



CITY OF OREM
PLANNING COMMISSION MEETING
56 North State Street, Orem, Utah
May 7, 2025

*This meeting may be held electronically
to allow a Commission member to participate.*

4:30 PM PRE-MEETING – AGENDA REVIEW, CITY COUNCIL CONFERENCE ROOM, 56
NORTH STATE STREET, OREM, UT

1 General Plan Update: Land Use Continued

5:30 PM REGULAR SESSION – CITY COUNCIL CHAMBERS

1. CALL TO ORDER
2. INVOCATION/INSPIRATIONAL THOUGHT: BY INVITATION
3. CONSENT AGENDA ITEMS

3.1 Meeting Minutes, April 16th, 2025

3.2 Bank Of America - Site Plan - Located generally at 1300 S State Street

3.3 Dex Auto - Site Plan - Located generally at 1901 N State Street

3.4 Aspen Grove - Site Plan - Located generally at 1350 E 740 North

3.5 Better Homes Plat B - Plat Amendment

4. ACTION ITEMS AND PUBLIC HEARINGS

5. ADJOURN

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL PLANNING COMMISSION MEETINGS.
If you need a special accommodation to participate in the Planning Commission Meetings and Study Sessions,
please call the Development Services Office at least 3 working days prior to the meeting.
(Voice 801-229-7183)

This agenda is also available on the City's webpage at orem.org

CITY OF OREM
PLANNING COMMISSION MEETING MINUTES
April 16th, 2025

The following items are discussed in these minutes:

- **WORK SESSION** – Discussion of General Plan Update: Land Use Element Draft
- **CONSENT AGENDA ITEMS** – All items approved:
 - **3.1 Minutes** – Review and Approve the Minutes from the March 19, 2025 Meeting – Approved
 - **3.2 Minutes** – Review and Approve the Minutes from the April 2, 2025 Meeting – Approved
 - **3.3 Apple Pointe – Preliminary Plat** – Located generally at 230 E 2000 South – Approved
 - **3.4 Bishop Estates – Preliminary Plat** – Located generally at 526 N 400 East – Approved
 - **3.5 Orem Center For Change – Preliminary Plat** – Located generally at 1748 N State St – Approved
 - **3.6 Shallenberger – Preliminary Plat** – Located generally at 1331 S 1000 East – Approved
 - **3.7 Sunflower Dunes – Preliminary Plat** – Located generally at 1450 S 360 West – Approved
- **ACTION ITEMS:**
 - **4.1 NEIGHBORHOOD MEETING TEXT AMENDMENT**, continued from March 19, 2025 – Ordinance amending Articles 22-14-20(1) and 22-1-5(G) modifying requirements for the conduct of neighborhood meetings in advance of applications to the Planning Commission.

A recording of this meeting can be accessed at <https://www.youtube.com/live/MccXqxjFOk?si=umpy9mbr-Q4DQ-NX>.

WORK SESSION

Place: Orem City Council Chambers

At **4:32 p.m.** Chair Komen called the Work Session to order.

Those present: Mike Carpenter, Gerald Crismon, Rod Erickson, James (Jim) Hawkes, and Madeline Komen, Planning Commission members; Gary McGinn, Development Services Director/Legal Counsel; Jared Hall, Planning Division Manager; Grace Bjarnson Associate Planner; Grant Allen, Matthew Taylor Senior Planners.

Those excused: Britton Runolfson and Haysam Sakar, Planning Commission members.

1. **General Plan Update:** Staff presented the Land Use Element Draft for Commissioner discussion. (see attached)

Commissioners emphasized the importance of moving beyond broad designations to include area-specific strategies. They discussed how principles like encouraging complementary land uses, stimulating corridor investment, and reducing reliance on PRDs could shape future zoning and development patterns. Several members suggested identifying key areas—such as Geneva Road, the tech park, and eastern parcels—for possible small area plans.

A significant portion of the meeting focused on the Geneva Road corridor, including insights from a recent coordination meeting with Vineyard’s planning staff. Vineyard’s long-term plans include medical development, a UVU satellite campus, and expanded trail systems, all of which could impact development on Orem’s side of the corridor. The commission discussed how best to position Orem to respond to these changes, including the possibility of adopting more flexible or mixed zoning categories.

Staff proposed that Geneva Road could serve as a model for identifying similar planning needs citywide. Commissioners supported this approach and expressed interest in reviewing revised language for the land use element at the next meeting. Additional meeting dates and document access were also briefly discussed as next steps.

The work session concluded around 5:25 PM in preparation for the regular meeting.

REGULAR MEETING

Place: Orem City Council Chambers

At 5:33 p.m. Chair Komen called the Planning Commission meeting to order. Gerald Crimson offered the invocation.

Those present: Mike Carpenter, Gerald Crimmon, Rod Erickson, James (Jim) Hawkes, and Madeline Komen, Planning Commission members; Gary McGinn, Development Services Director/Legal Counsel; Jared Hall, Planning Division Manager; Grace Bjarnson Associate Planner; Grant Allen, Matthew Taylor Senior Planners.

Those excused: Britton Runolfson and Haysam Sakar, Planning Commission members.

Agenda Item 3, Consent Agenda: Chair Komen introduced the Consent Agenda items. Chair Komen asked if anyone had additional comments to make on the items, or if anyone would like to remove or continue any items. No questions, comments, or removals were posed. Chair Komen requested a motion on the Consent Agenda, which contains the following items:

- **3.1 Minutes** – Review and Approve the Minutes from the March 19, 2025 Meeting
- **3.2 Minutes** – Review and Approve the Minutes from the April 2, 2025 Meeting
- **3.3 Apple Pointe – Preliminary Plat** – Located generally at 230 E 2000 South
- **3.4 Bishop Estates – Preliminary Plat** – Located generally at 526 N 400 East
- **3.5 Orem Center For Change – Preliminary Plat** – Located generally at 1748 N State St
- **3.6 Shallenberger – Preliminary Plat** – Located generally at 1331 S 1000 East
- **3.7 Sunflower Dunes – Preliminary Plat** – Located generally at 1450 S 360 West

James Hawkes motioned to approve the Consent Agenda. Rod Erickson seconded the motion. The motion passed unanimously.

Agenda Item 4, Action Items and Public Hearings

4.1 NEIGHBORHOOD MEETING TEXT AMENDMENT, continued from March 19, 2025 – Ordinance amending Articles 22-14-20(I) and 22-1-5(G) modifying requirements for the conduct of neighborhood meetings in advance of applications to the Planning Commission.

Staff presented proposed text amendments to Articles 22-14-20(I) and 22-15(G) of the Orem City Code regarding neighborhood meeting requirements (see attached). The amendments included:

- Requiring neighborhood meetings to be held after 6:00 PM on weekdays or after 9:00 AM on Saturdays. Meetings may not be held on holidays, the day before or after a holiday, or on nights when City Council or Planning Commission meetings are scheduled.
- Expanding notice distances to 2,000 feet for rezone requests and 1,000 feet for commercial site plans, with notices to be mailed at least 21 calendar days prior to the meeting.
- Requiring applicants to use a city-provided notice template containing proposal details, a vicinity map, and contact information.
- Mandating use of city-provided forms for attendance rosters and meeting minutes, with options for written public comments.
- Requiring a clear presentation of the proposed project during the meeting.
- Stipulating that additional meetings will be required if no concept is presented or if the proposal changes significantly.
- Removing outdated references to notices for small lot adjustments, which are already exempt from neighborhood meeting requirements.

During discussion, the Commission added a clarification that neighborhood meetings may not be held on the Saturday before a Monday holiday.

PC Action: Rod Erickson moved to forward a positive recommendation to the City Council. James Hawkes seconded the

motion. The motion passed unanimously

Closing Comments: Gary McGinn provided a reminder that the next meeting would be in the new City Hall building, and an Open House would be held Tuesday, April 22 with operations in the new building beginning the following day.

Adjournment: Chair Komen called for a motion to adjourn. Vice Chair Carpenter motioned to adjourn; James Hawkes seconded the motion. The motion passed unanimously, and the Regular Session adjourned at 5:44 PM.

Reviewed and Approved:

A complete video of the meeting can be found at www.orem.org/meetings

1. INTRODUCTION

Family City USA

The City of Orem was founded in 1919, named in honor of Walter C. Orem, a prominent figure in the Utah railroad industry who founded the 'Orem Line' of the first Utah electric railroad. Initially called the "Provo Bench", the City was known for its fertile orchards and farmlands. Orem has evolved from its agricultural roots into a vibrant and thriving city, and the commercial hub of Utah County. In recent years, Orem has earned accolades as one of the best places to live and raise a family. As Orem plans to manage future growth and development, the General Plan will provide a framework for evaluating and understanding proposed changes and will help Orem continue to be "Family City USA."

History Overview

The need for a reliable water system led to Orem's incorporation, with residents issuing bonds to address the area's water shortage. Unlike many Utah towns, Orem developed through homesteads along major roads rather than clustered city blocks. Cultural growth in Orem was significantly influenced by the Sharon Community Educational and Recreational Association (SCERA), established in 1933, which fostered a strong sense of community. SCERA and the City maintain strong ties which support the community's deep commitment to culture and the arts. The construction of the Geneva Steel plant in the 1940s spurred industrial growth on the west side, transforming Orem from an agricultural community to an employment hub. The plant operated until the early 2000s and is now part of a redevelopment project in Vineyard City. The school that would grow to become Utah Valley University was founded in 1941. Today, UVU has the largest student population in the State of Utah. In 1946, the city's zoning ordinance designated the entire State Street corridor for commercial use, attracting numerous businesses and setting the City on a path to become the commercial center of Utah County. As commercial and industrial growth continued, it expanded to include a significant technology sector, starting with the founding of the WordPerfect Corporation. Orem has been and continues to be a place where things come together. For more detailed history, please see Appendix A.

Structure of the Plan

The Orem General Plan serves as the City's official guide for growth, development, conservation, and land use. The General Plan helps to provide consistency to land use decision making: while it avoids designating specific locations for developments, it establishes overarching policies and procedures that ensure informed decision making over time. The plan includes the following elements:

1. **Introduction:** Details the plan's purpose and provides a brief historical overview of Orem.
2. **Land Use:** Strategies for balanced, orderly development.
3. **Redevelopment:** Plans and programs to address historic preservation, redevelopment of land including housing sites, business sites, industrial sites and public building sites.

4. **Economics:** Economic goals to strengthen the City's commercial base by attracting businesses, supporting local enterprises, creating employment opportunities, and fostering innovation and long-term prosperity.
5. **Transportation:** Plans for current and future transportation needs, including active transportation and public transit.
6. **Water Use and Conservation:** Assesses the impact of permitted development on water demand and infrastructure while identifying strategies to optimize water use.
7. **Housing:** Analysis of demographic trends and strategies to facilitate affordable housing options and promote owner-occupancy.
8. **Parks & Recreation:** Strategies and plans for Parks, Recreation, Trails, and Open Space.
9. **Public Services:** Overview of public infrastructure needs, community services, public safety, and impact fees.
10. **Urban Design:** Strategies for shaping the city's urban landscape and infrastructure.
11. **Appendix:** Expanded chapters of history, maps, documents, additional data and referenced plans.

Key Priorities and Strategies

The City's goals and priorities are centered around the preservation and furtherance of development that promotes Orem as *Family City USA*, while improving quality of life. The General Plan will promote these priorities with a focus on redevelopment, economic vitality, efficient transportation, water management, the promotion of owner-occupied housing, enhanced parks and recreation, robust and sustainable public services, and thoughtful consideration of architecture and streetscapes. Orem is committed to creating a thriving community while preserving the character of existing neighborhoods. Within the various elements of the Plan, the following areas of focus will be highlighted, and goals and objectives will aim to support them:

Safe and Livable Neighborhoods. As Family City USA, neighborhoods are at the heart of Orem City. To promote safe and livable neighborhoods, the City intends to:

- Regulate short term rentals (STRs) to assure the peaceful enjoyment and family-friendly atmosphere of residential neighborhoods.
- Promote targeted approaches to owner occupancy in 60% of all residential units and to create a balanced mix of housing options that promotes owner occupancy.
- Make timely updates to the General Plan and the Housing Element to assure strong connections and communication between the City Leadership, City Staff, and Orem citizens.

- Plan for the development of the HeArt of Downtown to create an arts and entertainment district between the SCERA and the City Center.

Thriving and Balanced Business Environment. Orem City has a strong economic foundation, and recognizes the importance of protecting and enhancing the environment that has allowed it to thrive. The City will seek opportunities to allow the business community to evolve and grow stronger by:

- Creating opportunities for local and smaller businesses to locate and grow in Orem, exploring incubator space opportunities, business development programs, and commercial development plans that complement the areas in which they are located.
- Fostering connections with Utah Valley University to create an environment of commercial innovation in Orem.

