROUGH 1600 S. WILDWOOD HOLY DR.
 Thanks, etc.

COMMENT CARD

Name: Melissa Fukufuku (Lloyd)

We would vote for a culdesac up 1600 S. We live on the corner of 400 W and 1600 S. we are already having traffic with 400 connection we do not want ~~to~~ even more Traffic coming up 1600 S. -Thanks...

COMMENT CARD

Name: Dawn Maughan

Thank you for the info.
In favor of a thru
Street to ease the
traffic issues in the
area

COMMENT CARD

Name: Aimee Burr

Option 2 is the better plan!
Option 1 with 360 west going
through would create problems
on 300 west which is narrow +
curving and very steep coming up to
there.

COMMENT CARD

Name: LEE BAXTER

I think the road should continue through
to provide better traffic flow.

COMMENT CARD

Name: Chuck McCartney
501-224-4185

- ① NO thru Street please
- ② allow property owners to hook up to city
water
- ③ NO condos or APTS - single homes
- ④ NO sale to Developer's

Phone Call for 360 W 1500 South Rezone: David Terry 385-309-4503

He is 100% against the cul-de-sac. He wants the road to go through. He lives at 1640 S and all the neighbors agree about the through road because currently 1640 S is a major thoroughfare for people coming down the hill and getting on the freeway. The road takes all the traffic to get on to the freeway. Cars coming down the hill are going way too fast. The day before he called a kid who had a ball go out into the road and a car came down the hill too fast and hit the ball and almost hit the child. People race on the road. Traffic needs to be slowed down there. Putting in a through street will release a little of the pressure on 1640 S.

LOCATION: 56 N State Street, Ponderosa Meeting Room

TIME START: 6:33 PM

PROJECT/PROPOSAL: Rezone at 360 West 1500 South

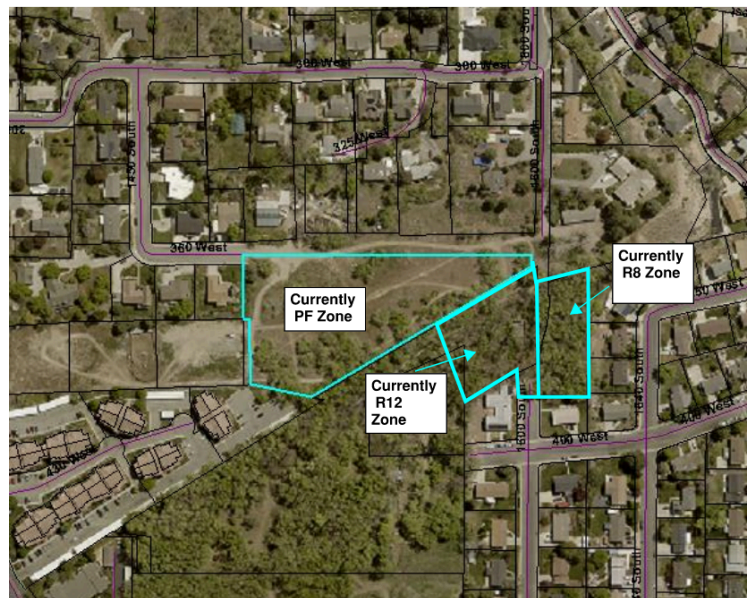
SUMMARY:

Jared Hall and Gary McGinn presented two concept plans for a rezone of the property at 360 West 1500 South from PF (Public Facilities) to R8 (Single Family Residential, 8,000 sqft lots). Approximately 25 residents attended. Staff and neighbors met for over an hour and comment cards were provided. A copy of the slides presented and the comments cards are attached.

INTRODUCTION AND GENERAL AREA DISCUSSION:

Jared Hall introduced the staff members to the attendees, introduced the area of interest, and briefly explained the lot size and setback requirement differences between the R8 and the R12 zones.

A resident asked what the zone of the surrounding properties are. Mr. Hall clarified that the surrounding zones are R8.



Marion, a neighbor, asked if the areas to the west of the subject properties were under development and who owns it. Jay Liechty, who was present, identified himself as the owner and confirmed that he has approval to develop, but has taken a brief pause to consider adjusting his plans to accommodate future changes at 360 West 1500 South.

A neighbor expressed that he had moved to the area approximately 40 years ago and had been informed the property at 360 West 1500 South was going to become a park. He asked about the

change in plans. Mr. Hall clarified that the Parks Department has decided not to develop the area; Parks determined the slope was too steep and unsuitable for park facilities.

A resident commented that there was previously a contingency plan regarding the ownership and development plans for the property at 360 West 1500 South. The resident asked if the contingency plan was formally changed yet. Mr. McGinn clarified that the change with UDOT has not happened yet. When it is time to enact the change, UDOT will have to agree to it.

Several residents advised that a large amount of concrete and asphalt was buried at the site and asked if the City was aware of the issue. Mr. McGinn answered that the City engineers are aware of the buried materials and are looking into how to solve the issue, should the rezone be approved.

A resident commented that the buried concrete would make the area more difficult to develop, and would cause there to be big trucks in the neighborhood for longer. A second resident responded to the comment, suggesting that there would be no other way to get the materials out. Mr. McGinn advised the residents that the City is aware of the issue and will look into the cost/burden of removing the concrete; Should the concrete removal be too expensive, the City may choose to not pursue the project.

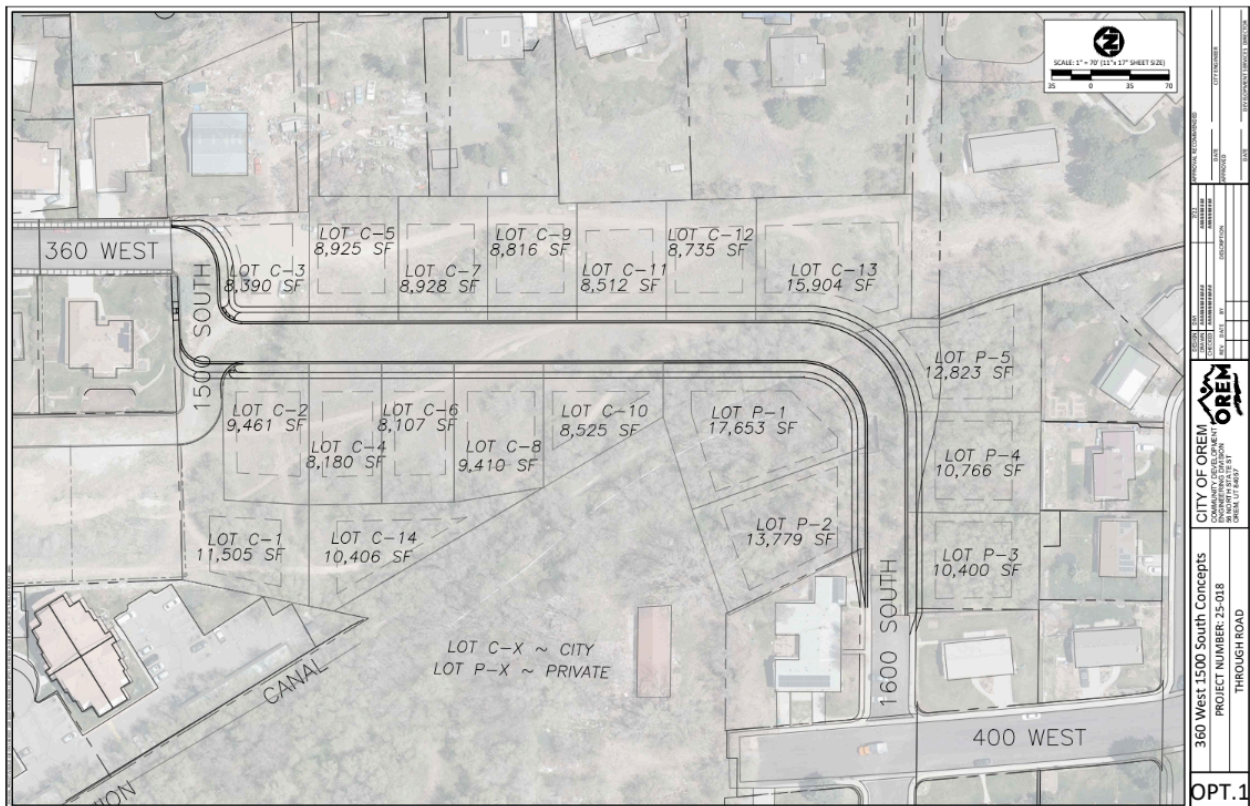
A resident asked Jay Liechty if he knew how much asphalt and concrete was buried in the area. Mr. Liechty commented that he was unsure.

