



CITY OF OREM
PLANNING COMMISSION MEETING
56 North State Street, Orem, Utah
August 20, 2025

*This meeting may be held electronically
to allow a Commission member to participate.*

4:30 PM PRE-MEETING – AGENDA REVIEW, CITY COUNCIL CONFERENCE ROOM, 56
NORTH STATE STREET, OREM, UT

1 General Plan Update

5:30 PM REGULAR SESSION – CITY COUNCIL CHAMBERS

1. CALL TO ORDER
2. INVOCATION/INSPIRATIONAL THOUGHT: BY INVITATION
3. CONSENT AGENDA
 - 3.1 **Approval of PC Minutes for 08/06/2025**
 - 3.2 **Cascade Vista Plat C - Plat Amendment - Located generally at 438 N 850 East.
Proposed correction of lot lines.**
4. ACTION ITEMS AND PUBLIC HEARINGS
 - 4.1 **PUBLIC HEARING – Consideration of an amendment to the Orem City General
Plan
adding proposed Chapter 9, Water Use and Preservation.**
 - 4.2 **Raising Canes - Preliminary Subdivision - Located generally at 11 W Center
Street. Proposed vacation of lots 3 & 4 of Albertsons Center Subdivision and
Creation of Raising Canes Plat A, a single-lot subdivision.**
 - 4.3 **Raising Canes - Site Plan - Located generally at 11 W Center Street. Proposed
demolition of Burger King and construction of a Raising Canes restaurant with a
drive-through window.**
5. ADJOURN

THE PUBLIC IS INVITED TO PARTICIPATE IN ALL PLANNING COMMISSION MEETINGS.
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**If you need a special accommodation to participate in the Planning Commission Meetings and Study Sessions,
please call the Development Services Office at least 3 working days prior to the meeting.
(Voice 801-229-7183)**

This agenda is also available on the City's webpage at orem.org

DRAFT Planning Commission minutes for August 6, 2025

**CITY OF OREM
PLANNING COMMISSION MEETING MINUTES
August 6, 2025**

The following items are discussed in these minutes:

• **CONSENT AGENDA ITEMS:**

- **3.1 Approval of Minutes for July 2, 2025** – Approved

• **PUBLIC HEARING:**

- **4.1 Public Hearing: Request to Amend the Text of Article 22-21 – Special Exceptions for Multi-Family Dwellings.** The proposed amendment adjusts the requirements that allow single-family zoned properties in certain circumstances to be developed as multi-family

MEETING

Place: Orem City Council Chambers, 56 North State Street

At 5:33 p.m. Chair Komen called the Planning Commission meeting to order. An invocation was offered by Gerald Crismon.

Those present: Mike Carpenter, Gerald Crismon, James (Jim) Hawkes, Rod Erickson, Madeline Komen, Britton Runolfson, Planning Commission members; Jared Hall, Planning Division Manager; Grant Allen, Matthew Taylor, Senior Planners; Grace Bjarnson and Rebecca Gourley, Associate Planners.

Those excused: Haysam Sakar, Planning Commission member; Gary McGinn, Development Services Director/Legal Counsel

Agenda Item 3, Consent Agenda: Chair Komen introduced the Consent Agenda. Jim Hawkes motioned the pass the agenda. Mike Carpenter seconded. The motion passed unanimously. Approved items:

- 3.1 Approval of Minutes for 7-2-2025 – Approved

Agenda Item 4.1 Request to Amend the Text of Article 22-21 – Special Exceptions for Multi-Family Dwellings.

Jared Hall presented the request for an amendment to Article 22-21, which alters the following:

- 22-21-2(A)(3), *increases the lot size limit from 20,000 to 48,000*
- 22-21-2(C), *reduces the existing surrounding multifamily unit requirement for new multifamily developments in single family zones from 100% to 75%*
- 22-21-2(C), *alters the definition of a block by allowing non-public streets to qualify as “public streets” in the event a road does not allow a block to be circumnavigated*
- 22-21-2(C), *postpones the removal of existing structures during the construction of a new multifamily development, provided the infrastructure can be placed without required demolition*
- 22-21-3(A)(4) and (3), *allows lots over 20,000 square feet to have one unit per 2,950 square feet; and provides a density bonus if energy efficient windows are used*
- 22-21-3(D), *allows a meter to be installed per each connected utility*
- 22-21-3(H), *allows wood and cement fiber board to be an acceptable exterior finishing material*

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- 22-21-3(J), *reduces the front of each multifamily dwelling facing the street to have an offsetting façade averaging twenty inches instead of two feet*

A copy of the proposed changes has been added to the minutes per exhibit A for reference.

Staff turned the item on to the Commission for discussion. Chair Komen asked staff to clarify what the new proposed definition of a block would entail, and what homes would be counted toward the multifamily requirement. Jared Hall advised that the nearest streets would impact Mr. Zumbrennen's property under the new definition and greatly reduce the area of the block.

Chair Komen then reclarified that the item that was being voted on was the text amendment. The Commission invited Mr. Zumbrennen to speak.

Mr. Zumbrennen came forward and expressed that he had forwarded an application under the State Street District of the North Orem Neighborhood several years ago, but that the project had been halted due to a moratorium on the State Street Districts. He advised that despite the moratorium, townhomes and multifamily options were still optimal for the property he wishes to develop, due to nearby public transportation, the need for housing, the desire to improve the value of the surrounding neighborhood, and to have a return on his investments; hence, the proposed amendment to allow for multifamily development.

Rod Erikson asked about the parking plans for Mr. Zumbrennen's anticipated development. Mr. Zumbrennen said his property would provide two car garages and two driveways per unit and provided details on his stormwater plans.

Chair Komen asked questions regarding the vestment of Mr. Zumbrennen's previous application. Staff advised that they were unable to provide information, and that it would need to be addressed by the legal team at a later date.

PUBLIC COMMENT

Chair Komen then opened the item for Public Comment. The following individuals spoke:

- Tammy Moore, Neighbor: Ms. Moore expressed concern about traffic and crime in the area and explained that she would prefer to see the city preserve open space.
- Mike Nielson, Neighbor: Mr. Nielson advised that when he first built his home, the city had been more rural. He advised that the city is partially at fault for traffic and congestion and has concerns about the narrowness of the roads near Mr. Zumbrennen's desired development. Mr. Nielson was generally against the increase in density in the city.
- Rod Davis, Neighbor: Mr. Davis expressed his concern about the increase in density and traffic. He advised that the nearby streets are too narrow and there is a history of requiring less units rather than allowing more in the area.
- Rick Jeske, Neighbor: Mr. Jeske expressed concerns about the existing units along 134 West and 900 North, claiming that residents already use an excess of street parking. He advised that the text amendment would allow too much density, agitate the existing parking issues, and put pressure on an underperforming sewer sump in the area.
- Dick Allen, Neighbor: Mr. Allen expressed that he would like a new development in the 134 West 900 North region, but that a development the size of what the text amendment would allow was too large. He advised the road is too crowded, access is difficult, and the increase in traffic would endanger families with young children.

No further individuals came forward. The public comment session was closed at 6:21 PM.

Chair Komen invited the applicant to come forward for final comments.

Mr. Zumbrennen provided a summary of the neighborhood meeting he had held for this amendment and advised that the 20 individuals in attendance appeared to be generally optimistic of the project, with concerns for the tenant who currently lives on the property. He advised that he wanted to meet landscape requirements and exceed parking expectations, and reiterated that multifamily housing was the most logical type of housing to put on a lot with a long rectangular shape.

Chair Komen turned the item back to the Commission for further questions and final comments.

Britton Runolfson asked if the text amendment would be citywide or just for Mr. Zumbrennen's property. Staff clarified the text amendment is citywide.

Mike Carpenter expressed his concerns about the dramatic change the amendment would propose for the entire city. Jim

DRAFT Planning Commission minutes for August 6, 2025

Hawkes agreed. Britton Runolfson agreed and noted that the change would be too open ended with unpredictable long-term impacts. Rod Erikson advised that he was conflicted, as he agreed with the creation of smaller lots and affordable housing, but disagreed with the amendment's approach. Chair Komen advised that the amendment was poorly constructed, would agitate issues with the existing code, and was not a reasonable code to apply for all neighborhoods citywide.

Motion: Jim Hawkes motioned to forward a negative recommendation to City Council. Mike Carpenter seconded the motion.

Those voting yes: Britton Runolfson, Jim Hawkes, Mike Carpenter, Madeline Komen, Rod Erikson

Those abstaining: Jerry Crismon

The motion passed with 5 positive votes and 1 abstention.

Final Meeting Comments: Jared Hall reminded audience that a citywide notice will not be sent out. Residents must watch council agenda to see when the item will be voted on for City Council. Both Chair Komen and Britton Runolfson reminded the audience that the Planning Commission vote is advisory and the final vote will be with City Council

Adjournment: Chair Komen asked for a motion to adjourn. Rod Erikson motioned to adjourn, Jim Hawkes seconded. The motion passed unanimously.

The Regular Session adjourned at **6:24 p.m.**

Reviewed and Approved: August 20th, 2025

EXHIBIT A

Article 22-21 Special Exception for Multifamily Dwellings.

22-21-1. Purpose.

The purpose of this Article is to allow the development of [Multifamily Dwellings](#) on vacant lots adjacent to existing Multifamily Dwellings, subject to the standards and provisions contained herein.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

22-21-2. Criteria for Special Exception.

The Board of Adjustment may grant a special exception for a [Multifamily Dwelling](#) for a parcel in the R6, R6.5, or R7.5 [zones](#) only, under the following circumstances:

A. The lot meets all of the following criteria:

1. At least fifty percent (50%) of the front and side property lines of the lot are located directly across the [street](#) from or adjacent to a multifamily dwelling, a [PRD](#) in single ownership, or a commercial development;
2. The front of the lot is oriented in the same direction as at least one adjacent lot containing an existing multifamily dwelling or PRD in single ownership;
3. The lot is at least eight thousand (8,000) square feet and not more than ~~thousand (20,000)~~ **twenty** thousand (48,000) square feet;
4. The [lot width](#) is equal to or greater than the minimum lot width required for the zone in which the lot is located;
5. The lot has not been previously developed;
6. The lot is a legal lot of record, does not contain any [structures](#), and is not within a recorded subdivision plat; and
7. The lot was in existence on November 1, 1999, and has not been subdivided subsequent to that date.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004; Ord. No. O-06-0022, Amended 10/24/2006)

- B. The lot is surrounded on all property lines (including across the street) by multifamily dwellings, a developed nonresidential [use](#) (this does not include any agricultural use), or a commercial development and complies with Section 22-21-2(A)(3) and (7).; or;

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004; Ord. No. O-06-0022, Amended 10/24/2006; Ord. No. O-07-0031, Amended 06/12/2007)

- C. The lot is located on a city block where **all** at least seventy-five percent (75%) of other lots are occupied by multifamily dwellings and complies with Section 22-21-2(A)(~~1~~), (3) and (7). For purposes of this section, a city block is defined as an area that is completely surrounded by public streets or the equivalent, if roads do not allow the block to be circumnavigated.

No multifamily dwelling(s) shall be constructed under this exception until all other primary structures on the lot have been removed; however, if necessary infrastructure can be put in place without removing primary structures, the removal may be postponed until occupancy of new structure is available. This could be done with phasing.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004; Ord. No. O-06-0022, Amended 10/24/2006 (which deleted D, E, F, & G as well))

22-21-3. Development Requirements and Architectural Standards.