Dependable Infrastructure. Infrastructure is crucial to the planning of the City. Orem is committed to investments in infrastructure that support by:

- Supporting timely updates to the Master Transportation Plan and prioritizing traffic solutions for existing neighborhoods and business rather than for pass-through commuters.
- Including in-depth reviews of the impacts of proposed development to existing public infrastructure.
- Supporting efforts to improve the connection and availability of trails, public transit, and active transportation options in Orem.
- Defining and expanding Orem's trail system through the implementation of the Orem Parks, Recreation, Trails, and Open Space Master Plan.
- Adopting an Active Transportation Master Plan.
- Continuing efforts for responsible water use in new-build and redevelopment projects.
- Studying the feasibility of implementing requirements for Low Impact Development (LID) techniques and systems in site planning and development.

	PLANNING COMMISSION April 16, 2025	Item 4.1
	PUBLIC HEARING Text Amendment Neighborhood Meetings – (Continued from March 19, 2025) Amending the text of Article 22-14-20(I) and Article 22-1-5(G) of Orem City Code related to required neighborhood meetings for land use applications	Prepared By: Jared Hall Applicant: Planning Division

Notices

Posted in 2 public places

Posted on City Webpage and City hotline

Posted at Utah.gov/pmn

Action

The Commission may:

Recommend that the City Council approve the proposed text amendment.

Recommend that the City Council deny the proposed text amendment.

Continue the hearing to a future date to allow for further review, additional information, or public comment as may be needed to make a decision.

REQUEST:

The Planning Division proposes to amend the text of Section 22-14-20(I) and Section 22-1-5(G) of the City Code modifying the requirements for conducting neighborhood meetings in advance of applications to the Planning Commission.

BACKGROUND:

In cases of requests for rezones and for site plans in and adjacent to residential zoning, the City Code requires neighborhood meetings before an application can be made. The applicants are required to notice and conduct those meetings. During 2024, planning staff began consideration of some changes to Articles 22-1-5(G) and 22-14-20(I) which lay out the requirements for the neighborhood meetings. The Planning Commission reviewed these proposed changes at a public hearing on February 19, 2025, and then again on March 19, 2025. The latest draft changes based on those meetings are attached to this report for review. The changes are summarized in the review section below.

REVIEW:

An applicant for site plan approval (Section 22-14-20) or for a rezone of property (Section 22-1-5) is required to hold a neighborhood meeting before their request is reviewed by the Planning Commission. The proposed changes are essentially duplicated in both these sections.

1. **Dates for the Meeting** – Neighborhood meetings must be held on weeknights after 6:00 p.m., or Saturdays after 9:00 a.m., and they may not be held on a holiday or the day before or after a holiday. The draft language also would not allow meetings to be held on the same night as an Orem City Council or Planning Commission meeting. These restrictions are to make sure that most people who may be interested can easily attend without conflict.
2. **Noticing Distance** – After discussions with the Planning Commission, the draft language includes different requirements for the distance that Notices must be sent to all owners of real property located within a certain radius of the subject property or properties, based on the type of request:

- 1) Zoning Map amendments, 2,000-foot radius.
- 2) Commercial site plans, 1,000-foot radius.
3. Notice Timing – Draft language includes an increase in the length of lead-time for applicants to send the notices to neighboring property owners from one week to twenty-one (21) calendar days.
4. Notice Content – Draft language requires the notice to include date, time, place, and contact information, but also requires the applicant to use a template form provided by the city (attached, as reviewed).
5. Meeting Conduct – Draft language has been included that instructs an applicant to explain their proposal at the meeting and to keep a roster and meeting minutes using template forms provided by the city (attached).
6. Additional Meetings – Finally, the draft language includes a notice to the applicants that an additional meeting will be required if the first meeting was held to obtain input from neighbors or if the concept plans were not shown or will change after then meeting.

STATE REQUIRED PROCESS FOR LAND USE AMENDMENTS:

For land use amendments like the requested text amendments in this application, Utah State Code states that the “planning commission shall... review and recommend to the [Orem City Council (“Council”)] a proposed land use regulation that represents the planning commission's recommendation for regulating the use and development of land within all or any part of the area of the municipality. See Utah Code 10-9a-502(1)(d)(i).

The Council “may not make any amendment [to the land use ordinance or zoning map] unless the Council... first submits the amendment to the planning commission for the planning commission's recommendation.” See Utah Code 10-9a-503(2).

ALTERNATIVE ACTIONS

After review and consideration of the application, the Planning Commission may:

Recommend Approval of the proposed text amendments.

Recommend Denial of the proposed text amendments.

Continue the request to a future date for further review, additional information, or public comment as needed to make a recommendation.

ALTERNATIVE MOTIONS:

Motion to recommend approval or denial

"I move that the Planning Commission forward a recommendation of **[choose: approval or denial]** to the City Council for the proposed amendments to the text of Article 22-14-20(I) and Article 22-1-5(G) of the Orem City Code.

Motion to Continue the Request

"I move that the Planning Commission continue this request for further consideration to (choose another date as appropriate).

22-14-20(I)

- I. **Neighborhood Meeting.** The applicant for a site plan within or adjacent to a residential zone shall hold a neighborhood meeting prior to submitting an application for site plan approval. The neighborhood meeting shall be held on any weeknight after 6:00 p.m. or Saturday after 9:00 a.m. to provide the best opportunity for the neighbors to attend. The meeting shall not be held on a holiday or the day before or after a holiday. The meeting shall not be held on the same night as a meeting of the Orem City Council or Planning Commission. The applicant shall send written notice of the place, date, and time of the neighborhood meeting to all property owners, as listed in the records of the Utah County Recorder, located within one-thousand feet (1000') of the subject property. Notices shall be postmarked at least twenty-one (21) calendar days prior to the date of the meeting. ~~site if attached residential units are included in the site plan or within five hundred (500') feet if attached residential units are not included in the site plan.~~ The notice shall be ~~written on letterhead made using the template provided by Orem City and shall -which~~ includes the contact information of the applicant including ~~but not limited to~~ a name, address, phone number, and an e-mail address. ~~The notice must include the existing zoning classification of the subject property and the zoning classification that the applicant is requesting for the property.~~ The notice must also include the place, date, and time of the meeting, and the following language:

“Pursuant to Orem City Code Section 22-14-20(I), this meeting is being held to discuss the project with you. This is an opportunity for you to review the plans and provide input and recommendations regarding the project. This application has not yet been reviewed by the city and is subject to change during the review process.”

~~All required notices shall be provided at least one week prior to the date of the meeting.~~ The neighborhood meeting must be conducted at a location within the city boundaries. ~~The neighborhood meeting shall be held on any weeknight after 6:00 p.m. or Saturday after 9:00 a.m. to provide the best opportunity for the neighbors to attend. The meeting shall not be held on a holiday or the day before or after a holiday.~~ Phone calls or informal door-to-door contacts are not considered neighborhood meetings. The applicant must provide a brief explanation of the request or proposed project at the meeting. The applicant shall keep detailed minutes of the content of the neighborhood meeting and a roster of those attending using the templates provided by the City. The application for site plan approval shall include a list of all individuals who were notified, ~~a the~~ roster of attendees, and a copy of the minutes from the neighborhood meeting. A second neighborhood

meeting will be required if the first meeting is held as an information gathering meeting to obtain input from surrounding property owners and/or a proposed concept plan is not provided for review or the concept plan changes after the meeting is held. -This requirement shall not apply to minor amendments to existing sites as provided under Section 22-14-20 (C)(3) of this chapter.

22-1-5(G), Draft Date 4/11/25

- G. A neighborhood meeting must be held prior to the submission of an application to rezone any property. The neighborhood meeting shall be held on any weeknight after 6:00 p.m. or Saturday after 9:00 a.m. to provide the best opportunity for the neighbors to attend. The meeting shall not be held on a holiday or the day before or after a holiday. The meeting shall not be held on the same night as a meeting of the Orem City Council or Planning Commission. The applicant shall send a written notice of the neighborhood meeting to the owners of all property, as listed in the records of the Utah County Recorder, located within ~~one~~two thousand feet (~~1000'~~2000') of the ~~site~~subject property. Notices shall be postmarked at least twenty-one (21) calendar days prior to the date of the meeting. ~~if attached residential units will be allowed under the proposed rezone and within five hundred feet (500') if attached residential units will not be allowed under the proposed rezone.~~ The notice shall be made using the template provided by Orem City and shall written on letterhead which includes the contact information of the applicant, including ~~but not limited to~~ a name, address, phone number, and an e-mail address. The notice must include the place, date, and time of the neighborhood meeting, the existing zoning classification of the subject property and the zoning classification that the applicant is requesting for the property. The notice must also include the following language:

“Pursuant to Orem City Code Section 22-1-5(G), this meeting is being held to discuss the project with you. This is an opportunity for you to review the plans and provide input and recommendations regarding the project. This application has not yet been reviewed by the city and is subject to change during the review process.”

~~All required notices shall be provided at least one week prior to the date of the meeting.~~ The neighborhood meeting must be conducted at a location within the city boundaries. ~~The neighborhood meeting shall be held on any weeknight after 6:00 p.m. or Saturday after 9:00 a.m. to provide the best opportunity for the neighbors to attend. The meeting shall not be held on a holiday or the day before or after a holiday.~~ Phone calls or informal door-to-door contacts are not considered neighborhood meetings. The applicant must provide a brief explanation of the request at the meeting. The applicant shall keep detailed minutes of the content of the neighborhood meeting and a roster of those attending using the templates provided by the city. The application for rezone shall include a list of all individuals who were notified ~~of the meeting, a the~~ roster of attendees ~~at the meeting~~, and a

copy of the minutes from the neighborhood meeting. A second neighborhood meeting will be required if the first meeting is held as an information gathering meeting to obtain input from surrounding property owners and/or a proposed concept plan is not provided for review or the concept plan changes after the meeting is held.

	PLANNING COMMISSION May 7, 2025	Item 3.2
	Bank of America - Orem 1320 South State Street Site Plan Approval Office, C2 Zone	Prepared By: Matt Taylor Applicant: Joanna Graham

Notices:

Posted in 2 public places.
Posted on City Webpage and City hotline.
Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:
Commercial

Zoning: **C2 - Commercial**

Total Acreage: **0.69**

Action:

The Planning Commission is the Land Use Authority and the approving body for this item.

REQUEST:

The applicant, Johanna Graham, requests site plan approval for a proposed commercial building on property located generally at 1320 South State Street in the C2 Zone, comprising 0.69 acres.

BACKGROUND:

The subject consists of one existing parcel, the site of a vacant gas station. The applicant plans to remove the gas station and build an office building that will initially house a Bank of America branch.

REVIEW: Staff has reviewed the site plans for compliance with all C2 zone standards, other applicable development regulations and site plan approval regulations and has found the proposal to comply.

DEVELOPMENT REVIEW COMMITTEE: The Development Review Committee (DRC) reviewed the site plan on Monday, March 24, 2025. The DRC voted to approve, and did not forward any conditions to the Planning Commission.

ACTIONS: The Planning Commission is the designated Land Use Authority for site plan approval. The Commission may **approve** or **deny** the request for site plan based upon findings of compliance or noncompliance with Orem City Code. The Commission may also choose to **continue** their consideration of the request and ask for additional information or analysis.