CONCEPT PLAN DISCUSSION:

Mr. Hall and Mr. McGinn introduced the two concept neighborhoods.

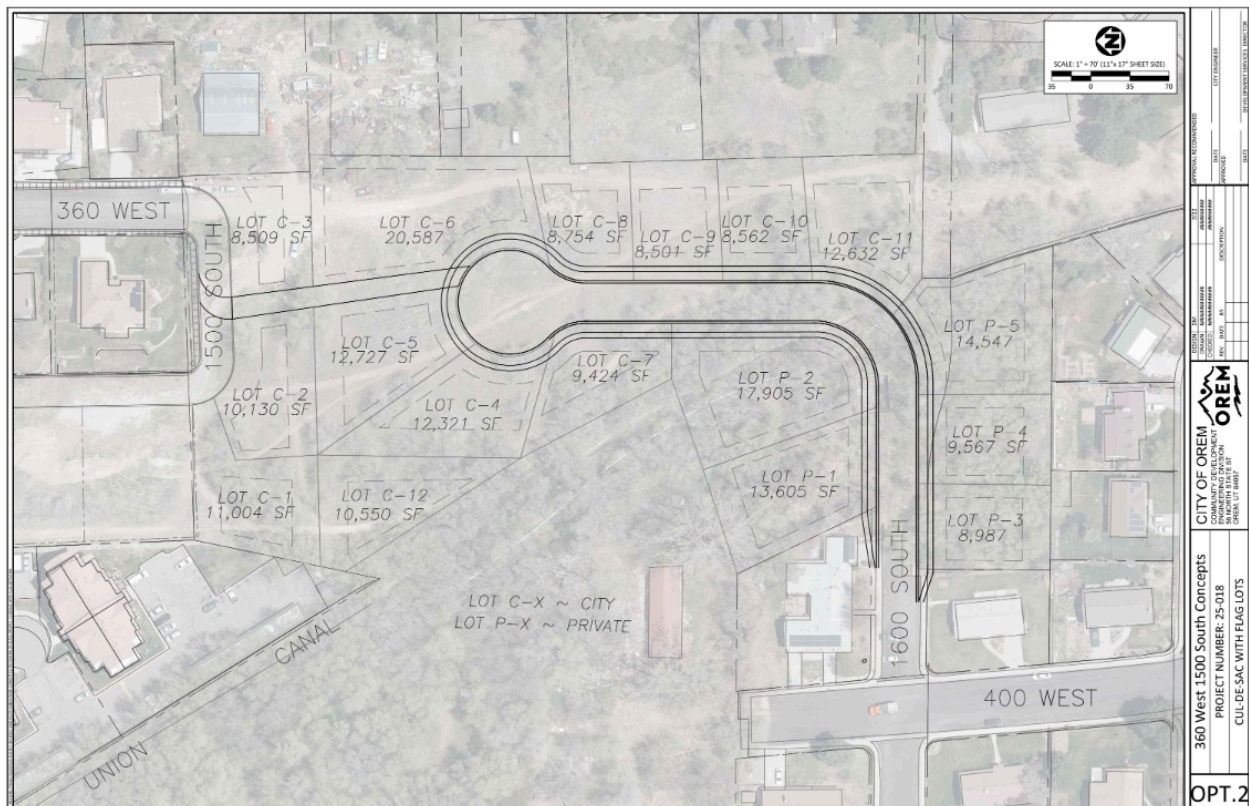
Concept 1 (Through Street) highlighted the following:

- Connects 1600 South and 360 West Streets with new dedicated public right-of-way
- Includes 5 building lots for the adjacent private subdivision (Acadia Heights)
- Creates 14 building lots for the city-owned property
- Provides utility and drainage connections as well as easements for future development
- Cost for development ready lots: Approximately \$2 Million (\$1.796 M)



Concept 2 (Cul-de-Sac) highlighted the following:

- *Is dependant upon an extension of 1600 South*
- *Includes 5 building lots for the adjacent private subdivision (Acadia Heights)*
- *Creates 12 building lots on the city-owned property (13th lot possible with a small change to deep lot requirements)*
- *Utility and drainage connections may be provided, but will require an easement from the cul-de-sac to 1500 South*
- *Cost for development ready lots: Approximately \$2 Million (\$1.511 M)*





Neighborhood Meeting Minutes

Orem Community Development | 801-229-7058

After introducing the concepts, Staff turned the time over to the residents for questions and comments.

A neighbor commented that he does not want additional traffic that a long, straight through street would provide, and commented that he would prefer a cul-de-sac.

A resident of a nearby subdivision advised that both concept plans “landlock” the backyards of the properties to the east, and would prevent the owners from developing. Mr. McGinn advised that the eastern property owners have access from the front of their properties.

Several residents asked how they could develop the back yards and ensure rear access to the eastern properties in the future. Mr. McGinn advised that both concept plans include a wide easement that would allow property owners to coordinate and create a private lane, should they choose.

Steve Salmon, a neighbor, asked if all property owners would have to agree to the private lane. Nicole Van Orman, a neighbor, also asked if the current property owners could have first rights to the easements for development. Lori Lilienquist, a resident of a nearby subdivision, asked why the City has consulted with Mr. Liechty more than other neighbors.

Joe Creer, a neighbor to the proposed rezone and owner of a nearby proposed development, answered that both he and Mr. Liechty have been coordinating with the City closely for two years, as their projects will be directly impacted by the potential rezone. The Creers, who are currently in processing for the Sunflower Dunes development, will be required to connect to sewer; If the City rezones and builds either of the concept plans, both Sunflower Dunes and Acadia Heights will be able to tie into the City’s sewer and other utilities.

Marion, a neighbor, commented that there are areas in the neighborhood that do not have sewer connection, and advised that neighbors use this time to speak with staff about their wants.

ADDITIONAL DISCUSSION:

A resident requested assurance that the rezone is for a single family neighborhood. Mr. McGinn said yes, and commented that the City is exploring options to add deed restrictions to keep the homes owner occupied.

A resident asked if commercial developers will be involved in the project. Mr. McGinn answered that he does not know; Currently, there are no plans to have commercial developers, however, a developer may be hired later to assist with construction and housing design. Mr. McGinn also

emphasized that the City is approaching the project with a community-centric mindset, and wants to design the project with neighborhood's opinions in mind.

Jay Liechty commented that a commercial developer would not want to develop in this area due to the buried concrete and asphalt.

A resident commented that the Hershey property, also located in the neighborhood, was unable to move forward due to being landlocked and difficulties with utility access. The same resident also asked what the impact would be on the existing infrastructure when the new development came, as her property is located below the potential rezone area and has been flooded before. Mr. McGinn advised that the City has not looked at the specifics yet, as the City is currently investigating if the concept plans are feasible/desirable for the neighborhood.

The resident asked if the infrastructure issue would be addressed at a later time. Mr. McGinn said yes, and informed the resident that all solutions would be considered.