Any [Multifamily Dwelling](#) constructed pursuant to a special exception authorized by this Article shall comply with the following standards:

A. **Density.** The maximum number of [dwelling units](#) shall be as follows:

1. Two (2) on lots of 8,000 square feet up to but not including 10,000 square feet.
2. Three (3) on lots of 10,000 square feet up to but not including 12,000 square feet.
3. Four (4) on lots of 12,000 square feet up to and including 20,000 square feet.
4. Lots over 20,000 square feet allow one unit per 2,950 square feet.
5. Density Bonus: If 2x6 exterior walls and energy efficient windows are used then a five percent (5%) density bonus will be allowed.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

B. **Height.** The maximum height for any Multifamily Dwelling shall be thirty-five feet (35').

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

C. **Setbacks.** The setbacks shall be the same as required by the [zone](#) in which the Multifamily dwelling is located.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

D. **Utilities.** The public sewer system and the public water supply shall serve all [dwellings](#). All utilities shall be underground. Each Multifamily Dwelling is required to have a minimum of one meter for natural gas and electricity for each connected utility. Compliance with the provisions of [CHAPTER 21](#) of the Orem City Code for water meter connections is required. No water or sewer lines shall be located under covered parking areas.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

E. **Parking.** A minimum of two and one-half (2½) off-street parking spaces per dwelling unit shall be provided for each Multifamily Dwelling. Parking spaces may not be constructed in the front or rear setback. However, if a driveway leads to a two-car garage, one (1) guest parking stall per driveway may be located in the [front yard](#) setback on the driveway. Parking may be located in the side-yard in accordance with the standards of Section [22-15-3\(E\)\(4\)](#) of this Chapter. A driveway may be constructed in the front setback but may not be constructed in the rear

setback unless it is also located in the side-yard setback. All parking spaces shall measure at least nine feet (9') by eighteen feet (18'). Parking spaces shall be paved with asphalt and/or concrete and shall be designed to provide for adequate drainage.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004; Ord. No. O-07-0045, Amended 10/09/2007)

- F. **Off-site Improvements.** The City shall require off-site curb, gutter and sidewalk along street rights-of-way bordering the lot when the proposed Multifamily Dwelling impairs off-site safety or surface water drainage and there is a nexus between the required improvements and the governmental purpose provided the amount of the improvements are roughly proportional to the amount of the off-site impact caused by the Multifamily Dwelling.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- G. **Storage Areas and Solid Waste Receptacles (Dumpsters).** All outside storage areas, except RV storage areas, and all solid waste receptacles which are not located within the Multifamily Dwelling, shall be enclosed on at least three sides with the same materials as used on the exterior of the main building. Detached storage units may not exceed 100 square feet per dwelling unit.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- H. **Exterior Finishing Materials.** The front elevation of the Multifamily Dwelling shall have at least 60 percent (60%) of its exterior finishing materials of either brick, stone, cultured stone, stucco, wood, cement fiber board or a combination of these materials. The rear and side elevations shall have at least 40 percent (40%) of their exterior finishing materials of either brick, stone, cultured stone, stucco, cement fiber board or wood. Architectural trims do not count in the percentages required above.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- I. **Roof Pitch.** All Multifamily Dwellings shall have a minimum roof pitch of five rise to twelve run.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- J. **Front Facades.** The front of each Multifamily Dwelling facing the street shall have offsetting facades averaging of at least two feet (2') twenty inches (20"). Units shall be located side-by-side and shall not be stacked.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- K. **Entrances.** All entrances in the front elevation of any Multifamily Dwelling constructed pursuant to a special exception granted under this Article shall be located on the same level.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- L. **Orientation of Multifamily Dwelling(s).** The Board of Adjustment may specify the orientation of the front of the proposed Multifamily Dwelling to ensure that the Multifamily Dwelling fits in and is compatible with the surrounding neighborhood and to reduce any negative impacts on adjacent [single-family dwelling](#) units.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- M. **Landscaping.** At least thirty (30) percent of the lot containing a multifamily dwelling(s) shall be landscaped. All areas within the lot not covered by [buildings](#), driveways, sidewalks, [structures](#), and parking areas, shall be permanently landscaped with trees, shrubs, lawn or ground cover and maintained in accordance with good landscaping practices. All landscaping shall have a permanent underground sprinkling system. At least one (1) deciduous tree a minimum of one and one-half (1 and 1/2) inch caliper measured six (6) inches above the rootball, one (1) evergreen tree at least six (6) feet in height measured above the rootball, and eight (8) shrubs at least two and one-half (2 and 1/2) gallons in size are required for every dwelling unit.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-01-0021, Amended, 06/12/2001; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004)

- N. **Drive Entrances.** No more than two drive entrances shall be allowed per lot. However, if the number of driveways desired is three (3) or four (4), each unit may have its own driveway if a transportation study by a qualified engineer and approved by the Orem City transportation engineer, proves there is little or no negative effect on increasing the number of driveways up to four (4) maximum. The maximum width of a combined-unit driveway is thirty-six (36) feet and the maximum width of a single-unit driveway is twenty (20) feet.

(Ord. No. O-00-0003, Enacted, 01/25/2000; Ord. No. O-02-0044, Amended, 11/12/2002; Ord. No. O-04-0044, Amended, 9/28/2004; Ord. No. O-07-0045, Amended 10/09/2007)

 Administrative	PLANNING COMMISSION August 20, 2025	Item 3.2
	CASCADE VISTA, PLAT C 438 North 850 East Plat Amendment 3 lots involved, R8 Zone (0.34, .30, and .25 acres)	<u>Prepared By:</u> Jared Hall <u>Applicant:</u> Cynthia Farnsworth

Notices:

Posted in 2 public places.
Posted on City Webpage
and City hotline.
Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:
Low Density Residential

Zoning: **R8**

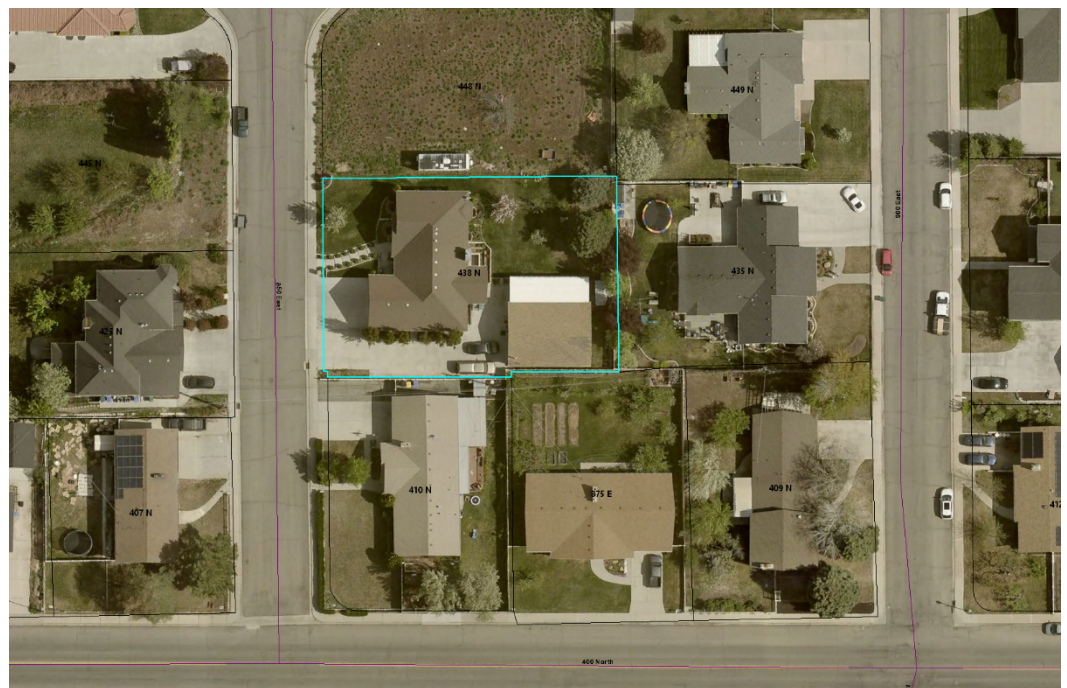
Total Acreage: **0.90 acres**

Action:

The Planning Commission
is the Land Use Authority
and the approving body for
this item.

REQUEST: The applicant requests approval for a plat amendment to make small adjustments to shared property lines between the applicant's property at 438 N. 850 East (Lot 2) and the two adjacent lots at 448 N. 850 East (Lot 1) and 410 N. 850 East (Lot 3). The proposed adjustment would move the side-yard property line between Lots 2 and 3 to the north three feet and also transfer a 500 ft² (20' X 30') area from the rear southeast corner of Lot 1 to Lot 2.

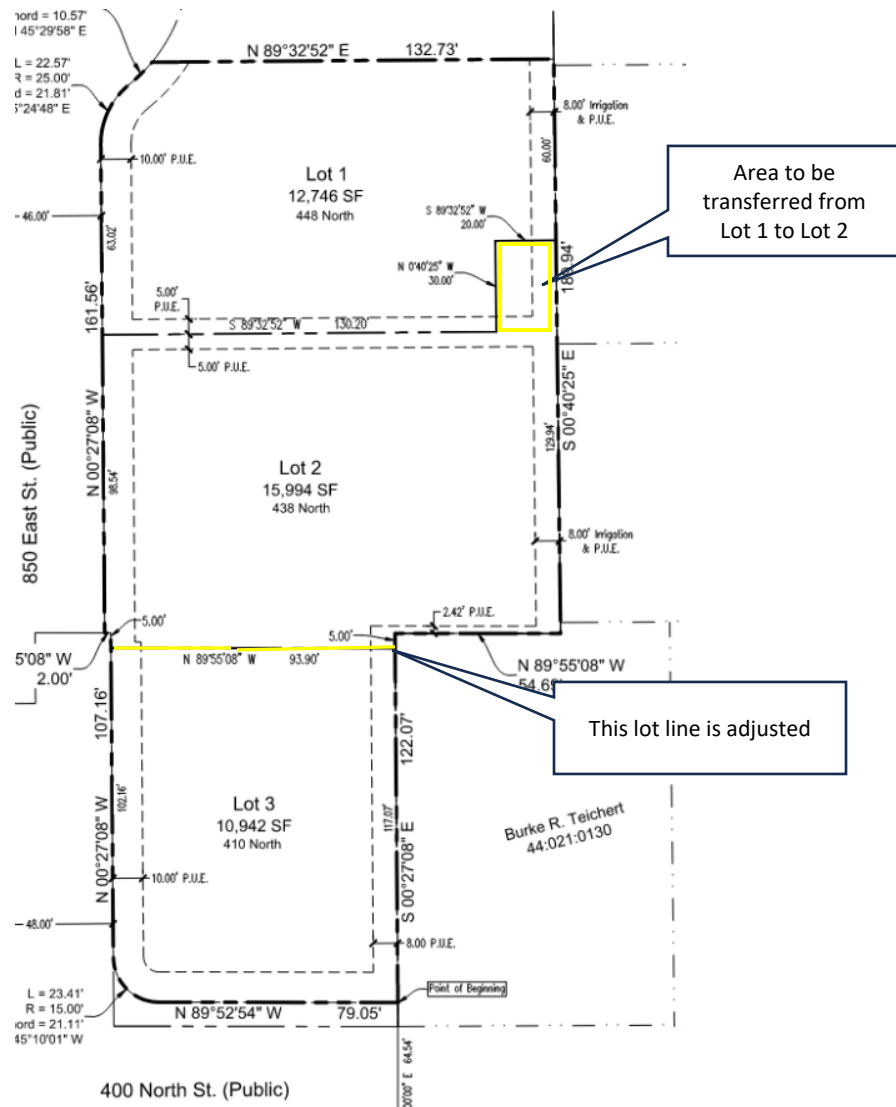
BACKGROUND: The applicant owns the subject property (438 North, Lot 2) and wishes to adjust lot lines shared with both adjacent properties. Proposed Plat C amends the original Cascade Vista subdivision.



REVIEW: Article 17-5-10 -A designates the Planning Commission to consider and approve any proposed amendments to a recorded subdivision plat or aspect of a subdivision such as a street or lot. The amendment makes two adjustments:

Lot 1 & Lot 2: The applicant wishes to acquire a 500 ft² portion of the rear, southeast corner of 448 North (Lot 1). The area in question is 30' wide by 20' deep, and no home has been built yet on Lot 1. With a total lot depth of 150' on that side, Lot 1 will remain buildable with respect to rear-yard setback requirements.

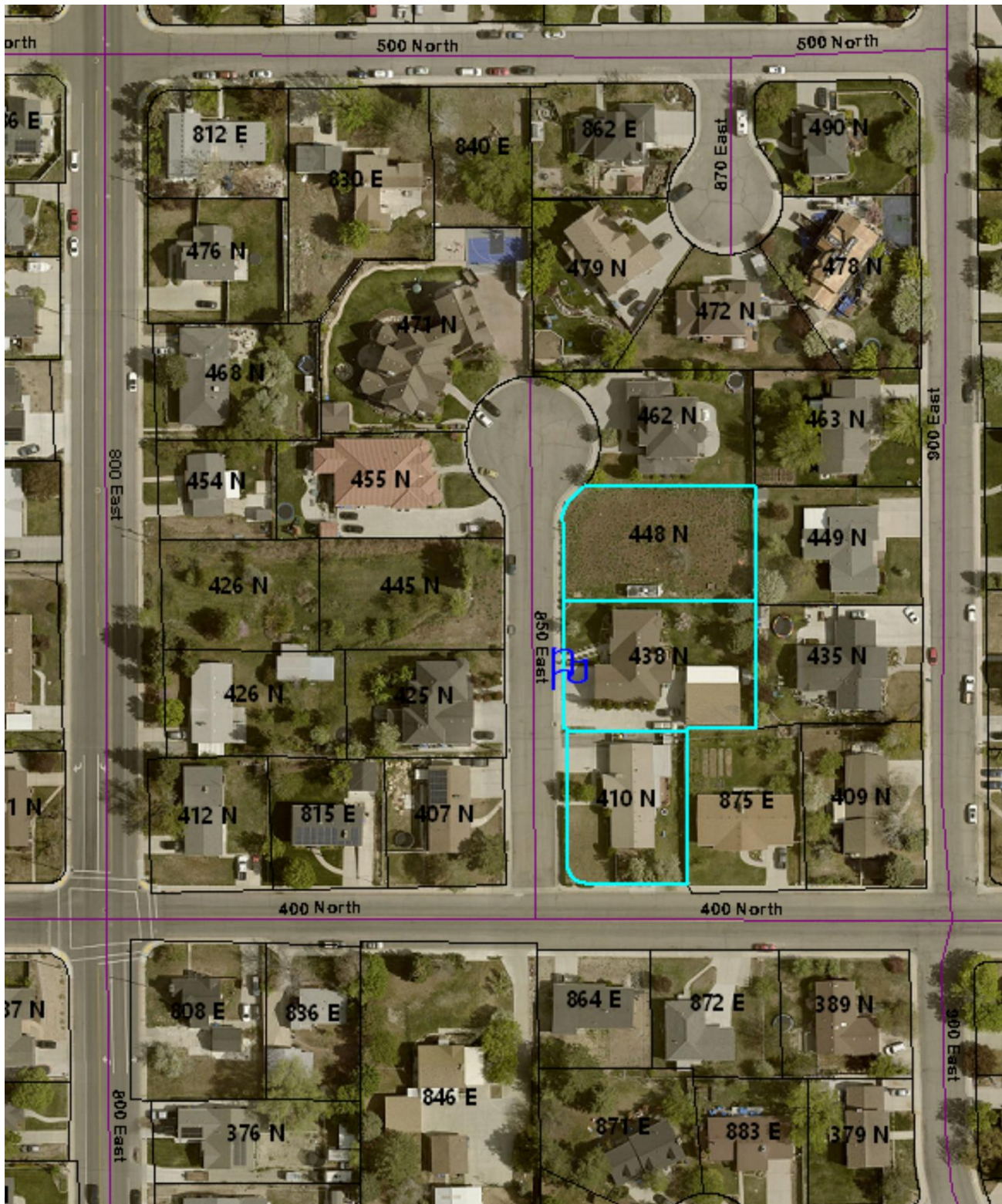
Lot 2 & Lot 3: The proposed amendment lengthens the rear property line of Lot 3 from 119.07' to 122.07' to match existing conditions and what both owners had accepted as the lot line.