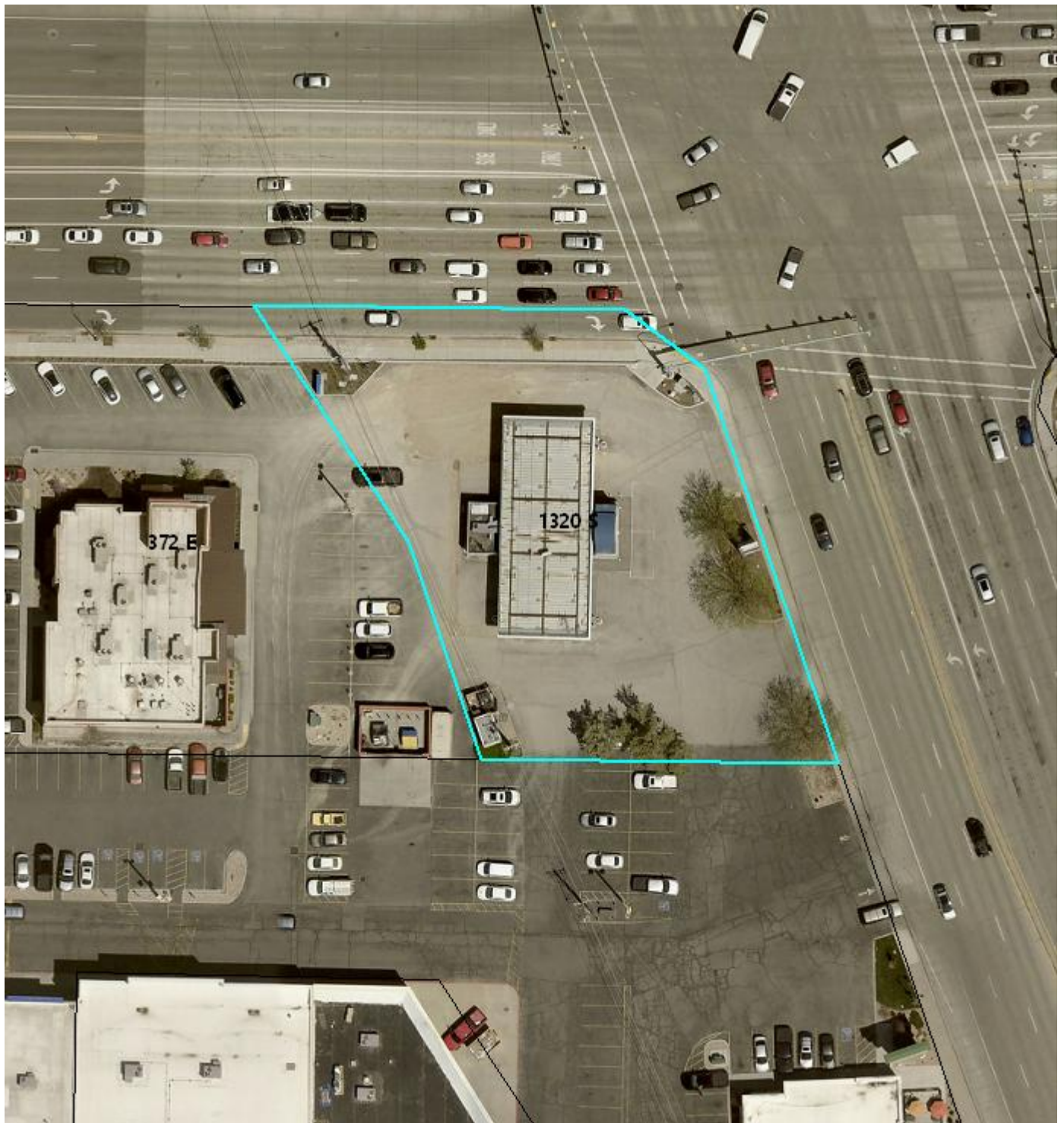


ACTIONS: The Planning Commission is the designated Land Use Authority for preliminary subdivisions. The Commission may approve or deny the request for preliminary subdivision or may choose to continue their consideration of the request and ask for additional information or analysis.

Bank Of America – 1300 S State Street, Orem Utah Current Street View



Bank Of America – 1300 S. State Street



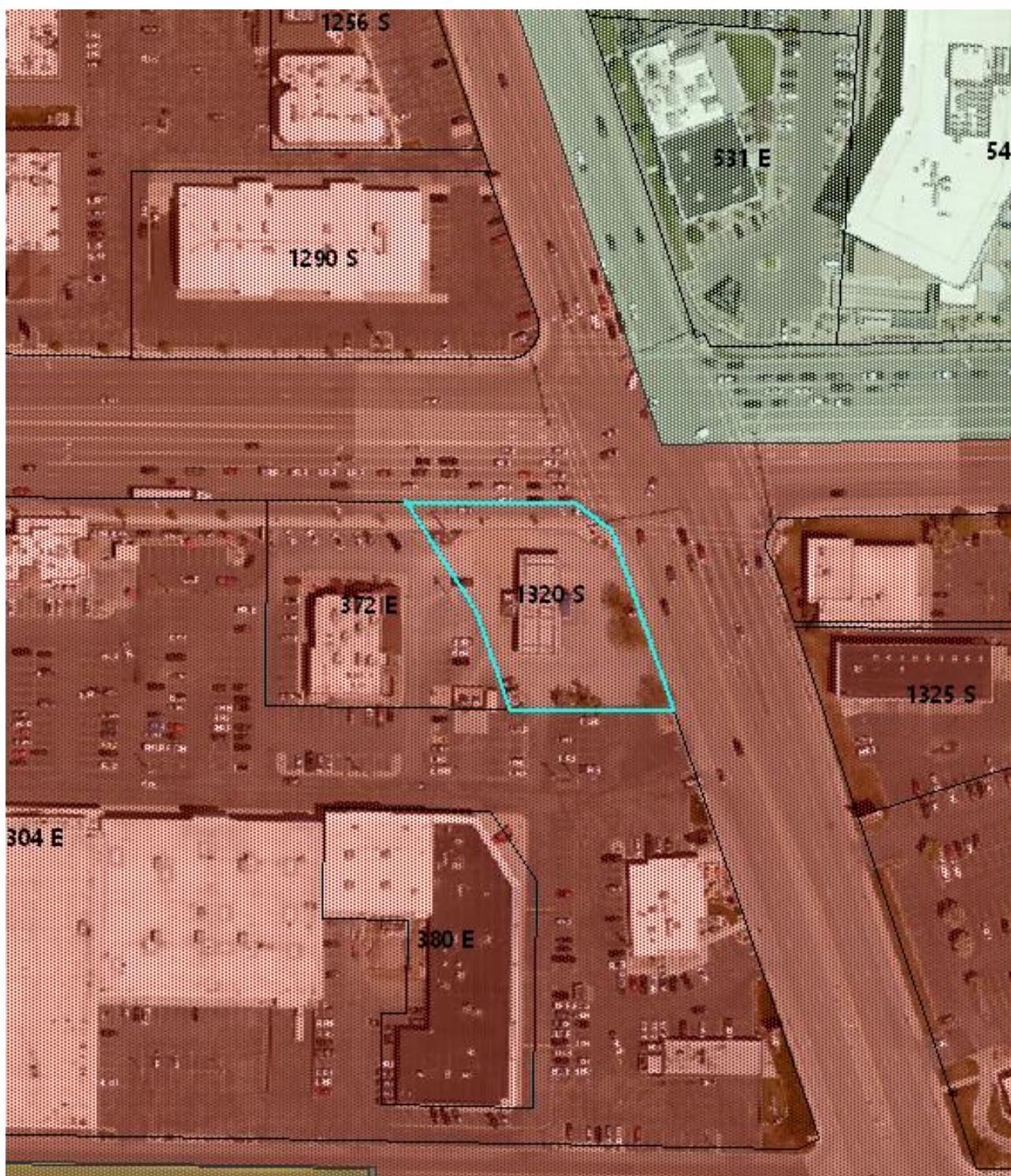
Vicinity Map

Zone: C2

Acres: .68 Acres



Bank Of America – 1300 S. State Street



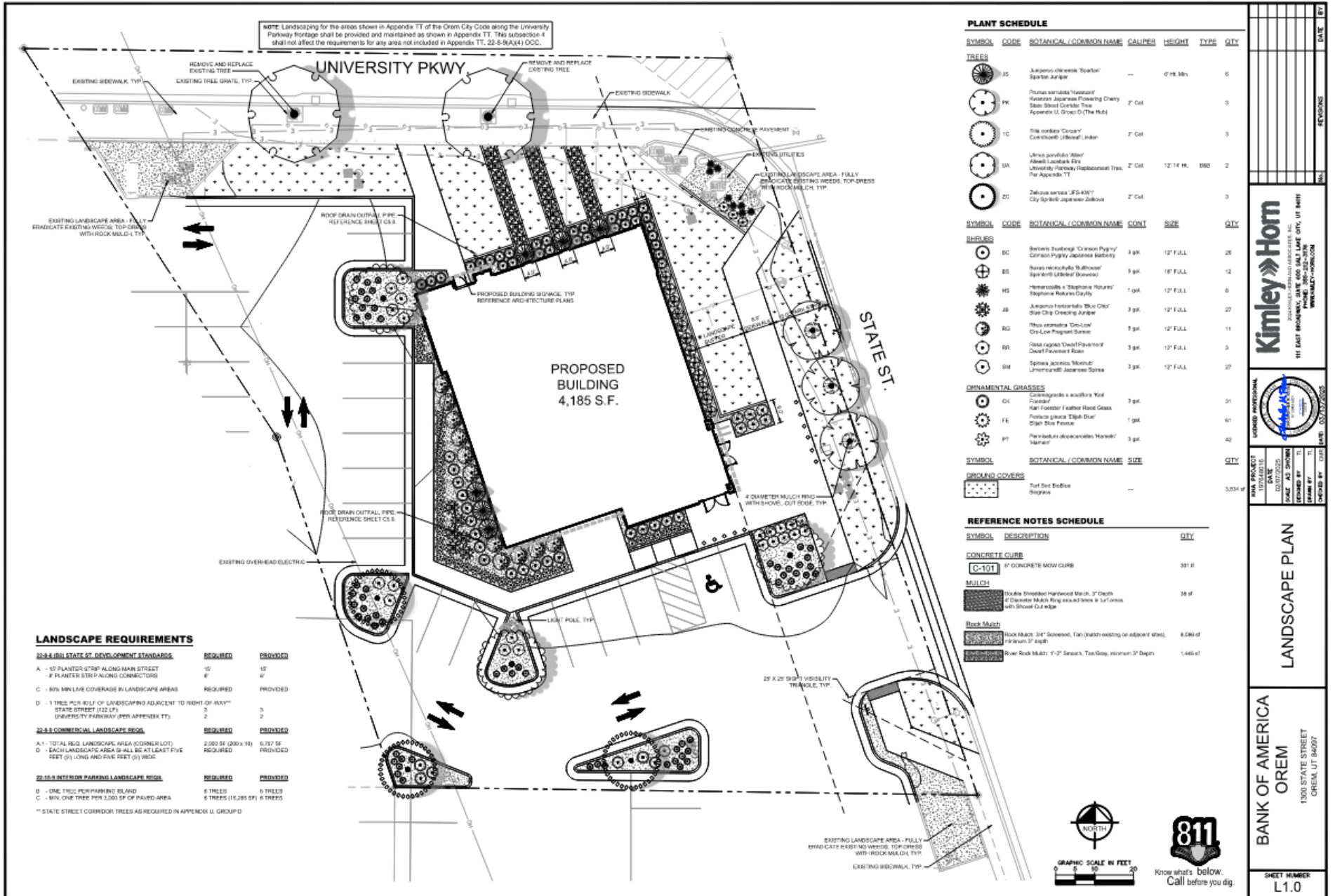
Zone Map

Zone: C2

Acres: .68 Acres

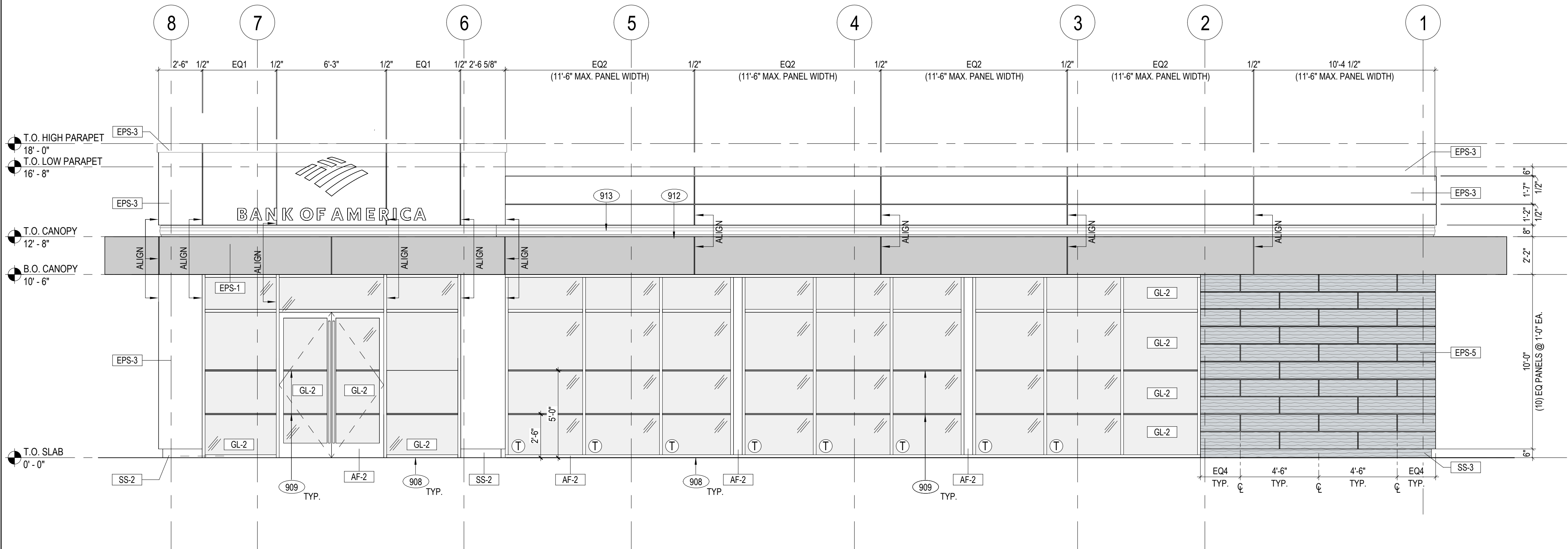


Project: Bank of America, 1300 State Street, Orem, UT 84401
Drawn: [unintelligible]
Checked: [unintelligible]
Date: 10/20/2020