A resident asked if the lots would be used for employee living. Other residents present answered that the lots are to be owned by private individuals, not the City itself. Staff agreed.

ADDITIONAL ZONING AND TRAFFIC/STREET COMMENTS:

Residents continued to discuss traffic and zoning concerns.

A resident commented, "If we can get single family homes, why wouldn't we want it? The only issue is that I don't want a through street."

Joe Creer commented that he wants the cul de sac because there are many kids who live on the street and a cul de sac would be safest for them.

A resident commented that she would prefer the through street concept, as it would create a better traffic pattern to help relieve traffic and take it off Sandhill Road and the Hollow (A nearby neighborhood).

A second resident commented that she would like the through road to help disperse the traffic from the neighborhood to the southwest.

Mr. McGinn informed attendees that the City can conduct a traffic study later during project development; He again stated that the first phase of the project is the rezone.

A resident who previously spoke emphasized that road connectivity matters. She commented that her area of the neighborhood has a road that was designed too small; People are not able to use it both ways, and it causes a bottle neck.

Mr. McGinn briefly paused the discussion to ask if anyone who did not have the chance to speak had comments or questions. A resident who had not previously spoken asked what the setbacks for the new zone are. Rebecca Gourley, a staff member, provided the setbacks:

- *25 foot front yard setback*
- *25 foot rear yard setback*
- *8/20 (8 and 12) foot side yard setback*

Stephanie Salmon, a neighbor, commented that she would rather see the area developed as single family homes.

A resident paused the discussion and asked the neighbors if there was anyone who did not want the area to be developed as single family homes. No one disagreed.

A resident asked Staff whose idea the project/rezone was. Mr. McGinn answered that this was the City's idea.

SEWER AND STORM WATER CONCERNS:

Jay Liechty proposed not going forward with the plan and paying for sewage.

A resident asked if the area already had a sewer issue, as she had recently seen someone having their sewer pumped. Neighbors confirmed that the pumping she had witnessed was a neighbor cleaning out a septic tank.

A resident requested the City make sure people are aware of the grades for the lots.

A resident asked if the neighbors who are currently on septic will be required to tie into the City sewer. Mr. McGinn answered that he is not sure what code will require, but the City does not want to force residents onto a system if it is not necessary.



Neighborhood Meeting Minutes

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CLOSING COMMENTS:

Mr. McGinn restated that the City will not be working to turn the area into a park, and that no park plans are in place because it is not viable.

A resident reiterated that all of the neighbors are in agreement with the concept of housing.

Nicole Van Orman summarized that the neighborhood's main concerns are the concrete removal, future traffic, and the potential landlock for the eastern properties.

Jay Liechty asked if stormwater will go into the West Union canal or down the street. Mr. McGinn answered that the City does not know yet.

Marion commented that only one neighbor was on the West Union canal, and that the canal may disband soon. Jay Liechty commented that the canal may continue use as a storm water dump. Marion expressed her concerns about private lanes and reiterated the importance of roads that are wide enough for two way traffic.

Mr. McGinn explained that the City is open to meeting with other property owners and would like to continue discussion to gain further community input as the project progresses. He invited attendees to write down their comments on the provided comment cards and to contact Community Development with any more questions or comments.

MEETING END: 7:40 PM

NOTICE OF NEIGHBORHOOD MEETING

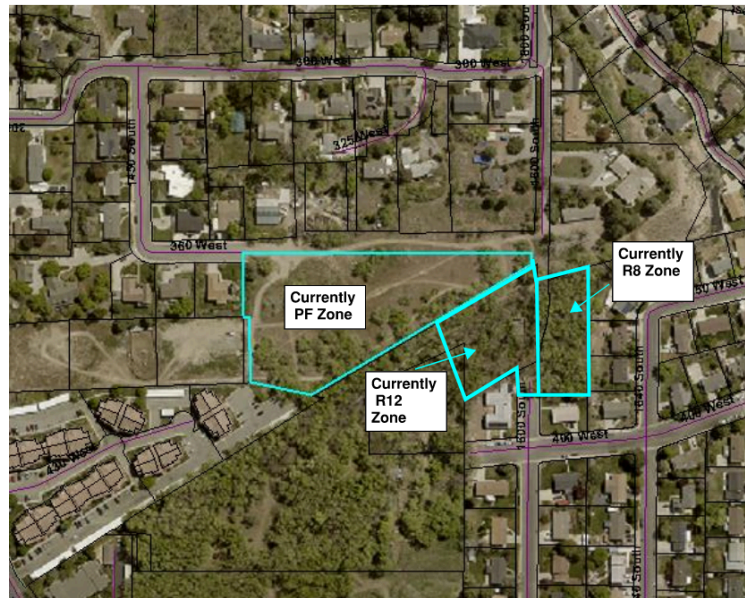
Orem Community Development | 801-229-7058

Dear Neighbor,

This letter is to inform you of an upcoming “Neighborhood Meeting” to discuss a proposed project in your area. We wanted to share an update regarding the city-owned land and some adjacent private property located at 360 W 1500 South.

The City of Orem is proposing to rezone the city-owned land from **Public Facilities (PF)** to **Residential (R)** in order to build a subdivision. To ensure the best possible project, we are working with the adjacent private property owner and will need to rezone some of his property from R12 to R8.

By combining these properties into one unified residential subdivision, we can ensure the neighborhood grows in a way that is cohesive, well-planned, and consistent with the surrounding homes.