DEVELOPMENT REVIEW COMMITTEE: The Development Review Committee (DRC) reviewed the plat amendment on Tuesday, May 27, 2025. The DRC voted to approve, and did not forward any conditions to the Planning Commission.

ACTIONS: The Planning Commission is the designated Land Use Authority for plat amendments. The Commission may approve or deny the request for plat amendment or may choose to continue their consideration of the request and ask for additional information or analysis.

Cascade Vista Plat C – 438 N 850 East



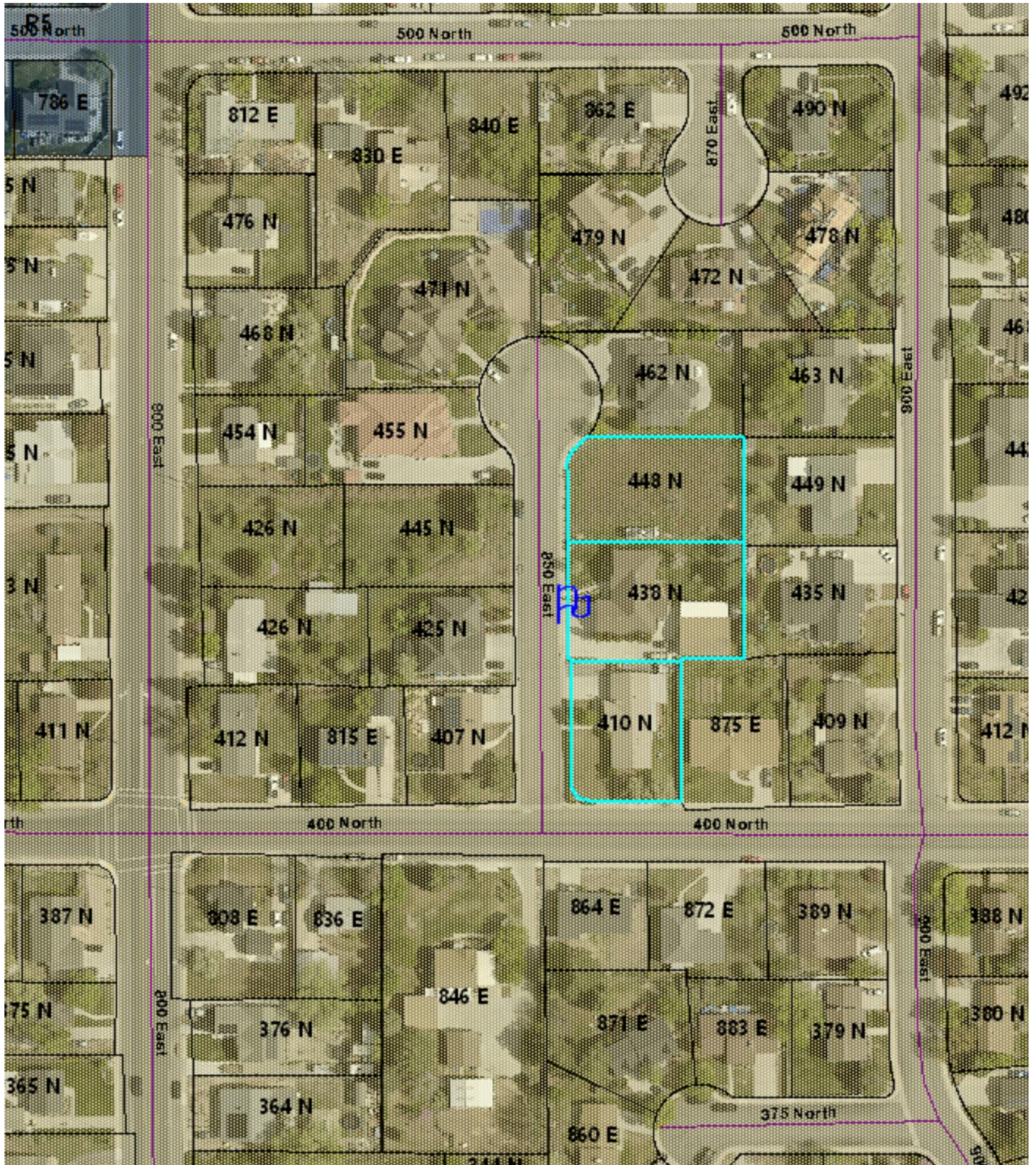
Vicinity Map

Zone: R8

438 N. Acres: Approximately .367 acres



Cascade Vista Plat C – 438 N 850 East



Zoning Map

Zone: R8

438 N. Acres: Approximately .367 acres



Cascade Vista Plat C – 438 N 850 East

Current Street View



	PLANNING COMMISSION August 20, 2025	Item 4.3
	PUBLIC HEARING: General Plan Amendment - Adding Chapter 9 - Water Use & Conservation, an element as required by State statute.	Prepared By: Matt Taylor Applicant: Orem City

<u>Notices</u> • Posted in 2 public places • Posted on City Webpage and City hotline • Posted at Utah.gov/pmn <u>Action</u> The Commission may: • Recommend that the City Council approve the proposed amendment. • Recommend that the City Council deny the proposed amendment. • Continue the hearing to a future date to allow for further review, additional information, or public comment as may be needed to make a decision.	<u>REQUEST:</u> General Plan Amendment: Adding Chapter 9 - Water Use & Conservation Element as required by State Statute. <u>BACKGROUND:</u> In 2022, the Utah State Legislature adopted Senate Bill 110, titled "Water as Part of the General Plan". This bill requires that municipalities and counties amend their general plans to consider how land use planning affects water use. Deadline: Adoption is required by December 31, 2025. Key Requirements: This element must address several critical aspects of water use and planning, including: • The effect of new development on water demand and infrastructure. • Methods to reduce water demand and per-capita consumption for both new and existing developments. • Opportunities for the local government to modify its own operations to eliminate water waste. • Shift in Planning: The bill encourages a shift from assuming an adequate water supply for future development to actively evaluating and planning for water use and demand. This can involve considering factors like sustainable landscaping, water budgets, and incentive programs. <u>REVIEW:</u> In drafting a water use and preservation element, the plan must consider applicable regional water conservation goals recommended by the Division of Water Resources and the municipality's own water conservation plan. The plan must also include recommendations for water conservation policies and landscaping options for public street park strips that do not require the use of lawn or turf. The commission must review the municipality's land use ordinances and recommend changes to any ordinance that promotes inefficient water use. The plan must also consider the principles of sustainable landscaping. Additionally, the plan must coordinate the public water system to understand how the plan's implementation may affect water supply and distribution planning. The plan may also include recommendations for other water demand reduction strategies, such as creating water budgets, adopting new landscaping standards to reduce water demand for single-family homes, and providing incentives for existing developments to modify landscapes and irrigation systems.
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Finally, the plan must include a recommendation for low-water-use landscaping standards for new commercial, industrial, institutional, common interest community, or multifamily housing projects. Orem City adopted low-water-use landscaping standards several years ago that apply to new projects throughout the city.

STATE REQUIRED PROCESS FOR GENERAL PLAN AMENDMENTS:

For General Plan Amendments, Utah State Code states that the municipal legislative body, such as the Orem City Council, may adopt or amend a general plan. Before doing so, the Council must submit the proposed amendment to the planning commission for a recommendation. The planning commission is required to hold a public hearing and provide a recommendation to the Council within a reasonable timeframe. The Council then holds its own public hearing before it can adopt the amendment by ordinance. See Utah Code 10-9a-402.

ALTERNATIVE ACTIONS:

After review and consideration of the application, the Planning Commission may:

- **Recommend Approval** of the proposed General Plan amendment.
- **Recommend Denial** of the proposed General Plan amendment.
- **Continue** the request to a future date for further review, additional information, or public comment as needed to make a recommendation.

ALTERNATIVE MOTIONS:

Motion to recommend approval or denial

"I move that the Planning Commission forward a recommendation of [choose: approval or denial] to the City Council for the proposed amendments to the Orem City General Plan .

Motion to Continue the Request

"I move that the Planning Commission continue this request for further consideration to (choose another date as appropriate).

EXHIBITS

1. Proposed Chapter 9 - Water Use and Preservation, Orem General Plan
2. [2022 Utah Senate Bill 110 - Water as Part of General Plan](#)

EXHIBIT 1 - Proposed Chapter 9 - Water Use and Preservation, Orem General Plan



INTRODUCTION

DRAFT -- FOR DISCUSSION PURPOSES ONLY -- DRAFT

Orem City General Plan

Chapter 9 - Water Use and Preservation

INTRODUCTION

This chapter provides:

- A description of water system basics.
- A snapshot of current and future water use in Orem.
- Existing and proposed water planning goals and strategies.
- Recommendations for additional goals and policies to reduce water demands in current and future developments.

Between 2010 and 2020, Utah State was ranked by the US Census Bureau as the fastest growing state in the nation¹. By 2065, the population is expected to double, increasing demand for and stretching finite water resources even further.²

“Utah ranked driest on record for 2020 with two additional western states ranking second driest. In fact, Utah’s 7.23 inches of annual precipitation was 0.89 inches less than the previous record set in 1956.”³ with much of Utah under “extreme” or “exceptional drought.”

Although the water situation has improved since 2020, as of November, 2024, most of Utah is still classified as “abnormally dry” by the U.S. Drought Monitor.⁴

In Utah, water conservation is an issue that touches everyone. Ensuring adequate water for the future is a major concern for state and local leaders, water providers, and the public.

¹ U.S. Census Bureau. (2021, August 25). *Utah: 2020 Census*.

<https://www.census.gov/library/stories/state-by-state/utah-population-change-between-census-decade.html>

² Utah Governor’s Office of Management and Budget. (2016). *Population projections 2015–2065*. Retrieved

https://d36oiw74r1rap.cloudfront.net/wp-content/uploads/2016/10/2016_10_07_StateProjections-Final-for-Print.pdf

³ National Centers for Environmental Information. (2021, January 12). *Annual 2020 National Climate Report*. National Oceanic and Atmospheric Administration. <https://www.ncei.noaa.gov/access/monitoring/monthly-report/national/202013>

⁴ National Drought Mitigation Center. (2024). *U.S. Drought Monitor*. University of Nebraska–Lincoln. Retrieved from <https://droughtmonitor.unl.edu/>

Requirement For Water and Preservation Element in General Plan

The Utah State Legislature adopted Senate Bill 110 in 2022 - *Water as Part of the General Plan* which requires municipalities and counties to amend their general plans to consider how land use planning impacts water use.⁵

The 2020 US Census established the population of Orem City 98,129.⁶ The city is 18.63 square miles in area.⁷ The city's water system serves approximately 23,530 connections, including residential, commercial, and institutional users.⁸

The median residential single-family lot in Orem City is 9,150 square feet in size.⁹ The Utah Division of Water Resources determined that on average 50% of residential lots are dedicated to landscaping.

TABLE 1 - Single-Family Residential Landscaping

	Orem City	Utah County
Median Single-Family Residential Lot Size*	9,150 sq ft	
Average Single-Family Lot Size*	11,160 sq ft	13,154 sq ft ¹⁰
50% Average Landscaping per lot	5,580 sq ft ¹¹	
Number of Single-Family Lots (est)	16,240 ¹²	
Area of Single Family Landscaping (est)	2,101 acres 3.28 sq miles	

* In Orem, excludes PRD/PD lots with common open space.

Consolidated List of Challenges and Issues from the 2021 Orem Water Master Plan and 2022 Water Conservation Plan

As a community anticipated to be built out and facing redevelopment opportunities, Orem faces significant water use challenges. The 2021 Orem Water Master Plan and 2022 Water Conservation Plan have identified these topics as challenges and issues that need to be addressed now and in the future.