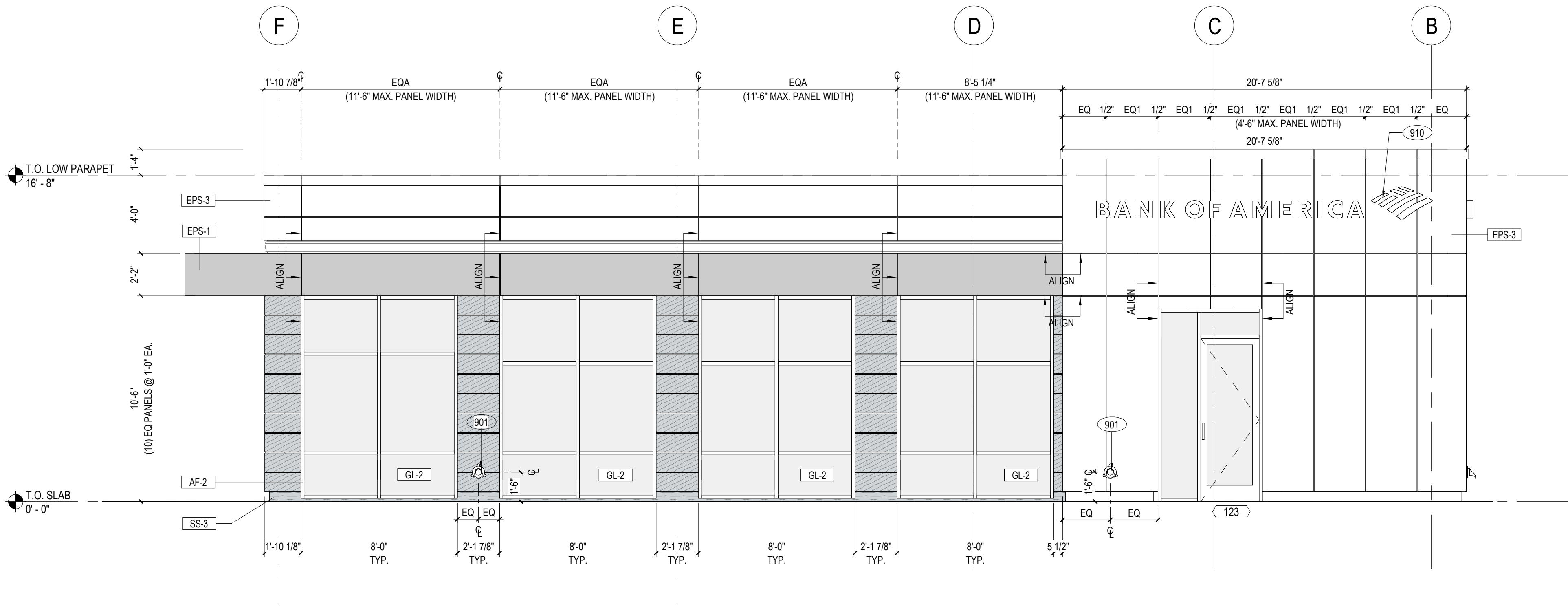


Bank Of America Site Plan

1/23/2025 1:50:06 PM



1 EXTERIOR ELEVATION - EAST
1/4" = 1'-0"



2 EXTERIOR ELEVATION - NORTH
1/4" = 1'-0"

KEYNOTES

NO.	DESCRIPTION
901	THROUGH WALL OVERFLOW DRAIN.
908	SEALANT COLOR TO MATCH ALUMINUM STOREFRONT FRAME SYSTEM .
909	DISTRACTION DECAL (BY SIGN VENDOR) .
910	SIGN BY BANK VENDOR. REFER TO VENDOR DRAWINGS FOR FURTHER INFORMATION.
912	END OF METAL PANEL.
913	SHEET METAL COUNTER-FLASHING. FINISH SHALL MATCH FINISH OF METAL PANEL ABOVE.

EXTERIOR FINISH SCHEDULE

ALUMINUM STOREFRONT

AF-2	ALUMINUM STOREFRONT SYSTEM: FRAME: PROVIDE CLEAR ANODIZED ALUMINUM FINISH
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STUCCO / PLASTER

PT-3	PAREX USA PREMIER STUCCO: PAREX ARMOURWALL 3000 STUCCO ASSEMBLY COLOR: BENJAMIN MOORE CHARCOAL SLATE FLAT
PT-4	PAREX USA PREMIER STUCCO: PAREX ARMOURWALL 3000 STUCCO ASSEMBLY COLOR: BENJAMIN MOORE STORMY MONDAY 2112-50 - TEXTURE FINE ESSENCE

STUCCO ACCESSORIES

(PAINT TO MATCH STUCCO)

SA-2	NARROW CHANNEL SCREED - PAINTED TO MATCH STUCCO FINISH COLOR
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EXTERIOR CLADDING SYSTEM

EPS-1	CITADEL ENVELOPE 2000 RAINSCREEN (RS), FINISH: CITADEL CLEAR ANODIZED SATIN
EPS-3	CITADEL ENVELOPE 2000 RAINSCREEN (RS), FINISH: CITADEL ARCTIC WHITE SATIN
EPS-5	PURE+FREEFORM HORIZONTAL FLUSH WALL METAL PANEL SYSTEM. FINISH: ROMA NOCE #SN043 SATIN

EXTERIOR METAL BASE

SS-1	BRAKE METAL BASE AT PT-03 COLOR SHALL MATCH WALL FINISH PER SAMPLE
SS-2	BRAKE METAL BASE AT EPS-3/EPS-3A COLOR SHALL MATCH WALL FINISH PER SAMPLE
SS-3	BRAKE METAL BASE AT EPS-5 COLOR SHALL MATCH WALL FINISH PER SAMPLE
SS-4	BRAKE METAL BASE AT EPS-5A COLOR SHALL MATCH WALL FINISH PER SAMPLE

EXTERIOR PAINT

(PAINT TO MATCH STUCCO)

EXPT-17	BENJAMIN MOORE CHARCOAL SLATE FLAT
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EXTERIOR SEALANT COLOR

GLAZING AT STOREFRONT	BLACK
METAL PANEL/SIDING TO METAL PANEL/ SIDING	MATCH CLIP
WINDOW FRAME/ STOREFRONT TO STUCCO	MATCH FRAME
METAL PANEL/SIDING TO STUCCO	MATCH STUCCO
METAL PANEL/SIDING TO STOREFRONT	MATCH FRAME

BANK OF AMERICA

Delta	Issue	Description	Date
Nr.			

IA | INTERIOR
ARCHITECTS

CHARLOTTE

615 S. COLLEGE ST. SUITE 725
CHARLOTTE, NC 28202
TEL 704-908-1540

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**1320 S STATE ST
OREM, UT 84097**

Title:

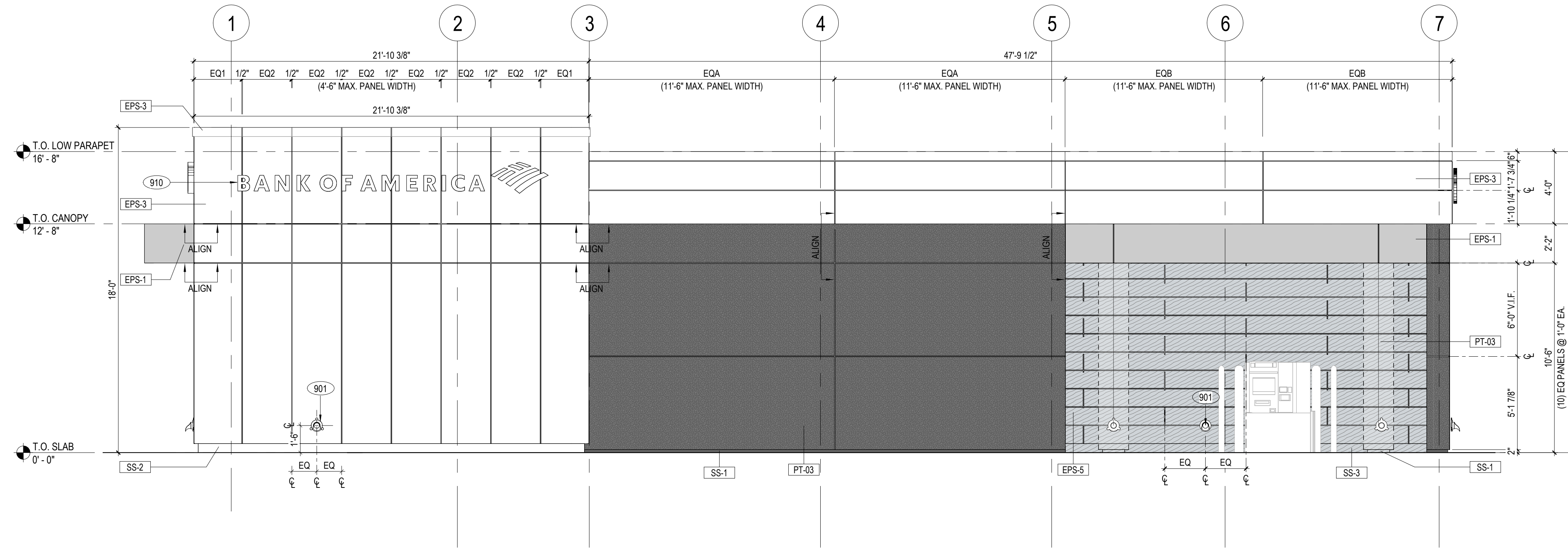
EXTERIOR ELEVATIONS

Seal & Signature

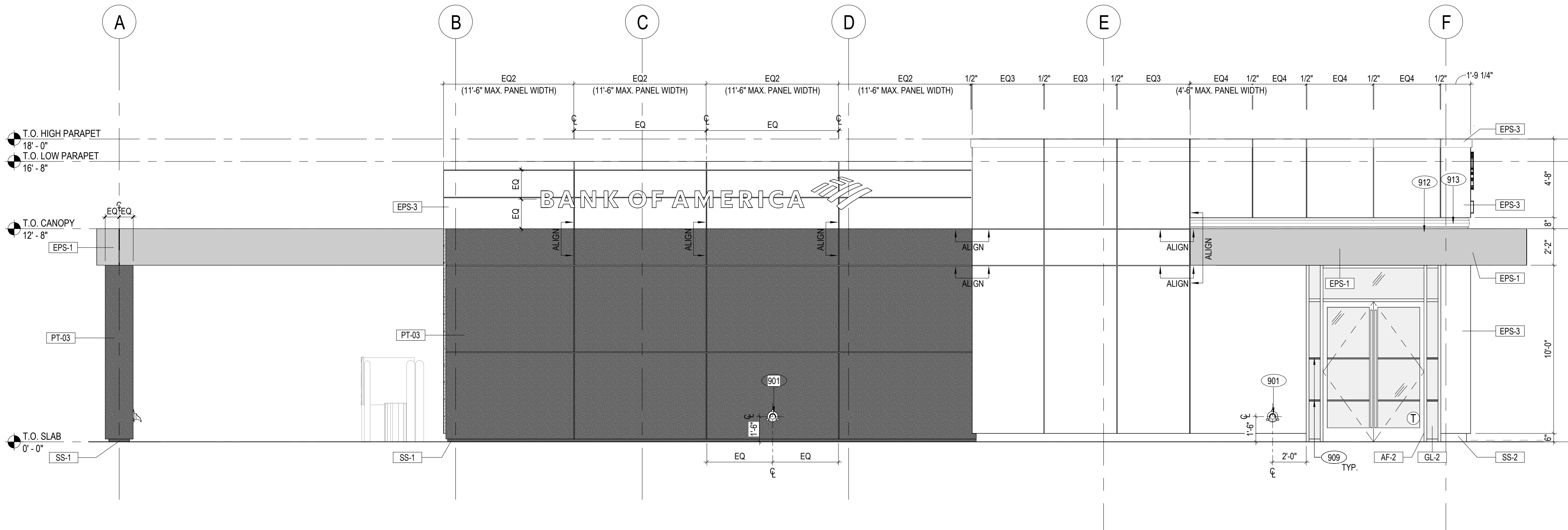
Date:	01/23/2025
Scale:	1/4" = 1'-0"
Project No:	47BACX.1247.059
Drawn By:	KB
Checked By:	ZK
Sheet No:	

A200

OF



1 EXTERIOR ELEVATION - WEST
1/4" = 1'-0"



2 EXTERIOR ELEVATION - SOUTH
1/4" = 1'-0"

KEYNOTES

NO.	DESCRIPTION
901	THROUGH WALL OVERFLOW DRAIN.
909	DISTRACTION DECAL (BY SIGN VENDOR) .
910	SIGN BY BANK VENDOR. REFER TO VENDOR DRAWINGS FOR FURTHER INFORMATION.
912	END OF METAL PANEL.
913	SHEET METAL COUNTER-FLASHING. FINISH SHALL MATCH FINISH OF METAL PANEL ABOVE.