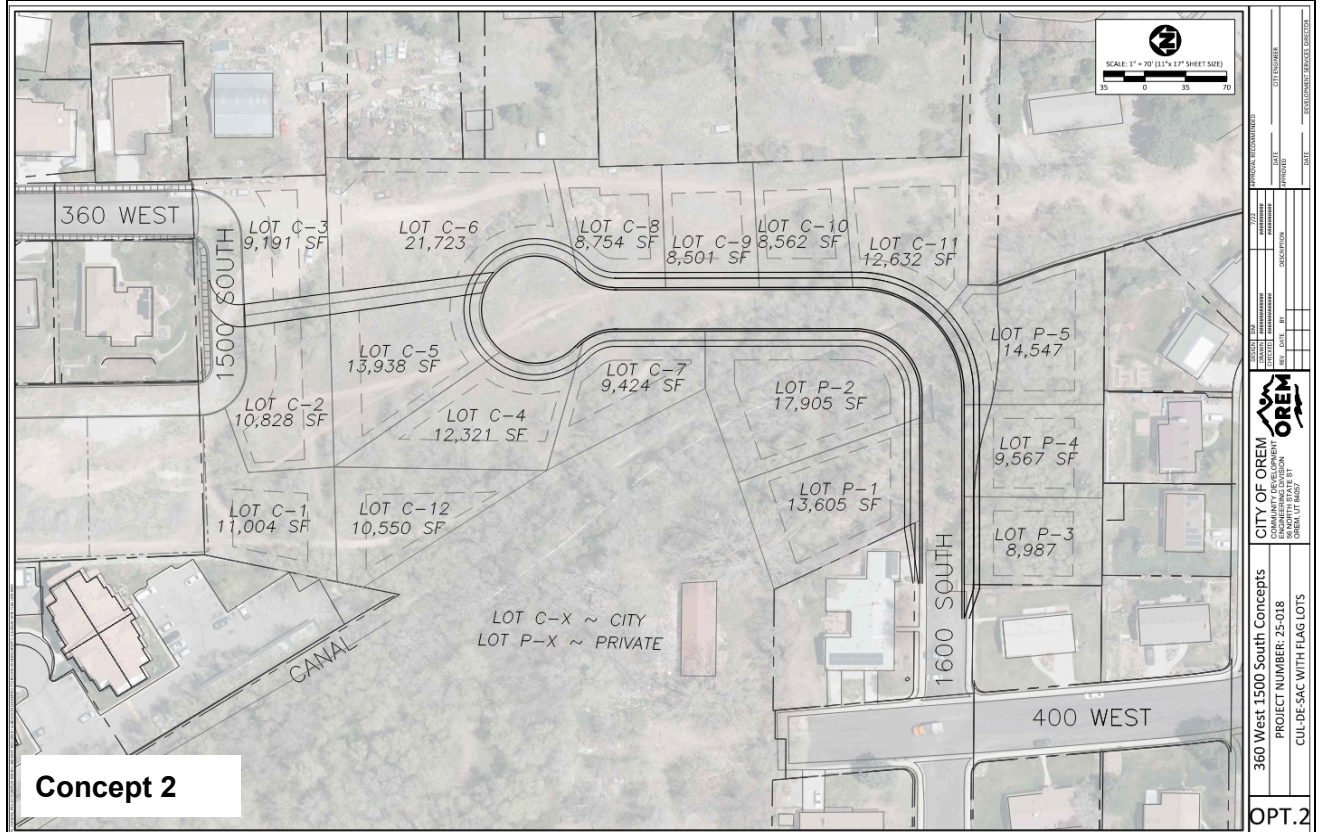
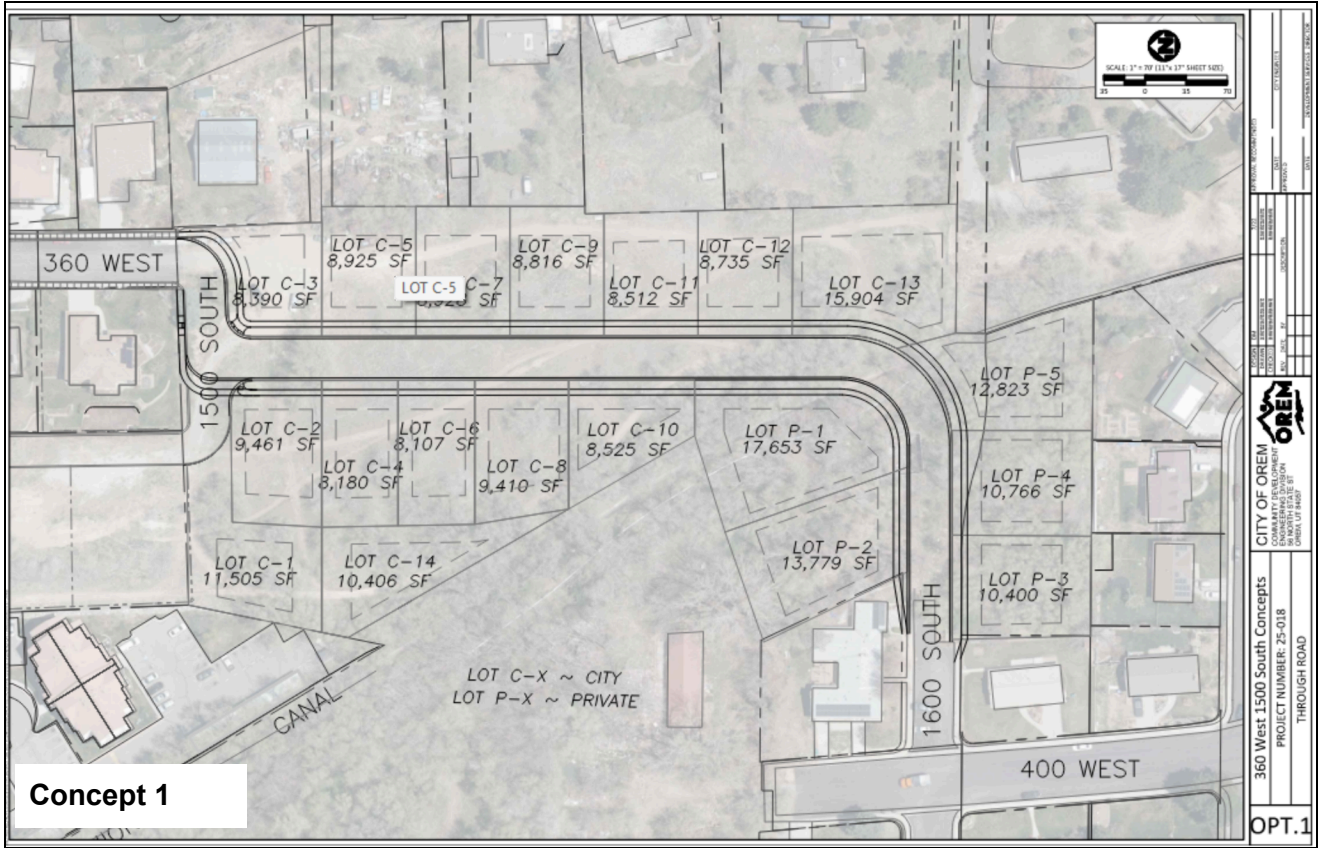


We value your neighborhood and want to keep you informed. We invite you to learn about the proposal, ask questions, and provide feedback and comments.

The Neighborhood Meeting will be held at:

Orem City Hall
56 N State Street, Orem - Ponderosa Conference Room, 2nd floor
6:30 pm to 7:30 pm on Wednesday, February 25th

If you are unable to attend the meeting, and wish to make a public comment, or have questions prior to the meeting, please contact Jared Hall with **Orem City** at (801) 229 - 7058 or jrhall@orem.gov



Orem City Neighborhood Meeting Roster

Name	Phone Number	Email
Kevin Douva Stocks	801-582-9486	kevin.d.stocks@gmail.com
Chuck McEntary	801-224-4195	mcEntaryChuck@gmail.com
Steve, Stephanie Salmon	801-369-3991	StephSalmon@aol.com
Karin Johnson	801-687-1910	KJohnson@gmail.com
Niels Andreas	801-362-2466	ndandreas100@msn.com
Aimee Ben	801-343-0914	fileboards@yahoo.com
Lori Liljengquist	801-376-9019	lori.liljengquist@gmail.com
Lee & Yvonne Barber	801-995-1874	LEE@BARBER@gmail.com
Eric Coppe	801-687-1398	-