⁵ Utah State Legislature. (2022). *S.B. 110: Water as Part of General Plan*. Retrieved from <https://le.utah.gov/~2022/bills/sbillenr/SB0110.pdf>

⁶ U.S. Census Bureau. (2020). *P1: Demographics*. In *2020 Decennial Census*. Retrieved from <https://data.census.gov/table/DECENNIALPL2020.P1?q=orem%20population%202020>

⁷ City of Orem. (2024). *City Boundary Layer*. ArcMap GIS.

⁸ City of Orem. (2022). *Water Conservation Plan* (Table 1, p. 5).

⁹ City of Orem. (2024). *Orem Parcel Layer*. ArcMap GIS database.

¹⁰ Utah Division of Water Resources. (2019). *Regional water conservation goals: Supporting a water-wise Utah*. Retrieved from https://conservewater.utah.gov/wp-content/uploads/2021/05/Regional-Water-Conservation-Goals-Report-Final.pdf?utm_source=chat

¹¹ *ibid.*

¹² NeighborhoodScout. (n.d.). *Orem, UT real estate market data*. Retrieved November 22, 2024, from <https://www.neighborhoodscout.com/ut/orem/real-estate>

Conservation Goals and Regional Standards

Utah has set ambitious water conservation goals through 2065, including reducing per capita water use by 20% by 2030 and 32% by 2065. Orem has made significant progress but must continue to innovate and align with state and regional standards.

Water Source Reliability

Reliance on diverse sources (wells, springs, and treated surface water) requires careful management to maintain long-term reliability amidst variability in supply and increasing demands.

Water Source Health Assessment

Springs: While cost-effective and high-quality, the springs represent a less reliable source during prolonged dry periods, posing a vulnerability to the overall water supply, especially given Utah's status as the second driest state.

Wells: From a direct water quality standpoint, deep wells are generally considered high-quality sources for culinary water and typically present fewer immediate "health concerns" related to contamination compared to more exposed surface water sources.

Surface Water: Orem obtains a significant portion of its culinary water from surface water rights to natural runoff in the Provo River and reservoir storage in Deer Creek Reservoir and Jordanelle Reservoir. All surface water used by Orem is treated at the Don A. Christiansen Regional Water Treatment Plant (DACRWTP), owned and operated by the Central Utah Water Conservancy District (CUWCD). The plant incorporates sedimentation basins and both ozone and chlorine disinfection, which are crucial steps for purifying surface water sources. This multi-barrier treatment approach ensures that the water meets public health standards before distribution.

Vineyard City Water Supply

As of July 1, 2025, the City of Orem will complete a transition away from supplying water to Vineyard City as it contracts directly with the Central Utah Water Conservancy District (CUWCD) will reduce Orem's supply obligations decreasing the impact on system conveyance needs.

Water Quality Management:

Maintaining water quality, particularly in aging infrastructure and varied water sources, remains a priority to ensure public health and regulatory compliance.

Water Meters and System Efficiency:

Aging water meters have historically provided inaccurate readings, contributing to water loss. The city is replacing these with Advanced Metering Infrastructure (AMI) technology, expected to improve efficiency and user accountability by the end of 2024.

Future Storage Needs

Decreasing availability of storage at the Don A. Christiansen Regional Water Treatment Plant (DACRWTP) highlights the need for independent storage solutions. To help mitigate this, a 10-million gallon tank will be fully completed in 2025 southeast of Community Park. The site will double as the new Heritage Park.

Aging Infrastructure

Orem City is systematically upgrading its aging water infrastructure through a comprehensive Capital Improvement Plan (CIP) and strategic financial management. The 2021 Water Master Plan guides a nearly \$93 million CIP, with annual investments of \$5.4 million to \$7.6 million, significantly increasing past investment levels. Funding for major projects comes from bond proceeds and cash reserves, with a tiered water rate structure generating revenue and encouraging conservation.

Key initiatives include:

- **Major Conveyance Improvements:** Upgrading large-diameter pipelines, especially in growing western areas.
- **Systematic Replacement & Maintenance:** Proactive replacement of aging water mains and service lines, often coordinated with street resurfacing.
- **Water Supply & Storage Expansion:** Developing new deep culinary wells to add capacity and a new 10-million-gallon storage facility.
- **Conservation & Efficiency Programs:** Implementing a wastewater reuse system for park irrigation, replacing older meters with Automated Metering Infrastructure (AMI) for improved accuracy and customer data, upsizing undersized waterlines for fire flow improvements, and an active leak detection program.

Orem continually monitors water demands and conservation progress, updating its Water Master Plan every five years to inform future investment decisions.

Stormwater and Runoff Management

Site-specific designs to minimize stormwater runoff and irrigation-related water loss can optimize water use and reduce waste.

Pricing and Financial Pressures

Rising operational and capital costs, combined with inflation and new regulations, strain financial resources. While inflationary pressures and the rising costs of maintaining and improving our water infrastructure are a concern, these issues are not incompatible with maintaining affordability for our residents. Orem's tiered rate structure, implemented in 2016, aims to balance these competing concerns. By adjusting rates to reflect usage, the tiered system promotes conservation while ensuring that the costs of necessary infrastructure projects are distributed equitably. This approach encourages responsible water use and helps offset lost revenue from those who may not be as mindful of their consumption.

Population Growth and Water Demand

Ongoing growth and redevelopment, particularly in high-density areas, are increasing water demand. Strategic planning is necessary to ensure future supply while achieving conservation goals.

Peak Day Demand Management

Ensuring the system can meet peak day water demands is a challenge, requiring adequate capacity in supply, treatment, and distribution infrastructure.

Climate Change and Drought

As one of the driest states in the U.S., Utah faces increasing drought frequency and climate variability, which threaten water supply reliability and sustainability.

Sustainable Landscaping and Outdoor Water Use

Reducing turf, promoting low-water-use landscaping, and improving irrigation efficiency are essential to addressing high outdoor water consumption.

Public Awareness and Education

Many residents are unaware of efficient water use practices, both indoors and outdoors. Expanding educational initiatives, including community outreach and partnerships with schools, is critical to fostering sustainable water habits.



WATER SYSTEM BASICS

WATER SYSTEM BASICS

Prior Appropriation Doctrine

In Utah, water resources are explicitly deemed public property. However, the prior appropriation doctrine governs water rights, granting priority rights to water use based on the principle of "first in time, first in right." Under this doctrine, the first individual or entity to divert water from its natural source and apply it to a beneficial use acquires a senior right to continue using that specific amount of water for the designated purpose. This right is maintained even during periods of drought or water shortage but is contingent upon the continued beneficial use of the water.¹³

In Utah, this framework is codified through statutory directives and is overseen by the Utah Division of Water Rights. Individuals or entities must obtain a permit from the state to ensure that water use aligns with legal and policy requirements. Each year, over five million acre-feet of water are diverted from Utah's natural water systems to serve agricultural, residential, commercial, institutional, and industrial needs. Of that total, approximately 82% is allocated to agricultural uses, with the remaining water distributed for other purposes via

¹³ Cornell Law School, Legal Information Institute. (n.d.). *Prior appropriation doctrine*. Retrieved November 21, 2024, from https://www.law.cornell.edu/wex/prior_appropriationDoctrine

municipal water delivery systems.¹⁴

Orem City Water Sources and Delivery System

Orem City operates a comprehensive water delivery system that includes multiple water sources, storage facilities, and an extensive distribution network within its service area of approximately 20 square miles. This system must be carefully planned and designed to meet a wide range of demands, including daily and seasonal variations, fire protection, and emergency scenarios.

The potable water sources used in Orem include:

- **Orem Wells:** Primarily located on the east side of the city, nine wells are the primary municipal groundwater wells, varying in depth and capacity. By 2026, this will be expanded to ten wells.
- **Provo River Direct Flow Rights:** These rights grant Orem a 'Class A' water right of up to 35 million gallons per day from April 20 to October 15. However, considering seasonal reductions result in an average annual yield of 16,812 acre-feet. In dry years, yields can drop to 20% of the average, producing only 3,706 acre-feet annually.
- **Metropolitan Water District of Orem (MWDO) Surface Water Allocations:** MWDO manages rights to 13,861 acre-feet of surface water annually from Jordanelle and Deer Creek reservoirs. These sources act as a buffer, supplying water during dry periods or when Provo River flows are insufficient.
- **Central Utah Project (CUP) Water:** CUP provides Orem with a reliable annual allocation of 7,520 acre-feet, managed by the Central Utah Water Conservancy District (CUWCD).
- **Canyon Springs:** Alta Springs and Canyon Springs located in Provo Canyon offer high-quality, cost-effective water but are influenced by seasonal and climatic conditions.

Future Supply

Reuse Water: Orem has constructed a facility to reuse water for irrigation and other non-potable applications. This involves treating effluent from the city’s Water Reclamation Facility, providing a sustainable and reliable alternative water supply to reduce demand on potable sources.

Much of the delivery infrastructure for reuse water from the WRF has been installed, connecting the facility to various irrigation sites. The reuse project is considered an essential component of Orem's long-term water conveyance and conservation strategies.

Water Supply

The following table summarizes the water source yields, based on the 2021 Water Master Plan and the Orem City Water Conservation Plan 2022:

¹⁴ Utah Legislature. (2023). *Water rights in Utah*. Retrieved November 21, 2024, from <https://le.utah.gov/interim/2023/pdf/00003778.pdf>

Source	Average Year (AcreFeet)	Dry Year (Acre-Feet)	Notes
Orem Wells	18,306	18,306	The 2021 Water Master Plan specifies a maximum sustained pumping rate of 18,306 acre-feet per year for Orem wells.
Provo River Rights	16,812	3,706	The 2021 Water Master Plan indicates a yield of 16,812 acre-ft in average years and 3,706 acre-ft during dry years. These numbers represent direct flow rights from the Provo River.
Deer Creek Storage	6,700	6,700	The 2021 Water Master Plan states that the Metropolitan Water District of Orem (MWDO) has rights to 6,700 acre-ft per year of surface water from Deer Creek storage, which is consistent for both average and dry years.
Jordanelle/Deer Creek Storage	1,161	1,161	The 2021 Water Master Plan notes that the MWDO has rights to 1,161 acre-ft per year of surface water from Jordanelle/Deer Creek storage. This is consistent for both average and dry years.
CUP Water	7,520	7,520	The "Orem City Water Conservation Plan 2022" states that the MWDO has contracted with CUWCD for 7,520 acre-feet of Central Utah Project (CUP) water, and this is consistent for both average and dry years. The 2021 Water Master Plan does not provide a specific figure for CUP water.

Total Springs	3,838	2,958	The 2021 Water Master Plan combines Alta and Canyon Springs with an average yearly yield of 3,838 acre-ft and a dry year yield of 2,958 acre-ft. The 2022 Water Conservation Plan also lists the average for the Alta Spring as 2,400 acre-feet per year, and the average for Canyon Springs as 547 acre-feet per year. It's important to note that these averages are based on slightly different historical periods.
Future Reuse	516	516	The 2021 Water Master Plan anticipates a future reuse system that will yield 516 acre-feet per year.
TOTAL	54,853	40,867	
To get a clearer picture of Orem's water supply, refer to the specific tables and figures in the 2021 Water Master Plan, especially Table 4-4. Pay close attention to the difference between water <i>rights</i> or <i>shares</i> and actual <i>available</i> water. It is important to note that these figures represent the <i>rights</i> or <i>contracted</i> amounts, not necessarily the actual amount of water available each year. Factors like drought, infrastructure limitations, and water management practices can affect actual yields. Also, different parts of the document use different data, for			

example, the average spring yield is based on data from 1981 to 2006 and the historical source utilization data uses numbers based on 2009-2019. Remember that the figures provided are estimates based on historical data and projections, and are subject to change The "Orem City Water Conservation Plan 2022" offers a more recent perspective on the city's water resources and goals.			
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Facilities

Don A. Christiansen Regional Water Treatment Plant (DACRWTP): This plant treats surface water sourced from the Provo River and reservoirs, providing up to 42 million gallons per day to meet the city's peak demands. This water supplements Orem's local water supplies and is treated at the Don A. Christiansen Regional Water Treatment Plant before distribution.

Water Reclamation Facility (WRF): The WRF in Orem is a key component of the city's water management strategy, particularly in its efforts to implement water reuse. The facility treats wastewater to a high standard, enabling its use for non-potable applications such as irrigation at locations like the Sleepy Ridge Golf Course, Lakeside Sports Complex, and nearby parks. With much of the necessary infrastructure for reuse already in place, the project is poised to provide an initial supply of 516 acre-feet annually, with the capacity to expand as demand grows. Supported by significant funding from ARPA grants, the WRF's reuse initiative is designed to reduce reliance on potable water for irrigation, addressing peak day demands of up to 1.5 million gallons per day (MGD). This sustainable approach aligns with Orem's long-term conservation goals, ensuring efficient use of water resources.