EXTERIOR FINISH SCHEDULE

ALUMINUM STOREFRONT

AF-2 ALUMINUM STOREFRONT SYSTEM:
FRAME: PROVIDE CLEAR ANODIZED ALUMINUM FINISH

STUCCO / PLASTER

PT-3 PAREX USA PREMIER STUCCO: PAREX ARMOURWALL
3000 STUCCO ASSEMBLY
COLOR: BENJAMIN MOORE CHARCOAL SLATE FLAT

PT-4 PAREX USA PREMIER STUCCO: PAREX ARMOURWALL
3000 STUCCO ASSEMBLY
COLOR: BENJAMIN MOORE STORMY MONDAY
2112-S0 - TEXTURE FINE ESSENCE

STUCCO ACCESSORIES

(PAINT TO MATCH STUCCO)

SA-2 NARROW CHANNEL SCREED - PAINTED TO MATCH
STUCCO FINISH COLOR

EXTERIOR CLADDING SYSTEM

EPS-1 CITADEL ENVELOPE 2000 RAINSCREEN (RS),
FINISH: CITADEL CLEAR ANODIZED SATIN

EPS-3 CITADEL ENVELOPE 2000 RAINSCREEN (RS),
FINISH: CITADEL ARCTIC WHITE SATIN

EPS-5 PURE+FREEFORM HORIZONTAL FLUSH WALL METAL
PANEL SYSTEM. FINISH: ROMA NOCE #SN043 SATIN

EXTERIOR METAL BASE

SS-1 BRAKE METAL BASE AT PT-03
COLOR SHALL MATCH WALL FINISH PER SAMPLE

SS-2 BRAKE METAL BASE AT EPS-3/EPS-3A
COLOR SHALL MATCH WALL FINISH PER SAMPLE

SS-3 BRAKE METAL BASE AT EPS-5
COLOR SHALL MATCH WALL FINISH PER SAMPLE

SS-4 BRAKE METAL BASE AT EPS-5A
COLOR SHALL MATCH WALL FINISH PER SAMPLE

EXTERIOR PAINT

(PAINT TO MATCH STUCCO)

EXPT-17 BENJAMIN MOORE CHARCOAL SLATE FLAT

EXTERIOR SEALANT COLOR

GLAZING AT STOREFRONT	BLACK
METAL PANEL/SIDING TO METAL PANEL/ SIDING	MATCH CLIP
WINDOW FRAME/ STOREFRONT TO STUCCO	MATCH FRAME
METAL PANEL/SIDING TO STUCCO	MATCH STUCCO
METAL PANEL/SIDING TO STOREFRONT	MATCH FRAME

BANK OF AMERICA

Delta	Issue	Description	Date
Nr.			

IA INTERIOR
ARCHITECTS

CHARLOTTE

615 S. COLLEGE ST. SUITE 725
CHARLOTTE, NC 28202
TEL 704-908-1540

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MAY NOT BE DUPLICATED, USED, OR DISCLOSED WITHOUT THE WRITTEN
CONSENT OF THE ARCHITECT.

1320 S STATE ST
OREM, UT 84097

Title:

EXTERIOR ELEVATIONS

Seal & Signature	Date: 01/23/2025
	Scale: 1/4" = 1'-0"
	Project No: 47BACX1247.059
	Drawn By: KB
	Checked By: ZK
	Sheet No:

A201

OF

	PLANNING COMMISSION May 7, 2025		Item 3.3
	Dex Auto Sales 1901 North State Street		Prepared By: Jared Hall
	Site Plan Approval, new vehicle sales lot in the C2 Zone		Applicant: Mark Dex

Notices:

Posted in 2 public places.

Posted on City Webpage and City hotline.

Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:

Community Commercial

Zoning: **C2**

Total Acreage: **1.8**

Action:

The Planning Commission is the Land Use Authority and the approving body for this item.

REQUEST: The applicant requests site plan approval for the proposed Dex Auto Sales, a new vehicle sales lot with a small office to be developed on property located generally at 1901 North State Street in the C2 Zone, 1.8 acres.

BACKGROUND: The subject property is connected to a larger business park, sharing access to and from State Street. The adjacent properties in the business park are used for an assisted living center, but the subject property is undeveloped except for the shared access and State Street improvements which have been installed.



REVIEW:

Zoning: The subject property is located in the C2 Zone, and the proposed use for vehicle sales is permitted with Site Plan approval. The adjacent parcels to the north and west are also located in the C2 Zone and are used for assisted living. The property adjacent to the south is a townhome development located in the R6.5, Residential Zone. The development has been reviewed with requirements to buffer the adjacent residential zoning.

Public Improvements: The required buffered sidewalk along State Street has been provided along the property frontage, but additional improvements to the landscaped park strip will be required, including trees per City Code.

Access: The property is served by 38' wide shared access from State Street.

Parking: The parking requirement is one space per 250 ft² of building area. The proposed building is small (1,080 ft²) and requires five (5) spaces. Four of those required spaces are located directly adjacent to the front of the building, including an ADA accessible space. There are an additional 110 spaces on the site, striped to display vehicles for sale.

Landscaping: Landscaping includes endcaps for parking aisles, the required 15' setback from State Street, a required 10' wide buffer along the south property line where the subject property is adjacent to a multi-family residential zone, a 13' wide landscaped area around the proposed sales office, and the addition of trees to the existing buffered sidewalk improvement along State Street.

Building Elevations: Because the proposed sales office building faces State Street those elevations include large window systems and a natural stone skirting to improve its appearance and meet code requirements. A dumpster enclosure is also included adjacent to the west of the building meeting City Code requirements.

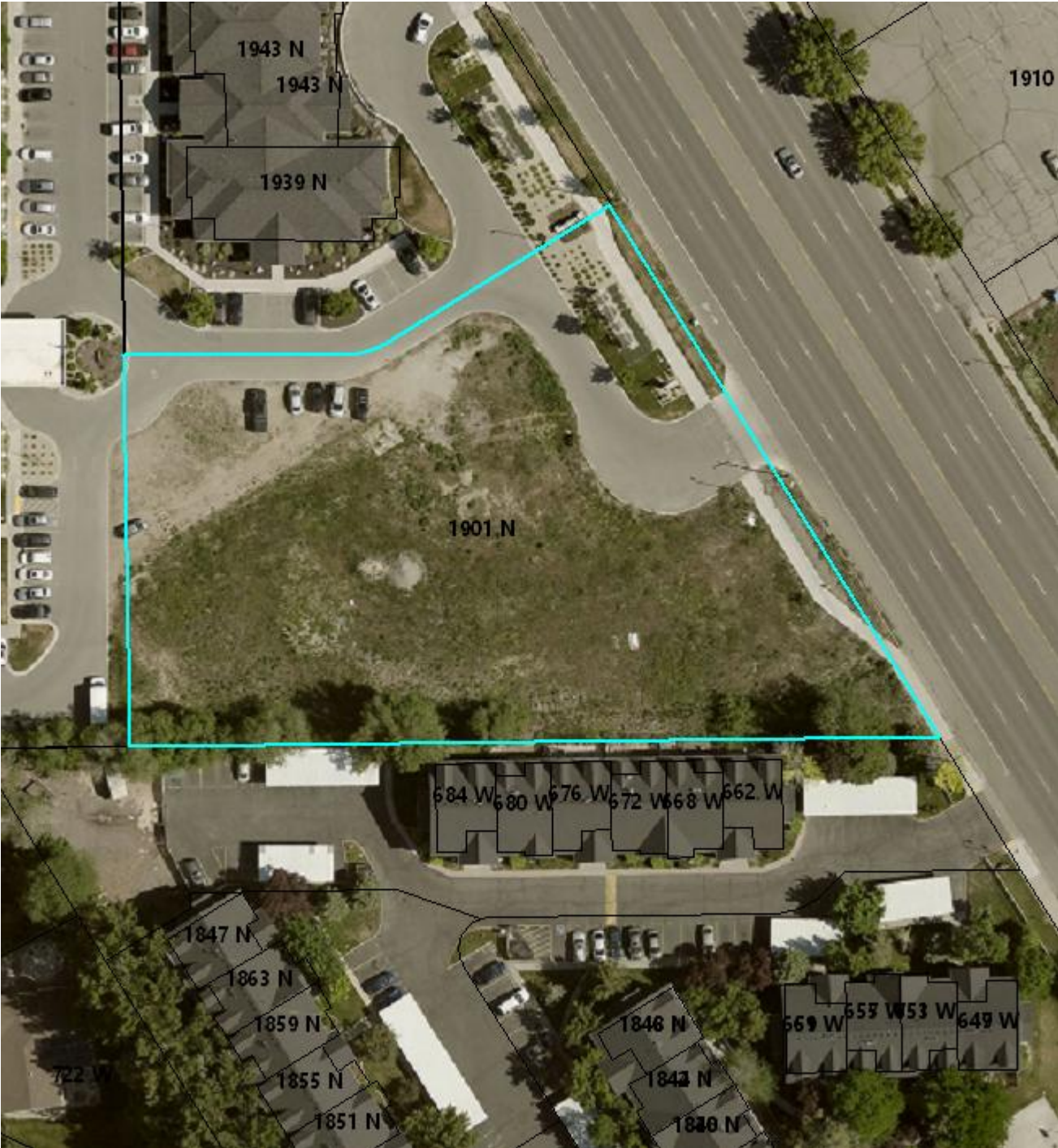
DEVELOPMENT REVIEW COMMITTEE: The Development Review Committee (DRC) reviewed the site plan application on Monday, March 24, 2025. The DRC voted to approve, and did not forward any specific conditions to the Planning Commission.

ACTIONS: The Planning Commission is the designated Land Use Authority for preliminary subdivisions. The Commission may approve or deny the request for preliminary subdivision or may choose to continue their consideration of the request and ask for additional information or analysis.

Dex Auto – 1901 N State Street, Orem Utah Current Street View



Dex Auto – 1901 N State Street



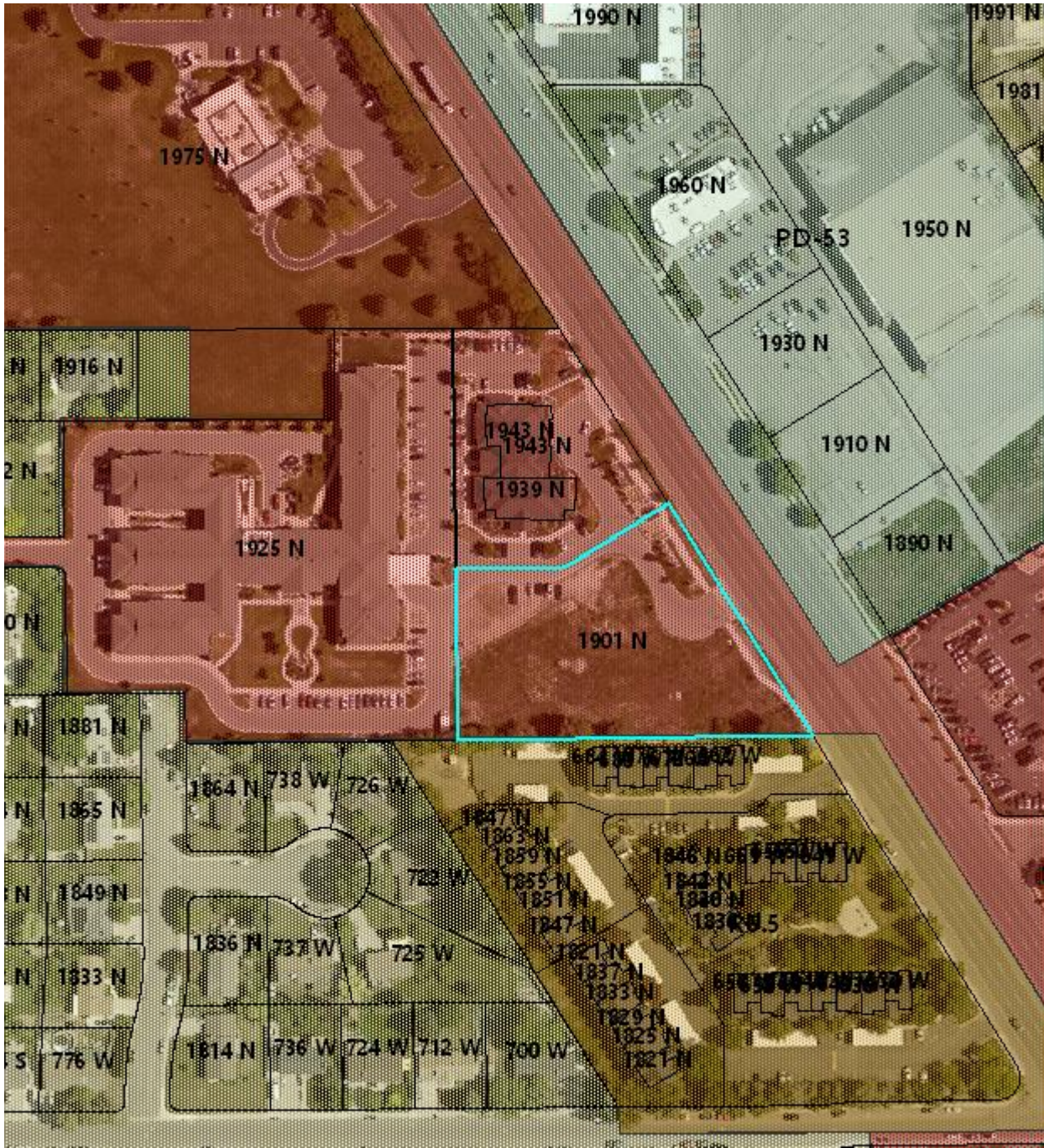
Vicinity Map

Zone: C2

Acres: 1.58 Acres



Dex Auto – 1901 N State Street



Zone Map

Zone: C2

Acres: 1.58 Acres



AREA	SQUARE FOOTAGE	INCREASE	PERCENT OF TOTAL AREA
TOTAL AREA	98,771	158	100
TOTAL BUILDING AREA	2,800	0%	3%
TOTAL DRIVEWAY AREA	46,577	107	47
TOTAL LANDSCAPE AREA	63,357	55	64
TOTAL PARKING SPACE	9,310	22	9%