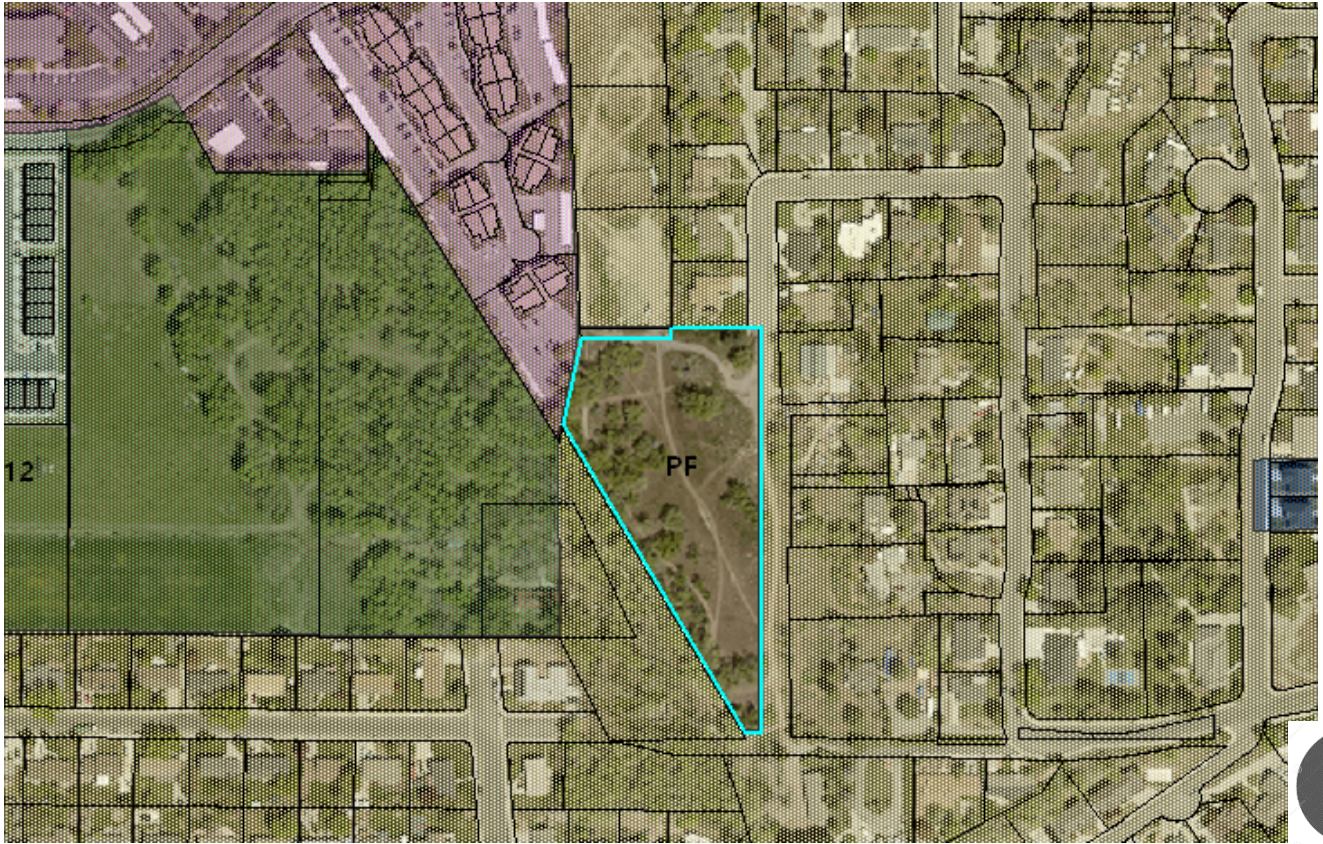
Orem City Neighborhood Meeting Roster

Name	Phone Number	Email
Jay Liechky	801-592-0788	jayliechky@gmail.com
Lawn Mayska	801-358-5228	L.Mayska@comcast.net
Nicole VanOrman	801-362-5199	nicolevanorman@yahoo.com
Joe Lixen	820-426 1922	Joseph.T.Lixen@gmail.com
Ed Lixen		
Pi Chen		
Charlene Cole	801-602-6654	
Klay Assisi	801 994 4528	Klay.Assisi@comcast.net
Crystal Muhlstein	801.1000.5000	

Orem City Neighborhood Meeting Roster

Name	Phone Number	Email
John Massaglia	861 803 3338	John@massaglia.org
Melissa Fukofuka <i>Loop</i>	801.319.2527 <i>Property</i>	MelissaFukofuka@yahoo.com
CARRIS Ed D'	702 Nieste	a

360 W 1500 South



Legend

- HS
- PF
- R8
- R5

Neighborhoods

Lakeview



Street view from 360 West



Planning Commission

May 6th, 2026

PUBLIC HEARING – TEXT AMENDMENT

Request to amend the text of Article 22-11-17(B) of the Orem City Code by including Standard Land Use #7424 “Recreation Centers (General)” as a permitted use in the PD-5 Zone.

Item 5.2:
Text Amendment,
“Fun City”

Prepared By:
Rebecca Gourley
Applicant:
Jun Zhang, Fun City

Notices

Posted in 2 public places
Posted on City Webpage and City hotline
Posted at Utah.gov/pmn

Action

The Commission may:

Recommend APPROVAL of the proposed text amendment to the City Council.

Recommend DENIAL of the proposed text amendment to the City Council.

Continue the hearing to a future date to allow for further review, additional information, or public comment as may be needed.

REQUEST: The applicant requests that the Planning Commission forward a recommendation to the City Council to amend the text of the Zoning Ordinance regulating the allowed uses in the PD-5 zone. The proposed change will allow Standard Land Use #7424, Recreation Centers (General), as a permitted use in the PD-5 zone.

BACKGROUND: In March of 2026, Fun City applied for a building permit to convert 172 East University Parkway, formerly Joanne’s, to an indoor trampoline park. Due to the plan’s amusement elements, which included party rooms, an arcade, zipline, and an indoor playground, the business was classified as a general recreation center (SLU # 7424).

The location is zoned PD-5, which does not allow #7424 as a use in the zone. As a result, the permit was rejected. The applicants consequentially applied for the text amendment to include this use in the PD-5.

REVIEW & ANALYSIS:

Zoning – The PD-5 is a specialized zone that supports retail, service, and commercial uses. It is located primarily along University Parkway, and is surrounded by a mix of residential, commercial, and other service-based zones, such as C2 (Commercial); HS (Highway Services); R6.5, R7.5, R8 (Residential); and other PD zones.

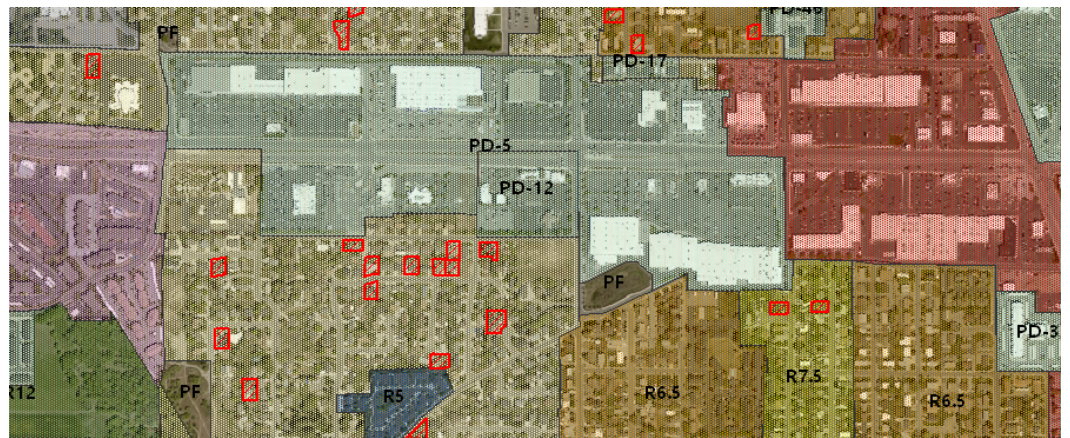


Figure 1, general zoning map of the PD-5 zone

Zone Purpose - Per 22-11-17(A), the purpose of the PD-5 zone is to:

1. Provide locations along the 1300 South corridor for well planned developments that conform with the Master Plan.
2. Permit the development or enlargement of planned commercial, retail and service center development within the zone in close proximity to residential areas, while protecting the character and quality of adjacent residential uses.
3. Permit flexibility in the design of properties within the zone, provided conditions are met which are required by the City Council.
4. Promote an environment within the zone which reflects a high level of concern for architectural, landscaping and urban design principles.
5. Provide developmental guidelines for controlling direct commercial access along 1200 South and 1400 South in order to reduce the conflicts with these local streets without inhibiting the residential uses

These establishment principles are largely enacted through architectural and landscaping ordinances, but also through a restricted use list. Per 22-11-17(B), only the following uses are allowed in the PD-5 zone:

1510	Hotels, tourist courts, and motels
5260	Home Improvement Centers
5392	General Stores
53XX	All General Merchandise Retail Category, (except 5395, Flea Market) NEC*
54XX	All Food Retail Category (except 5420, Farmers Market)
5511	Motor vehicles (new and used)
56XX	All Apparel & Accessories Category
57XX	All Furniture, Home Furnishings and Equipment Category
5810	Restaurants
5811	Fast Food
5910	Drug and proprietary
5931	Antiques
5932	Gold and Silver
594X	Books, Stationary, and Office Supplies Category (except 5949, Video Rental)
5951	Sporting goods
5952	Bicycles
5953	Toys
5970	Computer goods and services
5996	Optical goods
61XX	All Financial, Insurance and Real Estate, Services Category, (except 6161, Pawn Shops)
6220	Photographic Services Category
6230	Beauty and Barber Category

6331	Duplicating, Mailing and Stenographic, Category NEC
6350	News Syndicates Category
6360	Employment Services Category
6392	Business and Management Consulting Services
6396	Photo finishing
65XX	All Professional Services Category (except 6515, Veterinarian Services, Kennels & Runs)
711X	Cultural Activities Category
7212	Motion Picture Theaters
7214	Legitimate Theater
7425	Gymnasiums & Athletic Clubs
7426	Health Spas

General Plan – The PD-5 zone is in an area designated as Regional Commercial (RC) on the General Plan’s land use map. The Regional Commercial classification is intended to “provide locations... for commercial and service uses to serve the needs of people living in an entire region” (Orem City General Plan, pg. 22).

Proposed Text Amendment – The text amendment only proposes to add SLU#7424 “Recreation Centers (General)” to the list of approved uses. No other requests were made.

STATE REQUIRED PROCESS FOR LAND USE AMENDMENTS:

For land use amendments like the requested text amendments in this application, Utah State Code states that the “planning commission shall... review and recommend to the [Orem City Council (“Council”)] a proposed land use regulation that represents the planning commission's recommendation for regulating the use and development of land within all or any part of the area of the municipality. See Utah Code 10-9a-502(1)(d)(i).

The Council “may not make any amendment [to the land use ordinance or zoning map] unless the Council... first submits the amendment to the planning commission for the planning commission's recommendation.” See Utah Code 10-9a-503(2).

ALTERNATIVE ACTIONS:

After review and consideration of the application the Planning Commission may:

Recommend Approval or Denial for the requested amendments to the City Council;
or

Continue the Request to a future date for further review, additional information, or public comment.

ALTERNATIVE MOTIONS:

Motion to Approve or Deny

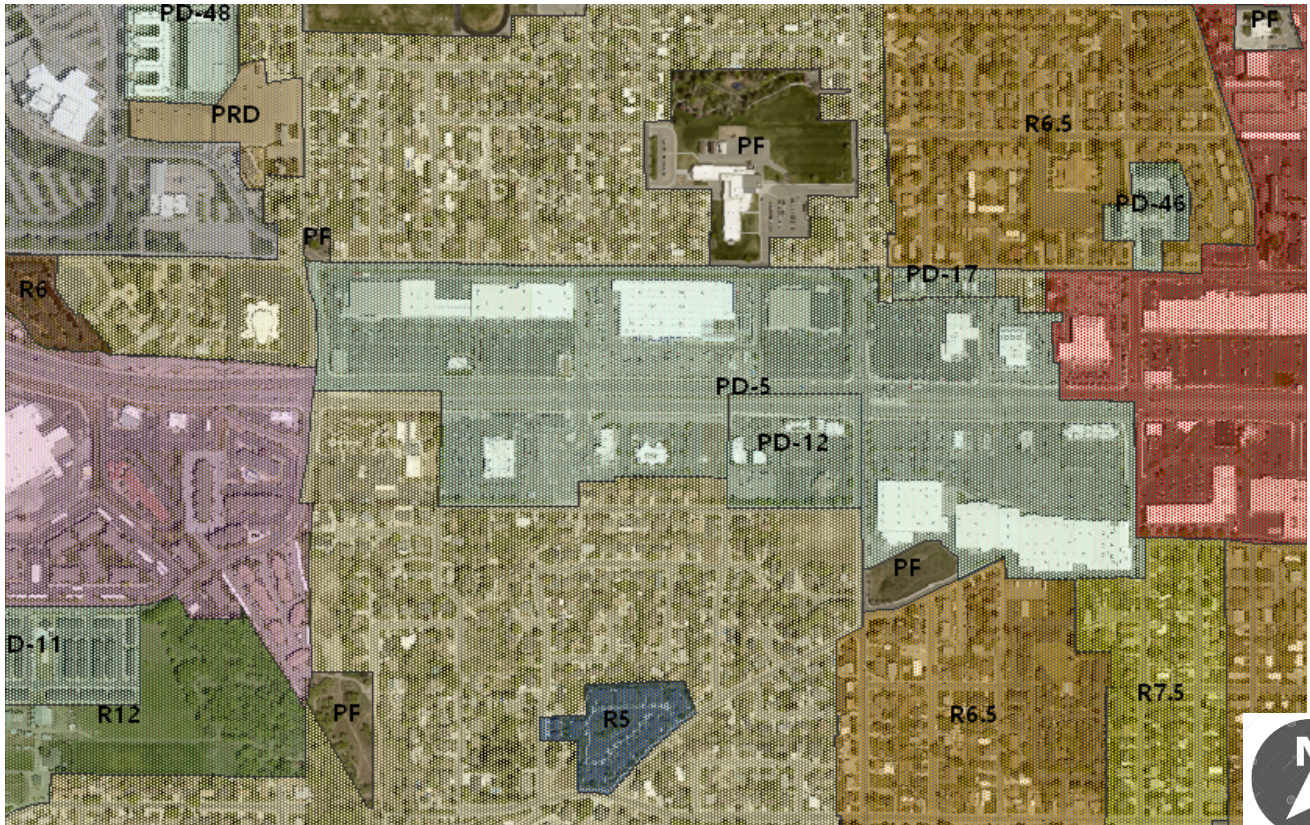
“I move that the Planning Commission forward a recommendation of [choose **APPROVAL** or **DENIAL**] to the Orem City Council for the proposed amendments to

Article 22-11-17(B) of the Orem City Code by including the Standard Land Use Code #7424 "Recreation Centers (General)" as a permitted use in the PD-5 Zone.

Motion to Continue the Request

"I move that the Planning Commission continue this request for further consideration to (choose another date as appropriate)."

PD-5 Zoning and Vicinity Map – University Pkwy



Legend

 C2	 R12	 R5
 PF	 R6.5	 PD
 R8	 R7.5	 HS

Neighborhoods

Lakeridge,
Lakeview and
Cherry Hill





Figure 1, Parking lot view of 172 E University



Figure 2, General street view of 172 E University (from University Parkway)



Planning Commission

May 6th, 2026

PUBLIC HEARING – TEXT AMENDMENT

Request to amend Appendix A of the Orem City Code by including Standard Land Use #6231, “Beauty & Barber Shops” and Standard Land Use #6232 “Tattoo and Body Piercing,” as permitted uses in the M2 (Manufacturing) zone.

Item 5.3:
Text Amendment,
“Mini Moustachery”

Prepared By:
Rebecca Gourley
Applicant:
Ethan Taylor

Notices

Posted in 2 public places
Posted on City Webpage and
City hotline
Posted at Utah.gov/pmn

Action

The Commission may:

Recommend APPROVAL of
the proposed text
amendment to the City
Council.

Recommend DENIAL of the
proposed text amendment
to the City Council.

Continue the hearing to a
future date to allow for
further review, additional
information, or public
comment as may be
needed.

REQUEST: The applicant requests that the Planning Commission forward a recommendation to the City Council to amend the Land Use Matrix in Appendix A. The proposed change will allow Standard Land Use #6231 “Beauty and Barber Shops” and #6232 “Tattoo and Body Piercing” as permitted uses in the M2 zone.

BACKGROUND: The applicant owns a building in the M2 zone, which he currently uses as storage warehouse for his business’s costuming, personal care, and grooming products. The applicant would like to convert the warehouse’s retail front into a barber shop which offers three stylist booths and one tattoo room.