Storage Facilities: Water Storage Tanks in Orem

1. **Upper Tanks (1 and 2)**
 - **Volume:** 2.0 million gallons each (4.0 MG total)
 - **Description:** Buried concrete circular tanks.
2. **Canyon Springs Tank**
 - **Volume:** 0.05 million gallons (50,000 gallons)
 - **Description:** Buried concrete circular tank.
3. **Lower Tanks (1 and 2)**
 - **Volume:** 5.0 million gallons and 3.0 million gallons (8.0 MG total)

- **Description:** Steel tanks.
- 4. **Cherapple Tank**
 - **Volume:** 0.4 million gallons (400,000 gallons)
 - **Description:** Buried concrete circular tank.
- 5. **DACRWTP Storage**
 - **Volume:** 9.5 million gallons available to Orem (out of a total capacity of 37 MG)
 - **Description:** Buried concrete circular tanks used jointly with Central Utah Water Conservancy District (CUWCD).
- 6. **Heritage Park Tank**
 - **Volume:** 10.0 million gallons (planned capacity)
 - **Description:** This tank was completed in 2025 and will be put in service in 2026 to enhance system storage and meet future demand. It will provide critical support for water supply and emergency storage needs, serving as part of Orem's long-term water infrastructure plan.

Total Storage Capacity: 31.95 million gallons from all tanks combined.

Water Demand Increasing

The Orem Water Master Plan projected population growth in three categories based upon Mountainland Association of Governments (MAG) projections.¹⁵

Population Growth: Orem grew from a population of 87,497 to 98,625 between 2009 and 2020, and has an estimated 2024 population of 100,000. It is anticipated the city will reach a buildout population of just under 140,000 by 2065, which is an increase of 40,000 over current population levels.

Nonresidential Population Growth: Additionally, Orem City has a significant nonresidential population. A nonresidential population refers to individuals who are present in a specific area for purposes other than residence, such as work, study, or tourism, and do not reside there permanently.

Student Population Growth: Because Utah Valley University (UVU) makes up a significant portion of City-wide water demand, and has a significant potential for growth, projections for UVU were treated separately from other nonresidential projections.

Table 3-1
City of Orem Population Projections

Year	Orem Residential Population*	Orem Nonresidential Population*	UVU Student Population
2020	98,625	65,373	39,931
2030	109,374	74,042	42,749
2040	122,441	73,564	45,568
2050	133,429	73,605	48,386
2060	137,734	77,827	51,205
2065	139,887	79,939	52,614

*Population data projections based on data from MAG.

Table 3-1, Orem City Water Master Plan

¹⁵ Bowen Collins & Associates. (2021). *City of Orem water master plan*. City of Orem. p 2-9.

Ensuring water is available to meet all users' existing needs and anticipated growth is an essential function of the city.

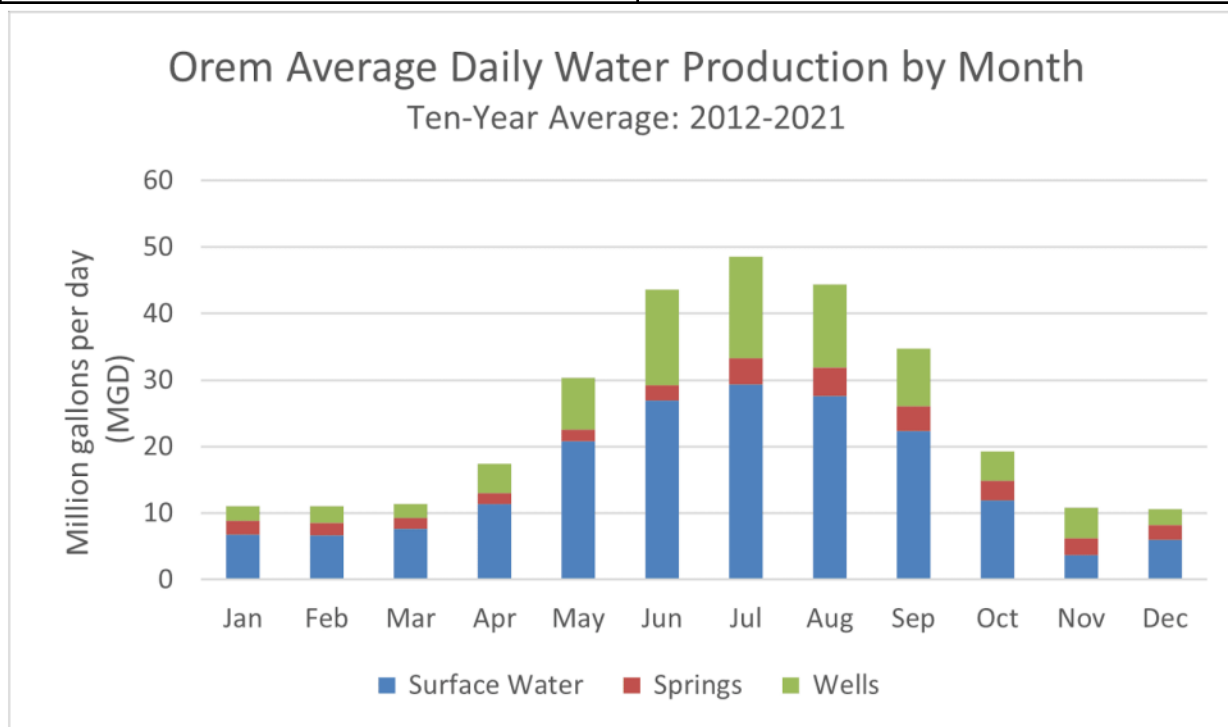
Water Usage

Gallons per capita per day (GPCD) is a measurement used to represent water use for an area and is the standard practice among water professionals. GPCD includes residential water use, commercial water use, institutional water use, and system losses, and is calculated by dividing total annual water use by the resident population. Water supply and use numbers are often reported in Acre Feet Per Year (ACFT).

Existing Requirements - Culinary Water System

The ten-year (2012 and 2021) average monthly water deliveries for the culinary system from all sources was as follows:

Source	Million Gallons per Day Annually
Surface Water	15,106 (62%)
Orem Wells	6,768 (28%)
Springs	2,583 (11%)
TOTAL	24,456 (24.456 billion)



Source: Figure 3 - Orem Water Conservation Plan

Need for Additional Primary Water Sources

New Wells

The City of Orem is constructing one new well and has plans to construct another and rehabilitate an existing well to expand its water supply capacity and meet future demands. These include:

1. **Community Park Well (400 South):**
 - Under construction adjacent to the new Heritage Park/Water Tank near Community Park, this well is a priority for supporting storage and conveyance needs. It will address water supply demands and is expected to be completed in 2026.
2. **1600 North Well (400 West):**
 - Identified as a suitable site, this well will enhance system capacity and is scheduled for development by 2024, according to the Water Master Plan
3. **Well No. 1** is planned for reconstruction at Hillcrest Park to maintain and improve its operational efficiency.

The need for additional wells in Orem's culinary water system is driven by multiple factors, including population growth, system reliability, and long-term water security. Orem's current system relies on nine deep wells, which provide approximately 28% of the city's annual water supply. These wells are essential for maintaining system redundancy, ensuring that water needs are met even if one or more wells are offline due to maintenance or unexpected failure. As the city continues to grow, additional wells are necessary to meet rising demand and maintain adequate pressure and supply across all pressure zones.

Moreover, new wells can diversify the city's water portfolio, reducing dependence on surface water sources like the Provo River, which are vulnerable to seasonal fluctuations and potential environmental or regulatory changes. Expanding well capacity also ensures resilience against emergencies, such as droughts or infrastructure failures, while enhancing the system's ability to handle peak demands during summer months.

Secondary Water Systems

Orem does not have a traditional secondary (non-potable) water system for landscape irrigation or other outdoor uses. Instead, all water needs, including indoor and outdoor use, are met through the culinary water system. This system integrates water from multiple sources, including surface water from the Provo River, groundwater from wells, and mountain springs, which are all treated to meet drinking water standards.

Reuse Facility

The City of Orem is actively developing a reuse water system to enhance sustainability and maximize the efficiency of its water resources. Treated effluent from the Water Reclamation Facility (WRF) will be utilized as a secondary, non-potable water source for irrigation at parks, golf courses, and other landscaped areas. This dedicated reuse water system, separate from the potable water infrastructure, will help meet non-drinking water needs while reducing demand on the city's culinary water supply. Initially capable of providing 516 acre-feet annually, the system is designed for future expansion to support growing needs. By recycling water within the community, the reuse system not only increases Orem's water resilience during droughts and peak usage periods but also aligns with the city's commitment to sustainable water management practices.

Utah Valley University

However, institutions like Utah Valley University (UVU) have their own water systems for specific uses. For example, UVU utilizes a deep well constructed on campus for landscape irrigation, helping to reduce the

demand on the city's culinary water system for such purposes.

Per Capita Water Usage

With conservation measures in place, it is estimated that in 2025, average daily water usage is projected to reach **142 gallons per capita**, based on a combined residential and non-residential population of **172,240**.¹⁶

It is estimated that in 2025, peak day water usage is projected to reach **371 gallons per capita**, based on a combined residential and non-residential population of **172,240**. This peak demand occurs only once per year.¹⁷

Outdoor Water Use and Sustainable Landscapes

As of 2010, “65% of Utah’s residential water is used outdoors and 35% indoors. In terms of total public community system use, 60% is used outside and 40% indoors.”¹⁸

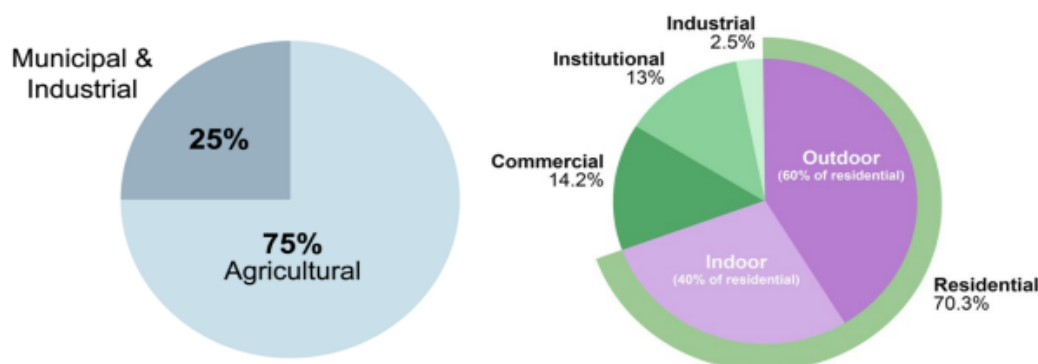


Figure 1. Utah's Water Use: (left) diverted water use by sector, and (right) residential use accounts for over 70% of municipal and industrial diverted water; 60% of residential water is used outdoors.

Data source: DWR, 2021

The agricultural sector uses 75% of Utah's water, while the municipal and industrial (M&I) sector accounts for 25% (DWR, 2021). Within the M&I sector, over 70% is residential, with **60% of that used for landscaping**. Overall, outdoor residential water use represents 11% of Utah's total annual water diversions, approximately 500,993 acre-feet per year.¹⁹

¹⁶ This calculation was derived from - Bowen Collins & Associates. (2021). *City of Orem water master plan*. City of Orem. Table 3-4.

¹⁷ Ibid. p. 3-12

¹⁸ Utah Division of Water Resources. (2010). *Municipal and industrial water use in Utah*. p 7. Retrieved from https://content.csbs.utah.edu/~lozada/Research/DNR_WaterUse_original.pdf

¹⁹ Clark, C., Becker, K., Wagner, K., & Hotaling, S. (2022). Climate resiliency fact sheet: Policies and programs for water-wise residential landscaping in Utah. Utah State University Extension.

PRINCIPLES OF SUSTAINABLE LANDSCAPING

1 Start with a plan



For a landscape design to be water-conserving, it needs to use water efficiently. The planning stage is the optimal time to decide which water efficiency strategies will be used.

2 Practical turf areas reduce over-irrigation



Water-efficient landscaping does not require the elimination of all turfgrass. In fact, turfgrass can be a practical and beneficial component of a water-wise landscape if best practices are followed. The use of turfgrass becomes problematic when it is over-irrigated, used in areas that are challenging to irrigate such as steep slopes or odd-shaped and narrow spaces, and when it is placed in areas where it isn't useful.

3 Soil preparation is the foundation of a quality landscape



Soil is the most basic component of a quality landscape and will have an impact on the growth rate, health, and appearance of plants.

4 Proper plant selection & placement saves water



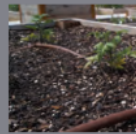
Selecting the right plant for the right place is critical to creating a water-efficient landscape. Proper placement provides shade, privacy, beauty, efficiency, and can even decrease yard maintenance.

5 Retain soil moisture with mulch



Mulch covers the soil and prevents crusting, compaction, and moisture loss. Mulching around trees, shrubs, and flower beds can result in a ten-fold reduction in evaporative water loss from soil.

6 Efficient irrigation is critical for conserving water



Grouping plants with similar water needs (hydrozoning) is the first step in developing an efficient irrigation plan. Once plants are properly zoned, develop an irrigation schedule that will apply the appropriate amount of water based on the unique needs of each zone.

7 Proper landscape maintenance keeps plants healthy & helps conserve water



Landscape maintenance is one of the most important components of a beautiful and lasting landscape. The main activities required to maintain a water-wise landscape are irrigation and irrigation system maintenance, weed control, fertilization, pruning, and pest and disease control.