CONCRETE COMPLEX

DEX AUTO GROUP
MARK DEATERS
800 DEER CANYON DRIVE, UTAH 84042

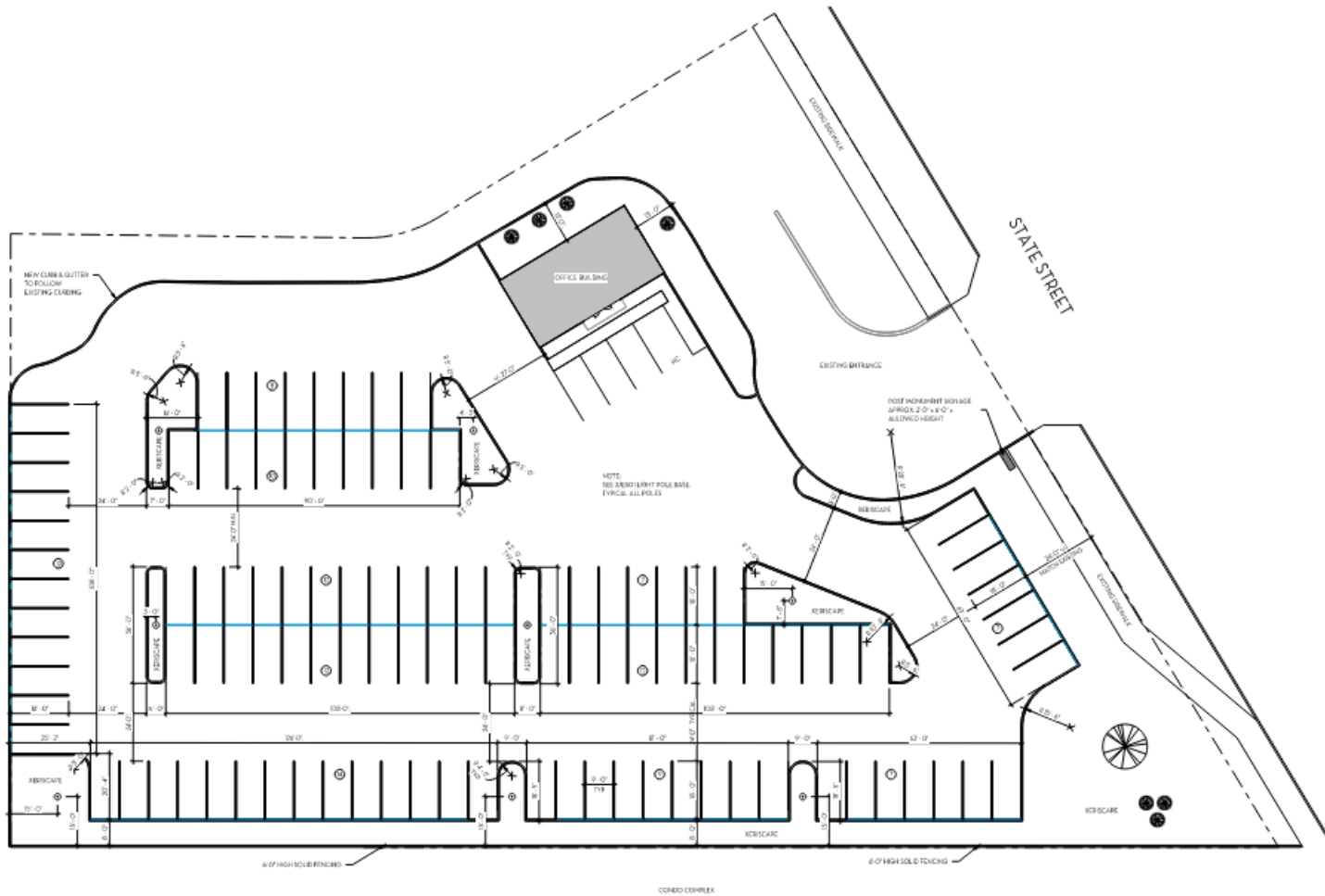
alt
architecture

1445 W. 840 S.
SALT LAKE CITY, UT 84119
WWW.ALTARCHITECTURE.COM



MARK DEATERS LICENSE

LANDSCAPING



1
AS101
ARCHITECTURAL SITE PLAN
1/8" = 1'-0"



APPROVED
FOR SUBMISSION
BY: **MARK DEATERS**
DATE: **2/19/2025**
PROJECT: **DEX AUTO**
SHEET: **AS101**

TITLE	ARCHITECTURAL SITE PLAN
PROJECT	DEX AUTO OREM
CLIENT	MARK DEX
ADDRESS	1901 NORTH STATE STREET OREM, UTAH 84057

NO.	DATE	DESCRIPTION
1	2/19/2025	ISSUED FOR PERMITS

DESIGNED BY:	2/19/2025
PROJECT NO:	24-015
DRAWN BY:	027
CHECKED BY:	027

1901 NORTH STATE STREET OREM, UTAH 84057
ARCHITECTURAL SITE PLAN
AS101

Dex Auto Site Plan



	PLANNING COMMISSION May 7, 2025	Item 3.4
	Aspen Grove Behavioral Health 740 North 1350 East Site Plan Approval, addition to existing facility in the R12 Zone, Hospital Overlay	Prepared By: Jared Hall Applicant: Gardner & Associates

Notices:

Posted in 2 public places.
Posted on City Webpage and City hotline.
Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:

Low Density Residential

Zoning: **R12, Residential & Hospital Overlay**

Total Acreage: **6.01**

Action:

The Planning Commission is the Land Use Authority and the approving body for this item.

REQUEST: The applicant requests site plan approval for a proposed behavioral health addition to the existing medical facility at 724 North 1350 East, 6.01 acres.

BACKGROUND: The site plan application includes a 12,017 ft² building addition on the east side, and an expansion of the parking area on the west of the existing facility.



REVIEW:

Zoning: The subject property is located in the R12, Residential Zone and within a Hospital Overlay which was put in place to accommodate the development of the existing facility. The adjacent properties to the north and east are commercial lots in the C1 Zone. Property to the west is located in the PD-8 Zone, which is also commercial / professional in nature. There are five single-family homes adjacent to the south, also located in the R12 Zone. The building and parking additions proposed by this site plan maintain a greater distance to the single-family zoning than does the existing facility. Buffering requirements are met and are not impacted by the proposed addition.

Public Improvements: The proposed building addition and parking expansion do not necessitate new public improvements.

Access: The proposed addition and parking expansion have not required any new access for vehicles.

Parking: 39 parking spaces are included with the expansion in addition to the existing 120 spaces overall. The proposed site plan meets the parking requirements of City Code for hospital and medical facilities.

Landscaping: Landscaping includes endcaps for parking aisles in the expansion area and some additional landscaping improvements around the new building addition including turf replacement for disturbed areas. Most of the landscaping on the site will remain as it is.

Building Elevations: Building elevations are attached for review. The proposed elevations meet City Code requirements.

DEVELOPMENT REVIEW COMMITTEE: The Development Review Committee (DRC) reviewed the site plan application on Monday, April 21, 2025. The DRC voted to approve, and did not forward any specific conditions to the Planning Commission.

ACTIONS: The Planning Commission is the designated Land Use Authority for preliminary subdivisions. The Commission may approve or deny the request for preliminary subdivision or may choose to continue their consideration of the request and ask for additional information or analysis.

Current Street View: Aspen Grove Project - 1350 E 740 North



Aspen Grove – 1350 E 740 North



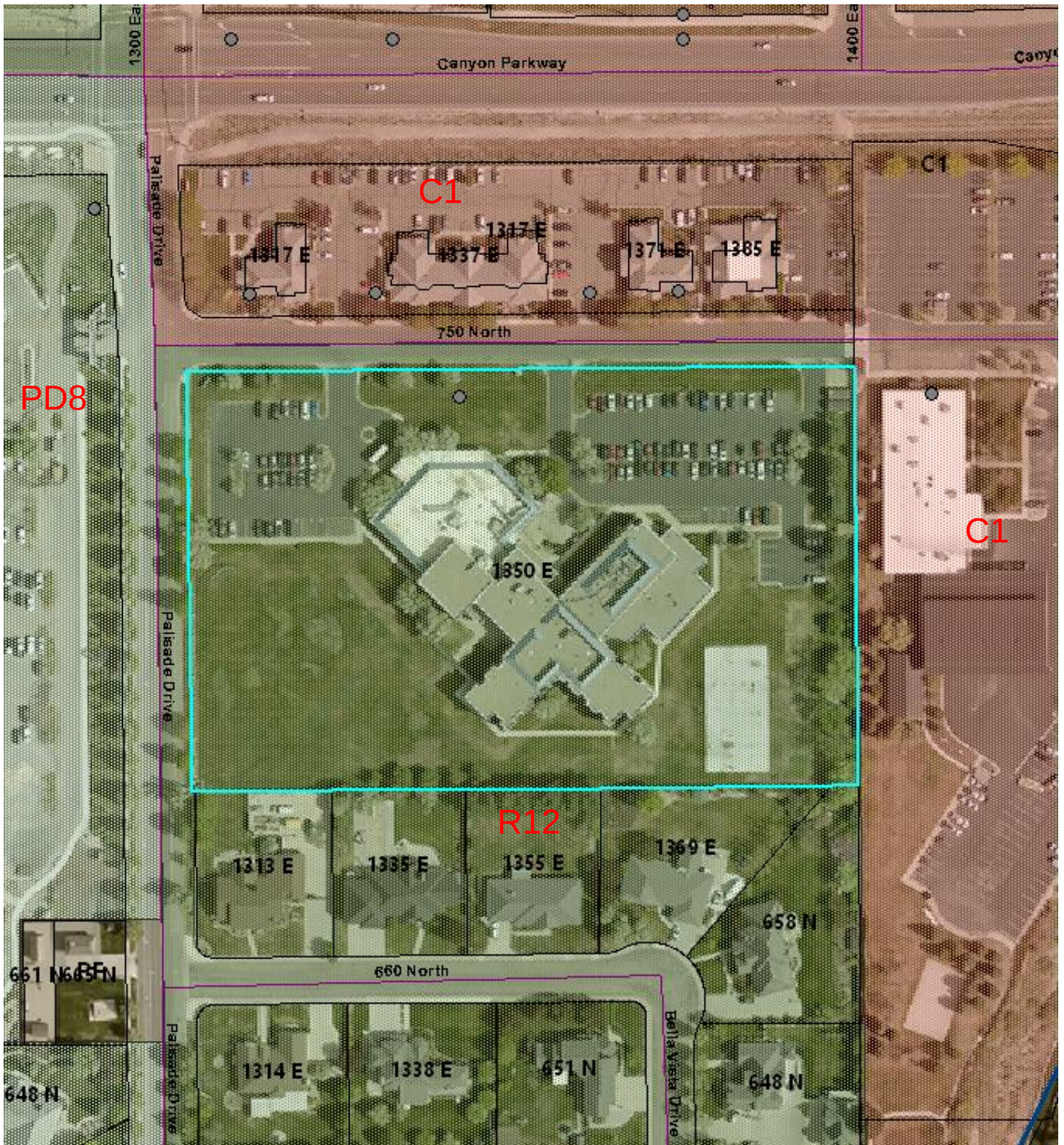
Vicinity Map

Zone: R12 and Hospital Overlay Zone

Acres: Approximately 6 Acres



Aspen Grove – 1350 E 740 North



Zoning Map

Zone: R12 and Hospital Overlay Zone

Acres: Approximately 6 Acres



NEIGHBORHOOD MEETING

There will be a neighborhood meeting on

June 7, 2023 at 6:00 PM

Provo Canyon Behavioral Hospital
1350 East 740 North, Orem

Signs will direct you where to park and enter the building.