The M2 zone currently does not allow SLU #6231 Barber Shops or #6232 Tattoo and Body Piercing (Incidental to Barber Shops). Consequentially, the applicant has applied for the text amendment to include these uses in the M2 zone.

REVIEW & ANALYSIS:

Zoning – The M2 zone supports a variety of manufacturing and industrial uses, as well as most retail and wholesale trade SLUs. Many services under the SLU 6XXX code, such as machine repair, accounting and financial services, apparel alterations, and wedding reception centers, are also allowed. A full list of allowed uses is available in the City Code under Appendix A.

Zone Purpose - Per 22-9-3 the purpose of the M2 zone is to, “provide areas where heavy intensity industrial activities and uses can be developed.”

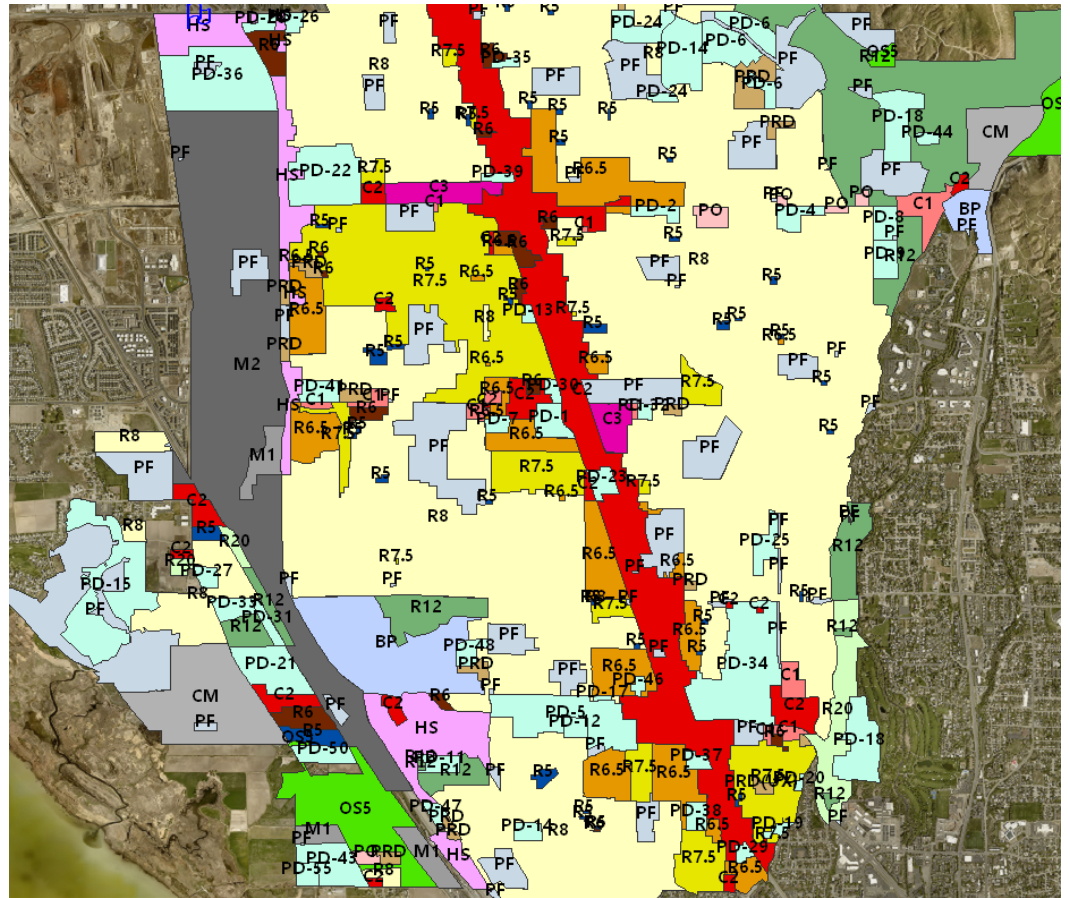


Figure 1, Orem City zoning map. The M2 zone is displayed in dark grey.

Currently, all M2 zones are located to the west of the I-15, or in northwest Orem; however, location is not a requirement of the M2 zone. It should be noted that any property located within Orem City limits may petition to adopt the M2 zone.

Proposed Text Amendment – The text amendment proposes to add both SLU #6231 Beauty and Barber Shops and #6232 Tattoo and Body Piercing (Incidental to Barber Shops). It should be noted that SLU #6232 Tattoo and Body Piercing may only be allowed as an accessory use to a beauty or barber shop, wherein the tattoo or body piercing activity contributes to 15% or less of the shop’s total revenue.

Therefore, if the applicant desires to provide tattoo services, beauty and barber shops must also be approved as a use in the zone.

Building Code Impacts – Should these uses be added to the M2 zone, any building previously classified as a warehouse (Occupancy “S” per International Building Code (IBC)) seeking to become a barber shop must adhere to Occupancy “B” IBC standards.

Occupancy “B” is a rating designated for commercial and office spaces and has greater safety and accessibility requirements. This occupancy rating generally requires more bathrooms, higher fire-rating materials for between-unit walls, and additional safety exits, as required by square footage.

Occupancy changes and their respective building inspections are initiated during the business license process. If an applicant needs to complete work to achieve the standards of a new occupancy rating, the license application may be paused, and a building permit will be required.

STATE REQUIRED PROCESS FOR LAND USE AMENDMENTS:

For land use amendments like the requested text amendments in this application, Utah State Code states that the “planning commission shall... review and recommend to the [Orem City Council (“Council”)] a proposed land use regulation that represents the planning commission's recommendation for regulating the use and development of land within all or any part of the area of the municipality. See Utah Code 10-9a-502(1)(d)(i).

The Council “may not make any amendment [to the land use ordinance or zoning map] unless the Council... first submits the amendment to the planning commission for the planning commission's recommendation.” See Utah Code 10-9a-503(2).

ALTERNATIVE ACTIONS:

After review and consideration of the application the Planning Commission may:

Recommend Approval or Denial for the requested amendments to the City Council;
or

Continue the Request to a future date for further review, additional information, or public comment.

ALTERNATIVE MOTIONS:

Motion to Approve or Deny

“I move that the Planning Commission forward a recommendation of [**choose APPROVAL or DENIAL**] to the Orem City Council to amend Appendix A of the Orem City Code by including Standard Land Use #6231, “Beauty & Barber Shops” and Standard Land Use #6232 “Tattoo and Body Piercing,” as permitted uses in the M2 (Manufacturing) zone.

Motion to Continue the Request

“I move that the Planning Commission continue this request for further consideration to (choose another date as appropriate).”



Planning Commission
May 6th, 2025

**5.4:
ROW Vacation**

PUBLIC HEARING – Right-Of-Way Vacation
Request to vacate a 0.16-acre portion of the 1000 South right-of-way terminating at 590 East.

Prepared By:
Jared Hall

Applicant:
Woodbury Group

Notices:

Posted in 2 public places
Posted on City Webpage and City hotline
Posted at Utah.gov/pmn
Notices sent to property owners adjacent to that portion of ROW to be vacated

Site Information:

General Plan Designation:
Low Density Residential

Current Zone: **PD-34**

Acreage: **0.16 acres**

Neighborhood: **Hillcrest**

Action:

The Planning Commission is an advisory body in this application and should forward a recommendation to the City Council to approve or deny the request to vacate a portion of the right-of-way.

REQUEST: The applicant requests that the Planning Commission forward a positive recommendation to the City Council for the proposed vacation of a portion of the right-of-way.

BACKGROUND: Plans for a new Home Depot have recently been approved by the Planning Commission and City Council, including a subdivision and site plan. The property (approximately 575 East 1000 South) is part of the University Place shopping center adjacent to a residential neighborhood.