20



FUTURE WATER REQUIREMENTS

FUTURE WATER REQUIREMENTS

Future water requirements in Orem City are calculated assuming water use patterns and per-capita water use both remain relatively constant. According to this measurement, the total yearly demand in **buildout** conditions is projected to be approximately **37,500 acre-feet**, which can be met over the next decade with continued wholesale purchases and the current exchange agreement through CUWCD.

Future water requirements in Orem City are calculated based on historical water use patterns, adjusted for population growth, and the incorporation of conservation measures. Under buildout conditions, the city's annual demand is projected to reach approximately 37,107 acre-feet and without conservation, 32,496 acre-feet with conservation strategies implemented. These projections assume declining per-capita water use in alignment with state conservation goals. To meet future needs, Orem relies on its current water rights, agreements with the Central Utah Water Conservancy District (CUWCD), and wholesale purchases, including a contracted

²⁰ City of Lindon General Plan (2023)

7,520 acre-feet annually from CUWCD. While these resources are sufficient for the next decade, continuous monitoring and adaptive management will be critical to ensure long-term water security.

Orem City, with its limited undeveloped land, faces unique water conservation challenges. The city is estimated to be over 90% developed, with most future growth expected to occur through redevelopment. As noted in the 2021 Water Master Plan, new development is concentrated on the west side of the city, while the majority of water sources and storage facilities are located in the northeast, requiring significant upgrades to the water conveyance system to meet future demand. Policies that prioritize efficiency in residential development, reduced turf grass, and sustainable landscaping are essential to align with state conservation goals and reduce outdoor water use. The city's water management strategy adopts conservation goals similar to the Salt Lake Region, emphasizing efficient urban design and redevelopment-driven water savings, as these align more closely with Orem's development patterns than the broader Provo Region. These measures are critical to ensuring the sustainability of Orem's water resources.

The projected population growth and total water demand at current use levels are **significantly higher** compared to water demand with conservation levels recommended for the Provo River Region in *Utah Growing Smart - the Water Land Use Integration Handbook*.

Population and Conservation Goals

- The Provo River Region's conservation goals from the 2015 baseline are:
 - 20% reduction by 2030.
 - 27% reduction by 2040.
 - 32% reduction by 2065.

Baseline and Projected Water Demand:

- Table 3-4 of the 2021 Water Master Plan provides water demand estimates for Orem:
 - 2030 without conservation: ~35,000 acre-feet (rounded from 32,839 acre-feet).
 - 2030 with conservation: ~28,000 acre-feet (rounded from 28,570 acre-feet).
 - 2065 without conservation: ~45,000 acre-feet (rounded from 40,118 acre-feet).
 - 2065 with conservation: ~30,600 acre-feet (rounded from 32,496 acre-feet).

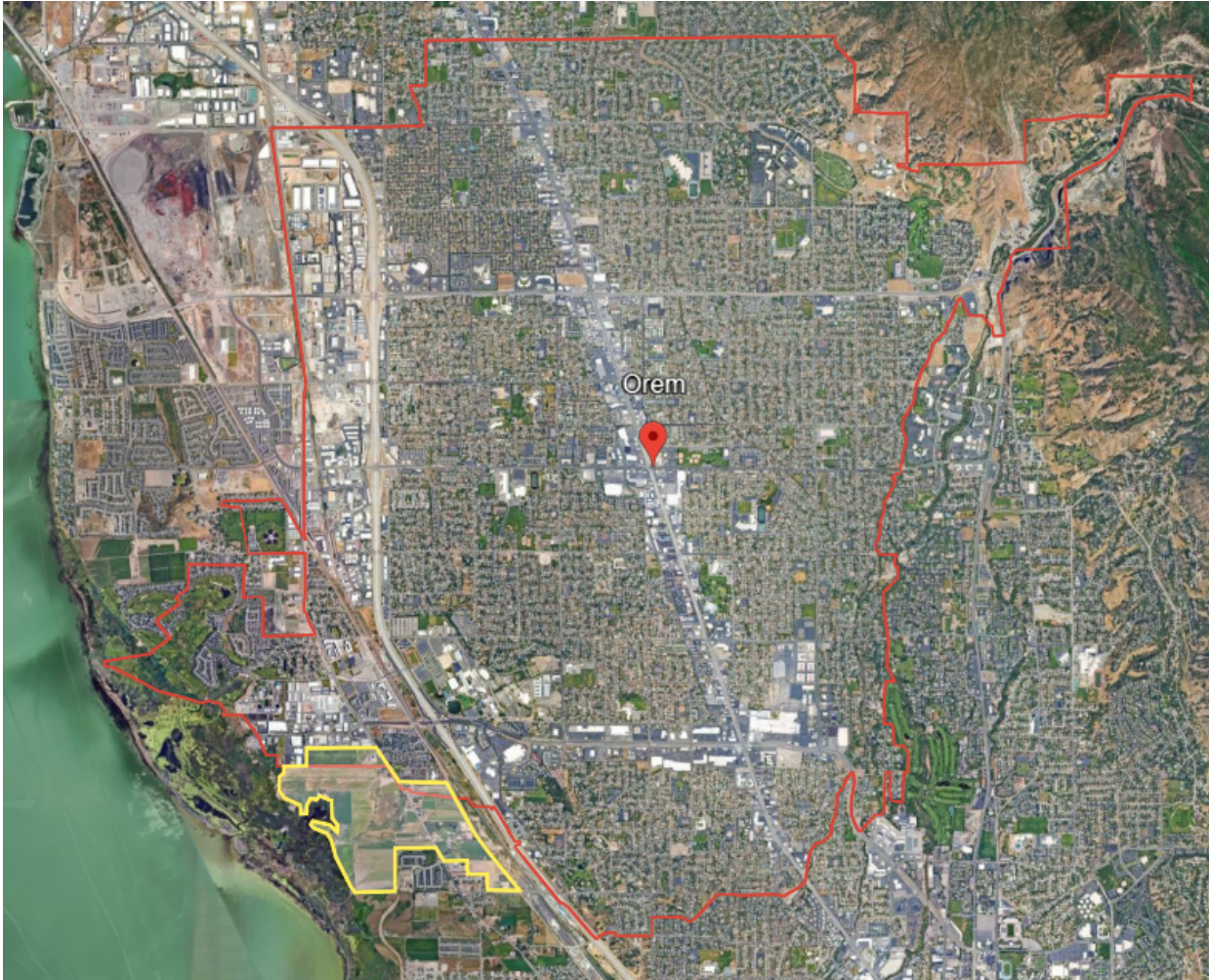
Water Savings:

- Using these reductions, the water savings would be:
 - 2030: ~7,000 acre-feet savings annually, equivalent to ~2.28 billion gallons/year or ~6.2 million gallons/day.
 - 2065: ~9,500 acre-feet savings annually, equivalent to ~3.1 billion gallons/year or ~8.5 million gallons/day.

By achieving a 20% reduction in water use by 2030 and a 32% reduction by 2065, Orem City is projected to save 7.3 billion gallons of water annually by 2030. These conservation measures, aligned with state goals, will not only reduce per capita water use significantly but also ensure that total water demand by 2065 remains below current levels, even as the city continues to grow.

The 2020 population of Orem is projected to increase by approximately **34,800 residents** by **2050** according to MAG's projections, with an average annual growth rate of **1 percent**.

Beyond infill development and redevelopment, the largest growth area for Orem City is outlined in yellow and constitutes approximately 380 acres:



As illustrated, the few remaining areas for new development in the community are focused primarily on the southwest side of the city, with uses that focus on low-density residential development. This area, often referred to as the **Southwest Annexation Area**, includes land between 2000 South and 1400 South west of I-15. The city's general plan emphasizes maintaining a balance of residential and open space uses in this region, accommodating anticipated growth while preserving community character and managing water resources efficiently.



OREM WATER CONSERVATION PLAN

OREM WATER CONSERVATION PLAN

In 1998, the Utah Legislature passed the Water Conservation Act, which was amended again in 2022, requiring water agencies with more than 500 culinary water connections to submit water conservation plans to the Utah Division of Water Resources and update the plans every five years. The purpose of a water conservation plan is to provide information regarding existing and proposed water conservation measures that

will help conserve water in the state so that adequate supplies of water are available for future needs. Water conservation plans include water use reduction goals as well as implementation strategies.

The current Orem Water Conservation Plan was updated and adopted in 2022 and outlines the following goals:

- **Reduce the City's water use to reflect the Regional Water Conservation Goals for 2030**
- **Maintain an effective conservation-oriented water pricing structure each year.**
- **Complete the meter replacement project (completed in 2024).**
- **Construct a tertiary treatment process at the Water Reclamation Facility to produce secondary water for irrigation by 2025**
- **Continue education efforts to the public regarding water conservation.**
- **Replace automatic sprinkler controllers on all City-owned properties to newer technology by 2025.**

Opportunities for Conservation:

- **Conservation-Oriented Water Pricing:**
Evaluate the existing tiered pricing system to further incentivize reduced water use, particularly during peak demand periods.
- **Meter Replacement Program:**
Replace aging water meters with advanced metering infrastructure (AMI) to improve accuracy and enable real-time water usage monitoring for customers.
- **Leak Detection and Repair:**
Conduct regular inspections and promptly repair leaks in the distribution system to minimize water loss.
- **Public Education and Outreach:**
Launch education programs for schools, residents, and businesses, using workshops, newsletters, social media, and other tools to foster a culture of wise water use.
- **Efficient Irrigation Practices:**
Promote optimized irrigation schedules and water-efficient technologies, such as smart controllers and drip irrigation, for parks, open spaces, and residential properties.
- **Drought-Responsive Measures:**
Adjust water usage policies and practices during periods of drought to ensure supply sustainability.
- **Water Conservation Ordinances:**
Promote innovative landscaping policies that require waterwise landscaping for new developments and retrofits, reducing turf grass and encouraging water-wise designs. These ordinances allow non-turf landscaping options for public street park strips and encourage efficient irrigation mechanisms.
- **Demonstration Landscapes:**
Transform city parks and properties into low-water demonstration landscapes to inspire and model conservation practices for residents and businesses. These demonstrations reduce turf usage, stormwater runoff, and yard waste while promoting site-specific landscape designs, healthy trees, and efficient irrigation.
- **Automatic Sprinkler Controllers:**
Replace automatic sprinkler controllers on all City-owned properties with newer technology as appropriate that tracks and adjusts irrigation time against weather conditions.
- **Reuse Facility**
Complete and study other opportunities to expand the water reclamation and reuse facility.

These measures reflect the city's commitment to sustainable water management and align with regional and state conservation goals.

WATER EDUCATION PROGRAM

The City of Orem is committed to fostering a culture of water conservation through ongoing and enhanced public education efforts. Recognizing that conservation is a shared responsibility, the city's initiatives target a diverse audience, including residents and businesses, to ensure widespread participation.

Key messages focus on wise water use, emphasizing the importance of conserving resources in Utah's arid climate. Educational campaigns promote both indoor and outdoor water efficiency, encouraging practices such as watering during cooler times, fixing leaks promptly, and reducing water waste during daily activities.

To maximize outreach, Orem employs multiple information channels, including the Consumer Confidence Report (CCR), the city website, flyers with water bills, social media posts, and videos. The city also leverages community resources like the Orem City Library to provide accessible information. These sustained efforts aim to equip the community with the knowledge and tools needed to ensure the long-term sustainability of Orem's water resources.

WATER RATE STRUCTURE

Designing an appropriate rate structure is a complex task, requiring alignment of water system operating costs with the city's economic, political, and social contexts. In compliance with Utah's Senate Bill 28, Orem implemented a tiered rate structure in 2016 that continues today. This four-tier system is designed to encourage conservation by charging higher rates as water use increases, while also meeting the financial needs of the water utility, such as operations, maintenance, and capital improvements.

The structure includes both a base rate, which varies with meter size following American Water Works Association (AWWA) guidelines, and consumption rates, which are tiered based on usage levels. For example, starting July 2024, consumption rates range from \$0.88 per 1,000 gallons in Tier 1 to \$1.55 per 1,000 gallons in Tier 4. The city periodically evaluates this structure to ensure it balances revenue stability, equity, affordability, and simplicity.

Revenue from the tiered rates funds critical water system maintenance and improvements, including pipe replacement, meter upgrades, and educational initiatives. These measures ensure a sustainable water future for the city while promoting responsible water use among residents and businesses.

WATER CONSERVATION CONTINGENCY PLAN

Orem has a Water Conservation Contingency Plan as part of its broader water management strategy. This plan outlines measures to address water shortages during drought conditions or other supply disruptions. It includes the following stages and actions:

1. **Advisory Stage:** Follow general conservation guidelines.
2. **Mild Stage:** Request large users (e.g., city parks, schools, golf courses) to reduce water use.
3. **Moderate Stage:** Encourage voluntary reduction in water use across all customers.
4. **Severe Stage:** Mandate reductions, such as implementing odd-even watering days.
5. **Critical Stage:** Enforce mandatory reductions with penalties for non-compliance.

Outdoor Water Conservation Guidelines

Water According to Needs

- Water your landscape based on the type of plants and local weather conditions, reducing watering in the spring and fall.