We will be discussing the proposed rezoning for Provo Canyon Hospital from R-12 zone to C-1 zone to allow for expansion on the east side of the building for a 24-bed, single-story addition for women.
(See proposed drawing on reverse)

Questions prior to the meeting may be emailed to **george@gardnerassoc.net** or contact George by phone at **(801) 602-3443**.





PROVO
CANYON
BEHAVIORAL
HOSPITAL

i. Neighborhood Sign in

42

Name	City	Address	Email	Phone
Kristin Smith	Provo Orem	451 E. Wassail Orem	kristin@adl.com	801-674-1234
George B. ILLS	Provo	1573 W 1970 N 84604	gorged@adl.com	801-375-3476
Jerry Crisman	Orem	1069 S. 545 E 84007	jerry.crismon@gmail.com	801-226-6534
Huffaker	Orem	1355 E 660 N		(720)
Hawkins	Orem	1335 E. 660 N.	kevin@hawkinsdruce.com	277-1440
Cameron	Orem	658 N. Bella Vista	clarence.cameron@gmail.com	801-380-5215
Arthurs	Orem	651 N Bella Vista Dr	darr4535355@adl.com	801-602-0793
Sarvis	Orem	1369 E 660 N	m.sarvis@tipapilators	801-361-2005
Kelene Willett	Orem			
Mike Carpenter	Orem	1734 N 350 W		

Neighborhood Meeting

6/7/2023

See attached agenda

Concerns:

Kevin Hawkins- Real Estate Developer

- Kevin acknowledges the need for the 24 bed expansion but is concerned about proper planning.
- Enjoys his quiet, but 2 years ago he had teenage visitors that jumped his fence and was hiding in his yard. He assumed they were patients but they were not PCBH patients.
- Concerned that we are rezoning from Residential to Commercial.
- Commercial zoning does not have protection for neighborhood.
- Plan Development is the way to go. That way the neighborhood has more say and if PCBH leaves it is not zoned Commercial.
- Single story, what does that mean? The gym is single story, what are the dimensions?

Gentleman in the back

- Appreciate the services that PCBH provides and knows that it is needed because it does save lives.
- Commercial zoning is the concern.
- It will allow any commercial development to come.
- A Plan Development is more desirable.
- Will the noise level increase? No there will be no increase of noise.
- Has had a history or an adolescent was hiding in shrubs from residential down the hill. Possibly Heritage?
- There is a safety concern.
- Biggest problem is the zoning to commercial.
- Open to Plan Development zoning.

Bruce Cameron- Developer

- Commercial zoning is the main concern.
- A Plan Development is a better way to go.
- If we go with a Plan Development would like to turn the addition more Northeast.
- Rotate to the Northeast and put parking in the corner instead.
- Went to city and they had nothing, is PCBH talking with the city? *PCBH is seeking neighborhood input before making application to the city.*
- Changing to commercial zoning affects the future.
- The plan is not a problem.
- Would not want to deny the addition, but would like to minimize the effect on the property owners.
- With a Plan Development the neighborhood could say that the property can only be used as a Psychiatric Hospital and no other uses. *Neighbors have appreciation of that fact.*

Mrs. Jarvis

- Bought her house because of her back yard. This addition will affect her the most because it is her back yard.
- Her peace is taken away.
- The patients can see in her house and yard if they were closer, her and her grandchildren could no longer use the yard they moved there for.

We are here to present and listen to the concerns. We want to be good neighbors.

Meeting was adjourned at 7:00PM.

George Bills

From: George Bills <george@gardnerassoc.net>
Sent: Tuesday, June 6, 2023 10:35 AM
To: 'Kirk Beecher'
Subject: RE: Neighborhood Meeting - Behavioral Hospital addition

Thank you for reaching out. The access will remain the same. The parking will need to be increased due to the new women's health addition. The parking lot on the west side of the building will be expanded to the south to accommodate the new required parking.

I hope that helps. If you have any additional questions, please don't hesitate to write, or call.

Thank you.

From: Kirk Beecher <Kirk@cuwcd.gov>
Sent: Tuesday, June 6, 2023 7:58 AM
To: george@gardnerassoc.net
Subject: Neighborhood Meeting - Behavioral Hospital addition

George,

I will not be able to attend your meeting tomorrow night and had a question that we have about the proposed expansion. How will this proposed expansion impact parking and access? Other than that, we don't have any issues with the expansion.

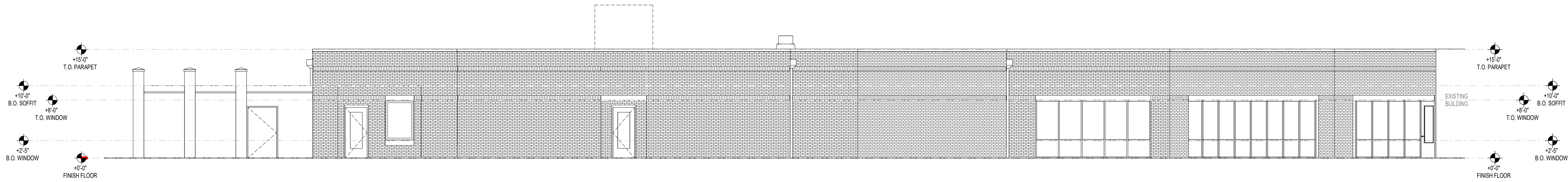
Thanks, Kirk Beecher

Please note: My email address has changed to: kirk@cuwcd.gov

Kirk D. Beecher, P.E.
Lands Project Manager
Central Utah Water Conservancy District
801-361-3946 (cell) | 801-226-7193 (office)
kirk@cuwcd.gov
1426 E 750 N, Suite 400 | Orem, UT 84097

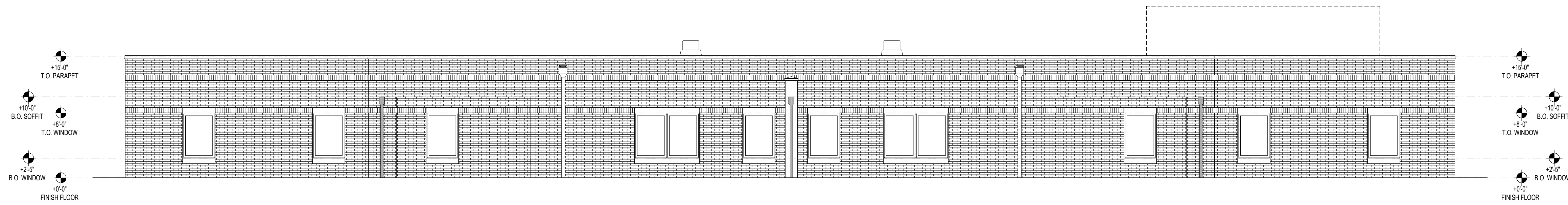


Email From
one neighbor
who couldn't attend



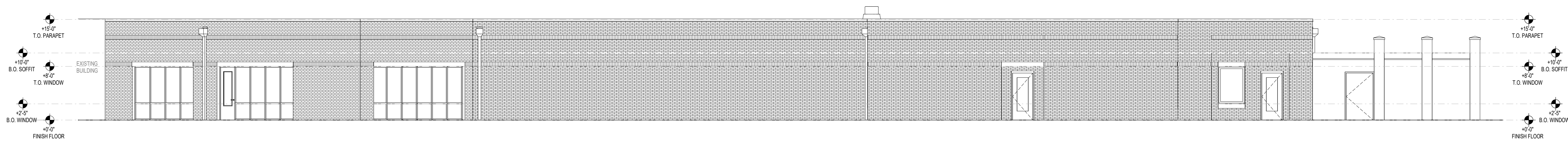
04 COMPOSITE
NORTH ELEVATION

A7.1 1/8" = 1'-0"



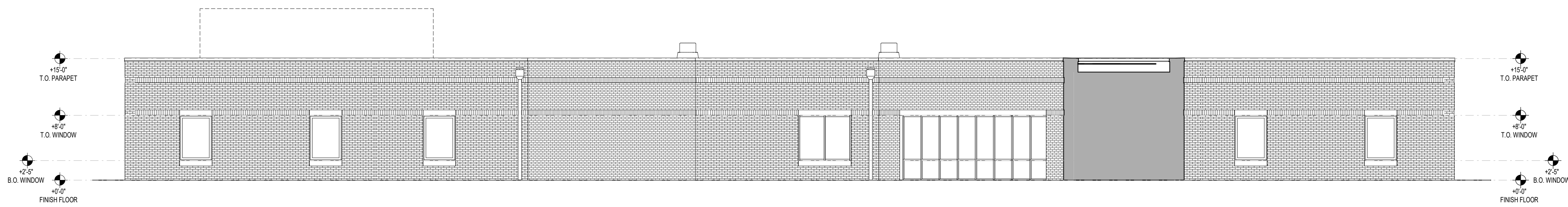
03 COMPOSITE
EAST ELEVATION

A7.1 1/8" = 1'-0"



02 COMPOSITE
SOUTH ELEVATION

A7.1 1/8" = 1'-0"



01 COMPOSITE
WEST ELEVATION

A7.1 1/8" = 1'-0"

	PLANNING COMMISSION May 7, 2025	Item 3.5
	BETTER HOMES PLAT B, PLAT AMENDMENT Plat Amendment Approval 312 North 800 West 1 lot, R7.5 Zone	Prepared By: Grace Bjarnson Applicant: Vania Wilkenson

Notices:

Posted in 2 public places
Posted on City webpage
and City hotline
Posted at utah.gov/pmn

Site Information:

General Plan Designation:
Medium Density Residential
Current Zone: **R 7.5**
Acreage: **.16 acres**

Action:

The Planning Commission is the Land Use Authority and the approving body for this item.

REQUEST: The applicant, Vania Wilkenson, requests Plat Amendment Approval for the proposed Better Homes Plat B Subdivision (1 lot) located at 312 North 800 West comprising .16 acres in the R7.5 Zone.

BACKGROUND: The subject property is a corner lot that is currently not showing the property lines correctly. Previously, another lot was between the three neighboring lots. A part of this extra lot is being incorporated into this corner lot so that the total square feet is now larger (7,414 SF). This change is to correct City and County records of the lot boundaries that have been incorrect for some time.

REVIEW: The preliminary subdivision has been reviewed for compliance with R 7.5 requirements. The 9 lots to the North of this property are between .10 acres (4,356 SF) and .12 acres (5227.2 SF) in size, which does not comply with current requirements. The previous zone designation allowed for a smaller lot.

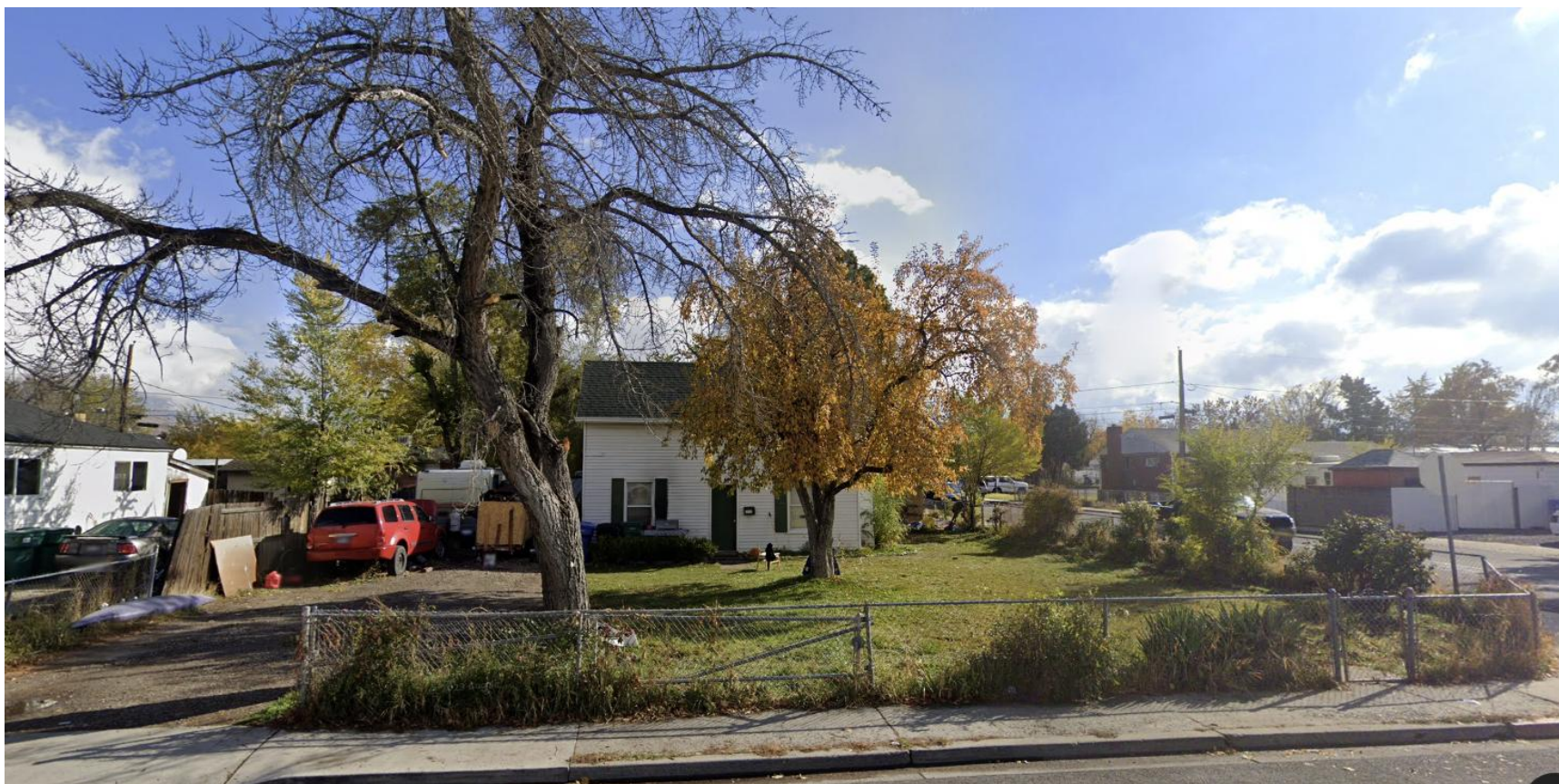
The home on the property currently sits on top of the inaccurate property lot line. This application is simply to correct the inaccurate property line. Better Homes Plat B is similar to the size and character of the neighborhood lots at 7,414 SF.