Figure 1: Right-of-Way at 1000 South, portion to be vacated highlighted in red.

REVIEW & ANALYSIS: The public right-of-way at 1000 South currently terminates at University Place. The subdivision and site plans have anticipated that the end of the right-of-way would be vacated and included in the Home Depot development.

Zoning – The ROW to be vacated was included in the PD-34 Zone (University Place) with additional property adjacent to it. That request was approved late in 2025. As you can see in the illustration below, the lots adjacent to the ROW to be vacated

had been acquired by University Place and rezoned for inclusion in the Home Depot site plan. The ROW that is the subject of this request is shown in red below.

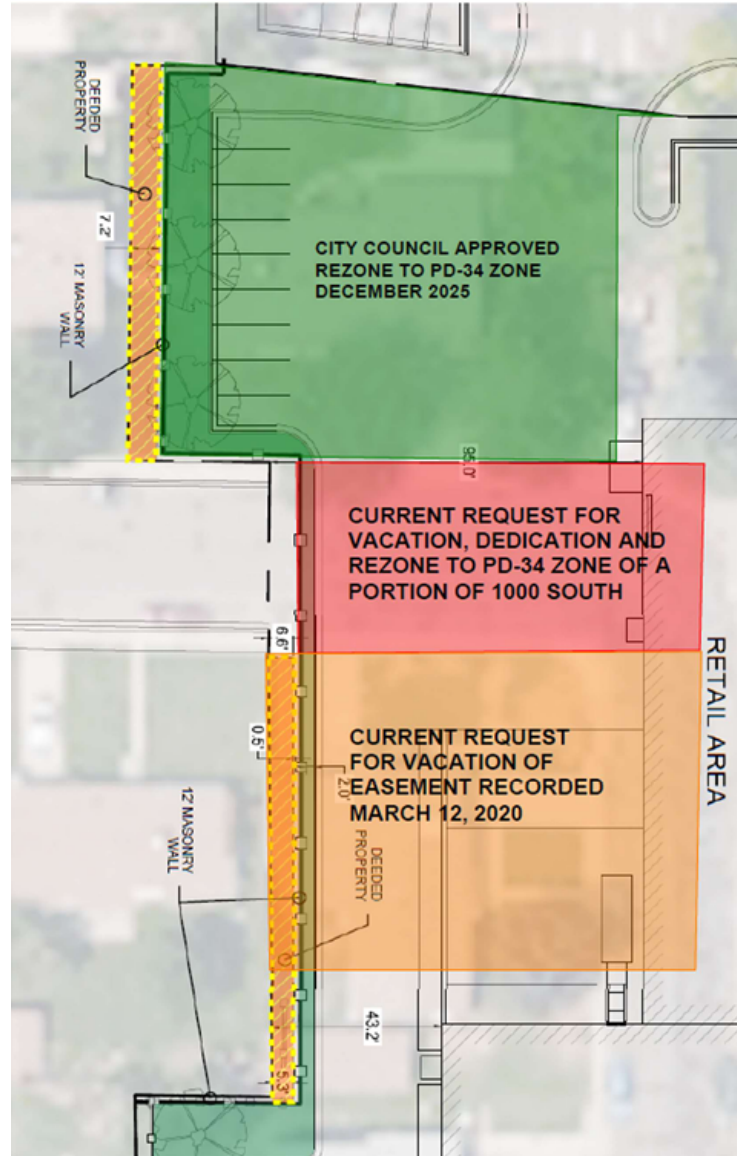


Figure 2: Showing the portion of 1000 South to be vacated relative to adjacent parcels inside and outside the Home Depot site.

Process – The vacation of right-of-way requires a review and recommendation by the Planning Commission and final decision by the City Council. Rights-of-Way are distinct from property that is held in other ways and cannot be declared surplus and sold. The City (or other entity) must vacate their interest and ownership of the right-of-way and then deed the property to the adjacent property owners abutting on either side. In this case the applicant is the only abutting property owner. The remainder of the 1000 South ROW will be unaffected by the action to vacate, and all homes abutting it will still have access via 1000 South. An exhibit prepared by the applicants based on survey legally describes the portion to be vacated. Please see below, highlighted in red.

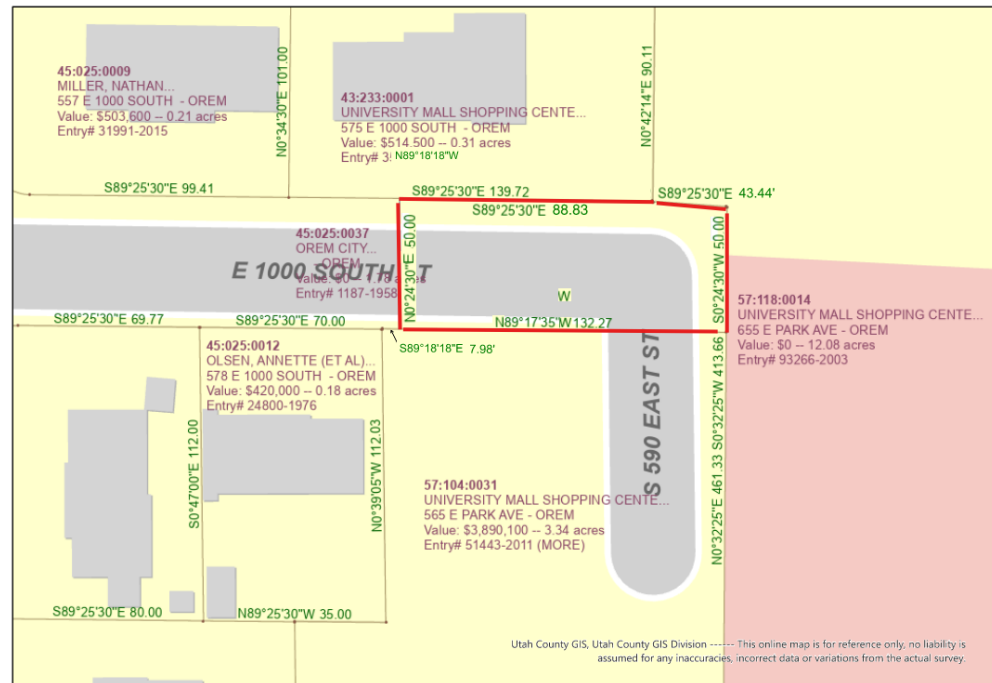


Figure 3: Legal description of the ROW portion to be vacated.

STATE REQUIRED PROCESS FOR LAND USE AMENDMENTS:

For land use amendments like the requested zone change, Utah State Code states that the “planning commission shall... review and recommend to the [Orem City Council (“Council”)] a proposed land use regulation that represents the planning commission's recommendation for regulating the use and development of land within all or any part of the area of the municipality. See Utah Code 10-9a-502(1)(d)(i).

The Council “may not make any amendment [to the land use ordinance or zoning map] unless the Council... first submits the amendment to the planning commission for the planning commission's recommendation.” See Utah Code 10-9a-503(2).

ALTERNATIVE ACTIONS

After review and consideration of the request, the Planning Commission may:

- **Recommend Approval** of the request to vacate the right-of-way.
- **Recommend Denial** of the request to vacate the right-of-way.
- **Continue the Request** to a future date for further review, additional information, or public comment.

ALTERNATIVE MOTIONS:

Motion to Approve or Deny

“I move that the Planning Commission forward a recommendation of [choose **APPROVAL** or **DENIAL**] to the City Council for the request to vacate the 0.16-acre portion of the 1000 South right-of-way terminating at 590 East as described.

Motion to Continue the Request

“I move that the Planning Commission continue this request for further consideration to (choose another date as appropriate).”