Avoid Wasteful Watering

- Do not water on windy or rainy days.
- Avoid watering during peak evaporation hours between 10:00 AM and 6:00 PM.

Use Efficient Cleaning Practices

- Sweep sidewalks and driveways instead of using a hose.
- Wash your car using a bucket of biodegradable soapy water and park near landscaping to allow runoff to benefit the soil.

Inspect for Leaks

- Regularly check for leaks in pipes, valves, faucets, and hoses for both secondary and culinary water systems.
- Monitor your water meter and valves when systems are off to detect leaks.

Maintain Sprinkler Systems

- Adjust and repair sprinkler heads for proper spray patterns and to prevent waste.
- Periodically check and adjust timers to optimize watering schedules.

Incorporate Mulching

- Apply mulch around trees, shrubs, and gardens to retain moisture.
- Use drip irrigation systems to reduce water use during hot, dry, or windy conditions.

Optimize Lawn Care

- Mow your lawn at the highest setting to encourage deeper roots and retain soil moisture.
- Keep landscaped areas free of weeds to minimize competition for water.

Promote Water-Wise Landscaping

- Discourage the use of water fountains.
- Encourage drought-tolerant plants, xeriscaping, and low-water landscaping for public spaces like interchanges and planting strips.
- Seek to reduce turf usage, stormwater runoff, and yard waste while promoting site-specific landscape designs, healthy trees, and efficient irrigation.

These practices are designed to maximize outdoor water efficiency, minimize waste, and support Orem's water conservation goals.

LANDSCAPING ORDINANCE

Orem City's landscaping regulations play a vital role in supporting the city's water conservation plan by encouraging sustainable, resource-efficient landscaping practices. These standards seek to reduce turf usage, stormwater runoff, and yard waste while promoting site-specific landscape designs, healthy trees, and efficient irrigation.

Living Vegetation Requirements

- At least 50% of each landscaped area must include living vegetation such as grass, shrubs, trees, flowers, or vines.
- Areas of vegetation coverage higher than 24 inches above grade (e.g., tree canopies) do not count toward this requirement except for the trunk area.

Alternative Materials and Xeriscaping

- Non-living materials like mulch, decorative rocks, boulders, and artificial turf may be used, provided they are part of a deliberate landscaping plan and meet installation guidelines (e.g., proper weed barrier, depth).
- Xeriscaping is encouraged, using drought-tolerant plants and moisture-retaining materials like mulch and gravel.

Vegetation Reduction Incentives

- Landscaped areas may reduce living vegetation coverage from 50% to 45% if at least three additional trees are maintained in the front or side yard adjacent to a street.

Residential Landscaping

- Residential front and side yards adjacent to streets (excluding driveways and sidewalks) must be landscaped.
- Driveways may not exceed 60% of the front or side yard area (50% for corner lots).

Berms, Strips, and Islands

- Landscaped berms, strips, and islands are required in commercial and residential zones to reduce heat islands and support stormwater management.
- Trees in buffer strips along sidewalks must follow spacing and placement guidelines (e.g., 40 feet on center).

Irrigation Systems

- Approved irrigation systems are required for all landscaped areas to ensure efficient water distribution and minimize waste.²¹

ADDITIONAL WATER CONSERVATION MEASURES

In addition to landscaping regulations, Orem City's water conservation planning documents outline several measures to promote efficient water use:

²¹ Section 22-14-13. Landscaping. Orem City Code.

Water Conservation-Oriented Rates

- The tiered rate structure is a key conservation tool discussed in Orem's plans. This structure encourages reduced water usage and funds conservation initiatives.

Meter Replacement Program

- The upgrade to Advanced Metering Infrastructure (AMI) is explicitly mentioned in Orem's Water Master Plan to improve water usage monitoring and leak detection.

Leak Detection and Repairs

- Both plans highlight the importance of regular inspections, annual surveys, and replacing outdated infrastructure to minimize water loss and improve efficiency.

Efficient Public Irrigation Practices

- The plans detail optimizing irrigation schedules and using water-efficient technologies in public spaces such as parks and city-owned properties to reduce outdoor water consumption.

Public Education and Awareness

- Orem's public education programs are well-documented and emphasize community events, workshops, and school programs to raise awareness about water conservation.

Plumbing Fixture Upgrades

- Encouraging the replacement of high-water-use fixtures is aligned with Orem's conservation efforts, although the city may not specifically link these incentives to penalty tiers in rate schedules.

Water Reuse Initiatives

- The exploration of treated wastewater for irrigation is mentioned as a potential future effort in Orem's conservation planning.

Sustainable Development Techniques

- Low Impact Development (LID) strategies, such as permeable pavements and rainwater harvesting, are consistent with broader sustainability goals found in the Water Master Plan.

Rain Water Harvesting Program

- Orem City actively participates in the Utah Rivers Council's RainHarvest program, demonstrating a strong commitment to water conservation. Through this collaboration, the city subsidizes approximately 170 rain barrels annually, making them available to residents at a reduced cost. This initiative encourages homeowners to collect and utilize rainwater for outdoor purposes, thereby reducing reliance on municipal water supplies. By promoting the use of rain barrels, Orem City supports sustainable water management practices and fosters community engagement in environmental stewardship.

Orem City Natural Resources Stewardship Committee

The Natural Resources Stewardship Committee (NRSC) of Orem City plays a pivotal role in advancing the city's water conservation and environmental sustainability objectives. This volunteer-driven committee focuses on several key initiatives:

Community Education and Engagement

The NRSC organizes events and activities to raise public awareness about environmental issues. For instance, they have conducted educational hikes in the foothills above Timpanogos Park, where experts like Mark Farmer from the Division of Wildlife Resources educate participants about local flora and fauna.

Policy Development and Recommendations

The committee collaborates with city officials to develop and recommend policies that promote sustainable practices. Their insights contribute to the creation of ordinances and programs aimed at reducing water consumption and enhancing environmental stewardship.

Participation in Regional Sustainability Efforts

Members of the NRSC represent Orem City in regional sustainability discussions. For example, committee members have participated in panels at events like the UVU Sustainability Summit, sharing insights on leveraging citizen engagement for sustainability.

Implementation of Conservation Programs

The NRSC assists in implementing city-wide conservation programs, such as promoting water-wise landscaping and efficient irrigation practices. Their efforts align with the city's goals to reduce outdoor water use and encourage the adoption of drought-tolerant plants.

Through these initiatives, the NRSC significantly contributes to Orem City's efforts to conserve water resources and promote environmental sustainability.



REGIONAL COLLABORATION

REGIONAL COLLABORATION

Local water suppliers possess detailed knowledge of their systems, challenges, and opportunities. However, because water resources are shared across political boundaries, collaboration among local, regional, and state entities is essential.

Orem City's Collaborative Efforts

- Actively works with neighboring municipalities, regional water suppliers, and state agencies to establish policies and partnerships for enhanced water management.
- Focus areas include promoting water-use efficiency programs, ensuring long-term water supply sustainability, maximizing water conservation and reuse, aquifer recharge, and educating the public on the importance of water conservation.

Guidance from Regional Reports

- The 2019 *Utah Regional Municipal and Industrial (M&I) Water Conservation Goals Report* provides a framework for addressing Utah's semiarid climate and increasing water demands.
- For the Provo River Region, the report recommends a 20% reduction in outdoor water use and a 5% reduction in indoor water use by 2030.²²

Collaboration with regional partners ensures that infrastructure, policies, and programs align with the broader goals outlined in the report. By embracing these strategies, Orem contributes to a sustainable water future for the region while supporting the city's growth and development goals.

RECOMMENDED STRATEGIES & ACTIONS TO MEET WATER CONSERVATION GOALS

In addition to regional water conservation goals, the Utah Regional Municipal and Industrial (M&I) Water Conservation Goals Report recommends several practices to support sustainable water use. Orem has adopted many of these practices, while others present opportunities for future implementation or collaboration.

Adopted Strategies

1. **Tiered Water Rates:** Encouraging conservation by charging higher rates for increased water usage, aligning with Orem's efforts to promote efficiency.
2. **Advanced Metering Infrastructure (AMI):** Upgrading water meters to improve accuracy, enable real-time monitoring, and support proactive leak detection.
3. **Waterwise Landscaping Standards:** Establishing limits on lawn areas and promoting the use of drought-tolerant plants and efficient irrigation systems.
4. **Public Education Programs:** Conducting workshops, outreach events, and school programs to raise awareness about indoor and outdoor water conservation practices.
5. **Leak Detection and Repairs:** Performing routine inspections and replacing aging infrastructure to prevent water loss.
6. **Efficient Public Irrigation Practices:** Using optimized schedules and technologies for irrigation in parks and city properties to reduce waste.

Strategies for Future Consideration

1. **Enhanced Reuse Initiatives:** Partnering with regional entities to expand the use of treated wastewater for irrigation or industrial purposes, reducing reliance on potable water. While local support for water reuse initiatives is strong, the state legislature's focus on increasing water levels in the Great Salt Lake has presented challenges for the expansion of new water reuse opportunities.
2. **Conservation Incentives:** Encouraging residents and businesses to participate in rebate or incentive programs to replace high-water-use fixtures with low-flow alternatives and landscaping improvements.
3. **Water Conservation Ordinances:** Strengthening regulations to require water-efficient fixtures, landscaping, and irrigation systems in all new developments.
4. **Expanded Education Programs:** Collaborating with regional partners to broaden public outreach, emphasizing efficient water use during drought conditions and promoting conservation habits.
5. **Collaboration on Regional Projects:** Engaging with neighboring municipalities and water districts to share resources and align efforts to achieve Provo River Region conservation targets.
6. **Monitoring and Reporting Tools:** Implementing systems to track water usage trends and measure the effectiveness of conservation measures.

Partnering Opportunities

²² Utah Division of Water Resources. (2019). *Utah's regional M&I water conservation goals*.

Orem can further collaborate with the Central Utah Water Conservancy District (CUWCD) and other stakeholders to align local conservation efforts with regional goals, ensuring an integrated approach to sustainable water management. By adopting these strategies, Orem will continue to lead in water conservation and achieve long-term sustainability for its residents and businesses.



IMPLEMENTATION

IMPLEMENTATION

Both the Orem 2021 Water Master Plan has a detailed chapter on the 10-year Capital Improvement Plan. The 2022 Water Conservation Plan outlines broad goals, but does not establish timelines.

2021 Water Master Plan Implementation

Capital Improvement Plan

A 10-year schedule prioritizing projects based on system needs, including:

- **Storage:** Addressing a 10-million-gallon storage deficiency with projects like the 400 South Tank.
- **Wells:** Adding new wells and improving existing ones to expand peak day capacity and meet future demand.
- **Fire Flow:** Upgrading undersized waterlines to improve fire flow across the city.
- **Replacement:** Replacing aging water lines that are prone to leaking.
- **Major Conveyance:** Installing large pipelines to address growth and pressure deficiencies.

Reuse Water Projects

Initiating a system to reuse treated effluent from the city's water reclamation facility, focusing on irrigation for golf courses and parks. (Completed by the end of 2025).

Automated Metering Infrastructure (AMI)

Phased implementation of smart meters to enhance operational efficiency and water use tracking. (Completed)

Conservation Goals

Adopting state conservation targets, emphasizing reduced per capita use through redevelopment and efficiency measures.

2022 Water Conservation Plan Implementation

Conservation-Oriented Rates

Continued use of a tiered pricing structure to encourage conservation and fund system improvements.

Public Education

Expanding educational outreach through schools, utility bill inserts, social media, and partnerships with organizations like CUWCD.

Meter Replacement Program

Replacing aging meters to improve water use tracking and revenue accuracy. (Completed)

Irrigation Efficiency

Implementing waterwise landscaping guidelines and improving irrigation practices for city-owned properties and public parks.

- A major project has been completed to replace all irrigation controllers with WeatherTRAK smart controllers on city properties.
- Ongoing efforts to fine-tune irrigation practices on these properties continue.

Water Shortage Management Plan

A contingency framework for managing water supply during shortages, including mandatory reductions and enforcement measures based on severity.

Ordinances and Policies

Promoting landscaping and irrigation guidelines that support conservation efforts, including turf reduction and water-efficient designs.



AMEND CH 2 - LAND USE

--- DRAFT ---

AMENDMENT TO

Orem City General Plan

Chapter 2 - Land Use

...

Coordination and Integration of Land Use with Water Use

Utah State Code states that the Land Use element of the General Plan “is coordinated to integrate the land use element with the water use and preservation element; and accounts for the effect of land use categories and land uses on water demand.”

Orem City recognizes the critical importance of integrating land use planning with water use and preservation strategies, as mandated by state code. The following actions and policies demonstrate how Orem's General Plan Land Use Chapter is coordinated with the city's Water Use and Preservation Element:

Integration of Land Use with Water Planning

Orem's land use classifications and development policies are designed to account for the impacts of land use on water demand. For example, residential and commercial developments are encouraged to adopt landscaping practices and lot configurations that minimize water consumption, particularly in areas with larger lots or water-intensive uses.

Impact of Land Use on Water Demand

The city actively evaluates the effect of various land use categories on water demand. Policies promoting efficient landscaping and reduced turf grass in all development types are emphasized to conserve water and lower overall demand.