DEVELOPMENT REVIEW COMMITTEE: The Development Review Committee (DRC) reviewed the preliminary subdivision on Monday, April 14, 2025. The DRC voted to approve.

ACTIONS: The Planning Commission is the designated Land Use Authority for Plat Amendments. The Commission may approve or deny the request for Plat Amendment or may choose to continue their consideration of the request and ask for additional information or analysis.



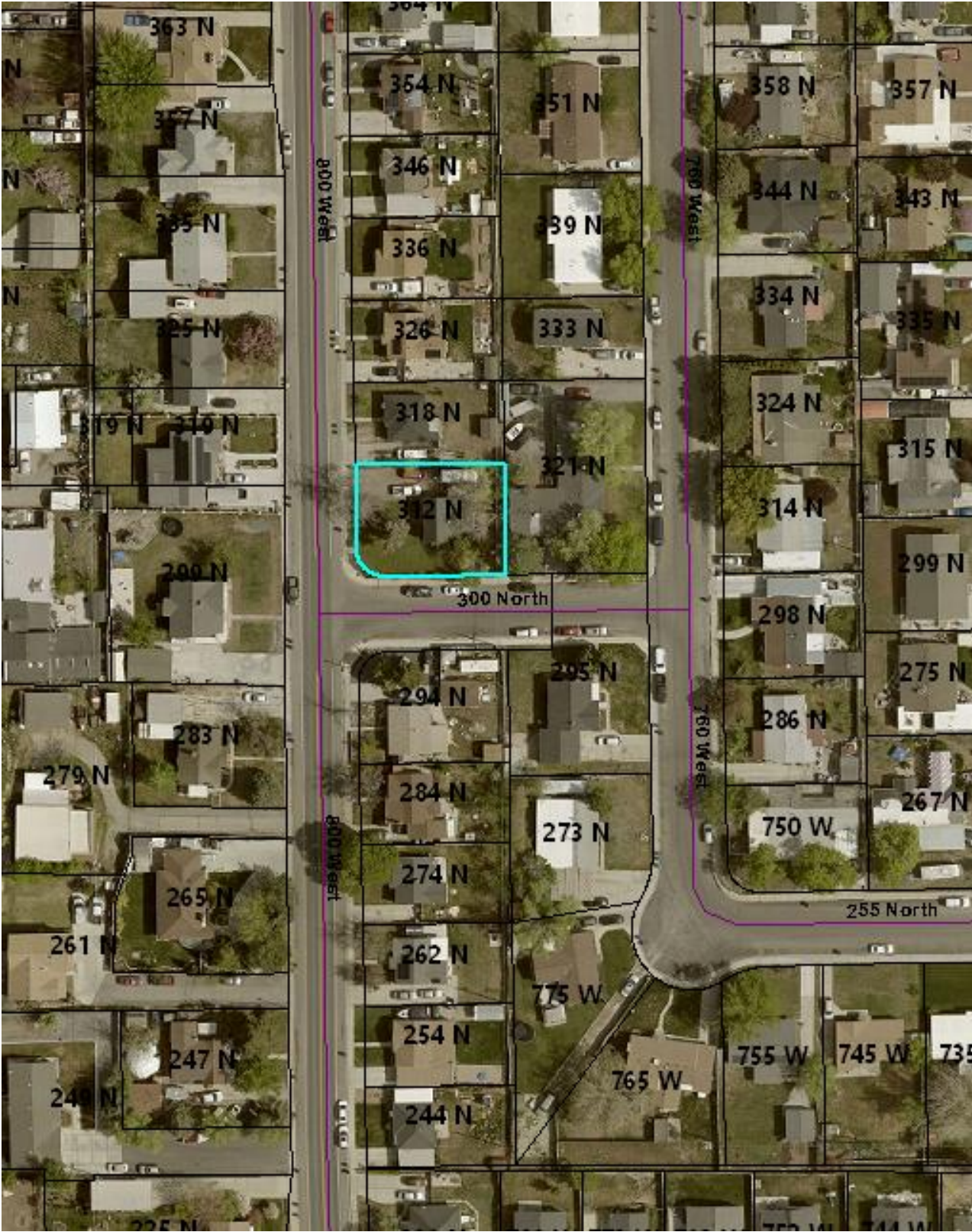
Current Street View: Better Homes Plat B – 312 N. 800 West
From 800 West



Current Street View: Better Homes Plat B – 312 N. 800 West
From 300 North



Better Homes Plat B – 312 N. 800 West



Vicinity Map

Zone: R7.5

Acres: Approximately .16



Better Homes Plat B – 312 N. 800 West

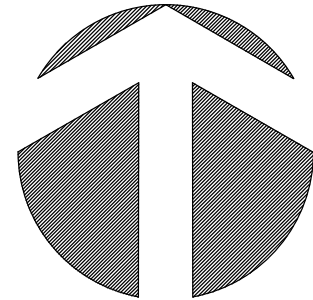


Zoning Map

Zone: R7.5

Acres: Approximately .16



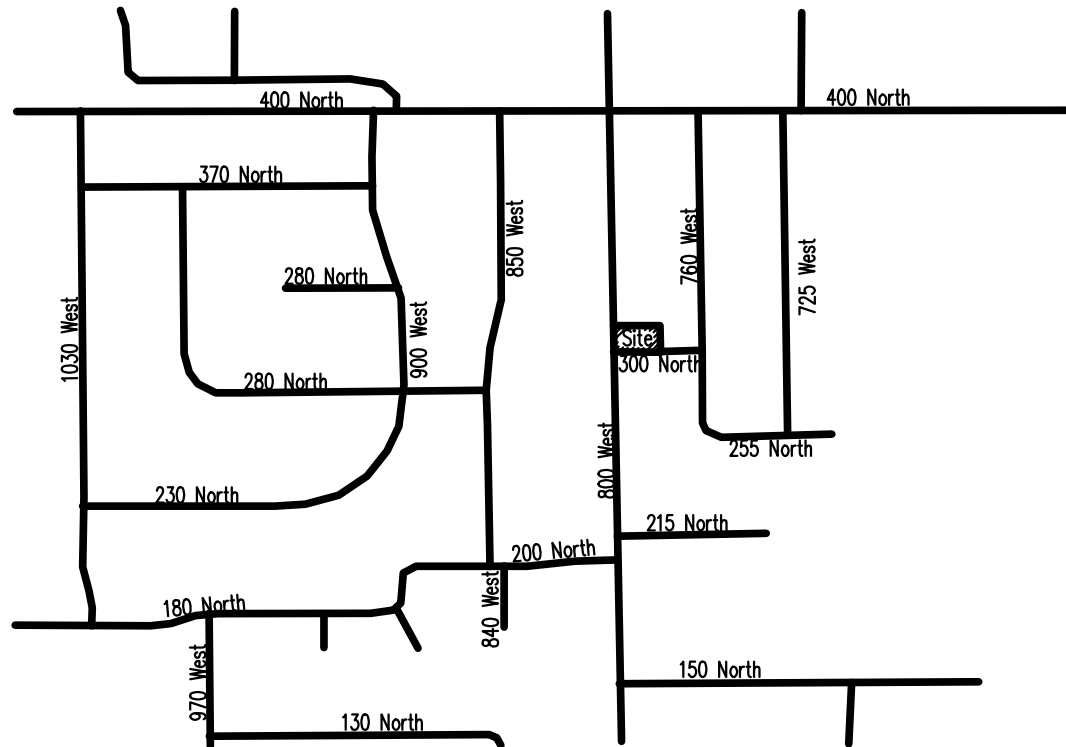


1" = 20'

Plat " B "

Better Homes Subdivision

Located in the Northwest quarter of Section 15, Township 6 South,
Range 2 East, SLB&M
Including a vacation of Lot 1 and a portion of Lot 23, Block 2
Better Homes Subdivision



Surveyor's Certificate

I, **ROGER D. DUDLEY**, do hereby certify that I am a Professional Land Surveyor and that I hold a license, Certificate No. 147089, in accordance with the Professional Engineers and Land Surveyors Licensing Act found in Title 58, Chapter 22 of the Utah Code. I further certify that by authority of the owners, I have made a survey of the tract of land shown on this plat and described below, have subdivided said tract of land into lots, streets, and easements, have completed a survey of the property described on this plat in accordance with Utah Code Section 17-23-17, have verified all measurements, and have placed monuments as represented on the plat. I further certify that every existing right-of-way and easement grant of record for underground facilities, as defined in Utah Code Section 54-8a-2, and for other utility facilities, is accurately described on this plat, and that this plat is true and correct to the best of my knowledge.

Boundary Description

Commencing at the Northwest corner of Lot 1, Block 2, Better Homes Subdivision, Orem, Utah said point being located South 650.00 feet along the Section line and East 10.00 feet from the Northwest corner of Section 15, Township 6 South, Range 2 East, Salt Lake Base and Meridian; thence East along the Lot line 100.00 feet; thence South 75.00 feet; thence West along the Lot line and 300 North Street 80.00 feet; thence along the arc of a 20.00 foot radius curve to the right 31.42 feet (chord bears North 45°00'00" West 28.28 feet); thence North along the Lot line and 800 West Street 55.00 feet to the point of beginning.

AREA=7,414 sq. ft. or 0.17 acre

Basis of Bearing _____ South along the Section Line

Date

Surveyor

(See Seal Below)

Owner's Dedication

Know all men by these presents that we, all of the undersigned owners of all the property described in the Surveyor's Certificate hereon and shown on this map, have caused the same to be subdivided into Lots, Blocks, Streets, and Easements and do hereby dedicate the streets and other public areas as indicated hereon for perpetual use of the public.

In witness hereof we have hereunto set our hands this _____ day of _____, A.D. 20____

Heritage Investment Group LLC

Acknowledgement

STATE OF UTAH }
COUNTY OF UTAH } S.S.

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by _____, who represented that he is the _____ of the _____ and has the authority to execute this instrument.

My Commission Number _____

Signed (a Notary Public Commissioned in Utah)

My Commission Expires _____

Print name of Notary

Acceptance by the City of Orem

The City of Orem, County of Utah, approves this subdivision and hereby accepts the dedication of all Streets, Easements, and other parcels of land intended for public purposes for the perpetual use of the public. Signed this _____ day of _____, A.D. 20____

Approved: _____
City Engineer

Attest: _____
City Recorder

Approved: _____
Development Services Director

Occupancy Restriction Notice

The City of Orem has an Ordinance which restricts the occupancy of buildings within this subdivision. Accordingly, it is unlawful to occupy any building located within this subdivision without first having obtained a Certificate of Occupancy issued by the City.

Planning Commission Approval

Approved this _____ day of _____, 20____, by the Orem City Planning Commission.

Director-Secretary

Chairman, Planning Commission

Resolution No.

County Recorder

Plat " B "

Better Homes Subdivision

Located in the Northwest quarter of Section 15, Township 6 South,
Range 2 East, SLB&M
Including a vacation of Lot 1 and a portion of Lot 23, Block 2
Better Homes Subdivision

Orem City, _____ Subdivision _____ Utah County, Utah
Scale: 1" = 20 Feet

NOTARY PUBLIC SEAL

CITY-COUNTY ENGINEER SEAL

CLERK-RECORDER SEAL

Note:

No driveway or drive access may be located within twenty-five (25') of an existing fence which is greater than three feet (3') in height.

Plat Vacation Notice

The City of Orem is satisfied that neither the public nor any person will be materially injured by the Vacation of Lot 1 and a portion of Lot 23, Block 2, Better Homes Subdivision. Lot 1 and a portion of Lot 23, Block 2, is hereby vacated

Approved as to Form

City Attorney

Date

Prepared by:

Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
office 801-224-1252
fax 801-224-1264