Sustainable Growth Strategies

With over 90% of the city already developed, future growth will focus on redevelopment and maintaining efficiency in existing land use patterns. The General Plan prioritizes minimizing water-intensive uses, such as large grass-dominated lots, and promoting water-wise landscaping guidelines to support conservation goals.

Infrastructure Alignment

The Land Use Chapter identifies areas for future development, such as the west side of the city, where water conveyance systems will need upgrades to deliver water efficiently from sources concentrated in the northeast. These infrastructure improvements are planned in coordination with water resource management strategies to ensure long-term sustainability.

Policy Coordination

The city's goals for land use and water conservation are further integrated through policies that:

- Encourage water-efficient landscaping for new developments and retrofits.
- Implement conservation pricing to reduce water use in higher-demand categories.
- Promote land use policies that align with state-mandated conservation goals, focusing on sustainable practices for residential, commercial, and institutional properties.

EXHIBIT 2 - 2022 Utah Senate Bill 110 - Water as Part of General Plan

WATER AS PART OF GENERAL PLAN

2
2022 GENERAL SESSION

3
STATE OF UTAH

4
Chief Sponsor: Michael K. McKell

5
House Sponsor: Ryan D. Wilcox

6

7 LONG TITLE

8 General Description:

9 This bill modifies provisions related to general plans to address water.

10 Highlighted Provisions:

11 This bill:

- 12 ▶ requires a water use and preservation element to be part of a municipal or county
- 13 general plan with exceptions;
- 14 ▶ outlines how a water use and preservation element is integrated into a general plan
- 15 and what steps to take in developing a water use and preservation element;
- 16 ▶ provides for action related to the general plan by the legislative body of a
- 17 municipality or county;
- 18 ▶ addresses assistance by the Division of Water Resources; and
- 19 ▶ makes technical changes.

20 Money Appropriated in this Bill:

21 This bill appropriates in fiscal year 2023:

- 22 ▶ to the Department of Natural Resources - Division of Water Resources as a
- 23 one-time appropriation:
- 24 • from the General Fund, One-time, \$300,000.

25 Other Special Clauses:

26 None

27 Utah Code Sections Affected:

28 AMENDS:

29 [10-9a-401](#), as last amended by Laws of Utah 2021, First Special Session, Chapter 3

30 [10-9a-403](#), as last amended by Laws of Utah 2021, First Special Session, Chapter 3

31 [10-9a-404](#), as last amended by Laws of Utah 2021, First Special Session, Chapter 3

32 [17-27a-401](#), as last amended by Laws of Utah 2021, Chapter 363

33 [17-27a-403](#), as last amended by Laws of Utah 2021, First Special Session, Chapter 3

34 [17-27a-404](#), as last amended by Laws of Utah 2021, Chapters 84, 345, and 355

35 ENACTS:

36 [73-10-36](#), Utah Code Annotated 1953

38 *Be it enacted by the Legislature of the state of Utah:*

39 Section 1. Section 10-9a-401 is amended to read:

40 10-9a-401. General plan required -- Content.

41 (1) ~~[In order to]~~ To accomplish the purposes of this chapter, ~~[each]~~ a municipality shall
42 prepare and adopt a comprehensive, long-range general plan for:

43 (a) present and future needs of the municipality; and

44 (b) growth and development of all or any part of the land within the municipality.

45 (2) The general plan may provide for:

46 (a) health, general welfare, safety, energy conservation, transportation, prosperity, civic
47 activities, aesthetics, and recreational, educational, and cultural opportunities;

48 (b) the reduction of the waste of physical, financial, or human resources that result
49 from either excessive congestion or excessive scattering of population;

50 (c) the efficient and economical use, conservation, and production of the supply of:

51 (i) food and water; and

52 (ii) drainage, sanitary, and other facilities and resources;

53 (d) the use of energy conservation and solar and renewable energy resources;

54 (e) the protection of urban development;

55 (f) if the municipality is a town, the protection or promotion of moderate income
56 housing;

57 (g) the protection and promotion of air quality;

58 (h) historic preservation;

59 (i) identifying future uses of land that are likely to require an expansion or significant
60 modification of services or facilities provided by ~~[each]~~ an affected entity; and

61 (j) an official map.

62 (3) (a) The general plan of a municipality, other than a town, shall plan for moderate
63 income housing growth.

64 (b) On or before December 1, 2019, ~~[each]~~ any of the following that have a general
65 plan that does not comply with Subsection (3)(a) shall amend the general plan to comply with
66 Subsection (3)(a):

67 (i) a city of the first, second, third, or fourth class;

68 (ii) a city of the fifth class with a population of 5,000 or more, if the city is located
69 within a county of the first, second, or third class; and

70 (iii) a metro township with a population of 5,000 or more.

71 (c) The population figures described in Subsections (3)(b)(ii) and (iii) shall be derived
72 from:

73 (i) the most recent official census or census estimate of the United States Census
74 Bureau; or

75 (ii) if a population figure is not available under Subsection (3)(c)(i), an estimate of the
76 Utah Population Committee.

77 (4) Subject to Subsection 10-9a-403(2), the municipality may determine the
78 comprehensiveness, extent, and format of the general plan.

79 (5) Except for a city of the fifth class or a town, on or before December 31, 2025, a
80 municipality that has a general plan that does not include a water use and preservation element
81 that complies with Section 10-9a-403 shall amend the municipality's general plan to comply
82 with Section 10-9a-403.

83 Section 2. Section 10-9a-403 is amended to read:

84 10-9a-403. General plan preparation.

85 (1) (a) The planning commission shall provide notice, as provided in Section

86 10-9a-203, of [its] the planning commission's intent to make a recommendation to the
87 municipal legislative body for a general plan or a comprehensive general plan amendment

88 when the planning commission initiates the process of preparing ~~its~~ the planning
89 commission's recommendation.

90 (b) The planning commission shall make and recommend to the legislative body a
91 proposed general plan for the area within the municipality.

92 (c) The plan may include areas outside the boundaries of the municipality if, in the
93 planning commission's judgment, those areas are related to the planning of the municipality's
94 territory.

95 (d) Except as otherwise provided by law or with respect to a municipality's power of
96 eminent domain, when the plan of a municipality involves territory outside the boundaries of
97 the municipality, the municipality may not take action affecting that territory without the
98 concurrence of the county or other municipalities affected.

99 (2) (a) At a minimum, the proposed general plan, with the accompanying maps, charts,
100 and descriptive and explanatory matter, shall include the planning commission's
101 recommendations for the following plan elements:

102 (i) a land use element that:

103 (A) designates the long-term goals and the proposed extent, general distribution, and
104 location of land for housing for residents of various income levels, business, industry,
105 agriculture, recreation, education, public buildings and grounds, open space, and other
106 categories of public and private uses of land as appropriate; ~~and~~

107 (B) may include a statement of the projections for and standards of population density
108 and building intensity recommended for the various land use categories covered by the plan;

109 (C) except for a city of the fifth class or a town, is coordinated to integrate the land use
110 element with the water use and preservation element; and

111 (D) except for a city of the fifth class or a town, accounts for the effect of land use
112 categories and land uses on water demand;

113 (ii) a transportation and traffic circulation element that:

114 (A) provides the general location and extent of existing and proposed freeways, arterial
115 and collector streets, public transit, active transportation facilities, and other modes of
116 transportation that the planning commission considers appropriate;

117 (B) for a municipality that has access to a major transit investment corridor, addresses
118 the municipality's plan for residential and commercial development around major transit
119 investment corridors to maintain and improve the connections between housing, employment,
120 education, recreation, and commerce;

121 (C) for a municipality that does not have access to a major transit investment corridor,
122 addresses the municipality's plan for residential and commercial development in areas that will
123 maintain and improve the connections between housing, transportation, employment,
124 education, recreation, and commerce; and

125 (D) correlates with the population projections, the employment projections, and the
126 proposed land use element of the general plan; ~~and~~

127 (iii) for a municipality described in Subsection 10-9a-401(3)(b), a plan that provides a
128 realistic opportunity to meet the need for additional moderate income housing~~[-]; and~~

129 (iv) except for a city of the fifth class or a town, a water use and preservation element
130 that addresses:

131 (A) the effect of permitted development or patterns of development on water demand
132 and water infrastructure;

133 (B) methods of reducing water demand and per capita consumption for future
134 development;

135 (C) methods of reducing water demand and per capita consumption for existing
136 development; and

137 (D) opportunities for the municipality to modify the municipality's operations to
138 eliminate practices or conditions that waste water.

139 (b) In drafting the moderate income housing element, the planning commission:

140 (i) shall consider the Legislature's determination that municipalities shall facilitate a

141 reasonable opportunity for a variety of housing, including moderate income housing:

142 (A) to meet the needs of people of various income levels living, working, or desiring to
143 live or work in the community; and

144 (B) to allow people with various incomes to benefit from and fully participate in all
145 aspects of neighborhood and community life;

146 (ii) for a town, may include, and for other municipalities, shall include, an analysis of
147 how the municipality will provide a realistic opportunity for the development of moderate
148 income housing within the next five years;

149 (iii) for a town, may include, and for other municipalities, shall include, a
150 recommendation to implement three or more of the following strategies:

151 (A) rezone for densities necessary to assure the production of moderate income
152 housing;

153 (B) facilitate the rehabilitation or expansion of infrastructure that will encourage the
154 construction of moderate income housing;

155 (C) facilitate the rehabilitation of existing uninhabitable housing stock into moderate
156 income housing;

157 (D) consider general fund subsidies or other sources of revenue to waive construction
158 related fees that are otherwise generally imposed by the city;

159 (E) create or allow for, and reduce regulations related to, accessory dwelling units in
160 residential zones;

161 (F) allow for higher density or moderate income residential development in
162 commercial and mixed-use zones, commercial centers, or employment centers;

163 (G) encourage higher density or moderate income residential development near major
164 transit investment corridors;

165 (H) eliminate or reduce parking requirements for residential development where a
166 resident is less likely to rely on the resident's own vehicle, such as residential development near
167 major transit investment corridors or senior living facilities;

168 (I) allow for single room occupancy developments;

169 (J) implement zoning incentives for low to moderate income units in new

170 developments;

171 (K) ~~utilize~~ use strategies that preserve subsidized low to moderate income units on a
172 long-term basis;

173 (L) preserve existing moderate income housing;

174 (M) reduce impact fees, as defined in Section [11-36a-102](#), related to low and moderate
175 income housing;

176 (N) participate in a community land trust program for low or moderate income
177 housing;

178 (O) implement a mortgage assistance program for employees of the municipality or of
179 an employer that provides contracted services to the municipality;

180 (P) apply for or partner with an entity that applies for state or federal funds or tax
181 incentives to promote the construction of moderate income housing;

182 (Q) apply for or partner with an entity that applies for programs offered by the Utah
183 Housing Corporation within that agency's funding capacity;

184 (R) apply for or partner with an entity that applies for affordable housing programs
185 administered by the Department of Workforce Services;

186 (S) apply for or partner with an entity that applies for programs administered by an
187 association of governments established by an interlocal agreement under Title 11, Chapter 13,
188 Interlocal Cooperation Act;

189 (T) apply for or partner with an entity that applies for services provided by a public
190 housing authority to preserve and create moderate income housing;

191 (U) apply for or partner with an entity that applies for programs administered by a
192 metropolitan planning organization or other transportation agency that provides technical

193 planning assistance;
194 (V) ~~utilize~~ use a moderate income housing set aside from a community reinvestment
195 agency, redevelopment agency, or community development and renewal agency; and
196 (W) any other program or strategy implemented by the municipality to address the
197 housing needs of residents of the municipality who earn less than 80% of the area median

198 income; and
199 (iv) in addition to the recommendations required under Subsection (2)(b)(iii), for a
200 municipality that has a fixed guideway public transit station, shall include a recommendation to
201 implement the strategies described in Subsection (2)(b)(iii)(G) or (H).

202 (c) In drafting the land use element, the planning commission shall:

203 (i) identify and consider each agriculture protection area within the municipality; and

204 (ii) avoid proposing a use of land within an agriculture protection area that is
205 inconsistent with or detrimental to the use of the land for agriculture.

206 (d) In drafting the transportation and traffic circulation element, the planning
207 commission shall:

208 (i) consider the regional transportation plan developed by ~~its~~ the municipality's
209 region's metropolitan planning organization, if the municipality is within the boundaries of a
210 metropolitan planning organization; or

211 (ii) consider the long-range transportation plan developed by the Department of
212 Transportation, if the municipality is not within the boundaries of a metropolitan planning
213 organization.

214 (e) In drafting the water use and preservation element, the planning commission:

215 (i) shall consider:

216 (A) applicable regional water conservation goals recommended by the Division of
217 Water Resources; and

218 (B) if Section 73-10-32 requires the municipality to adopt a water conservation plan
219 pursuant to Section 73-10-32, the municipality's water conservation plan;

220 (ii) shall include a recommendation for:

221 (A) water conservation policies to be determined by the municipality; and

222 (B) landscaping options within a public street for current and future development that
223 do not require the use of lawn or turf in a parkstrip;

224 (iii) shall review the municipality's land use ordinances and include a recommendation
225 for changes to an ordinance that promotes the inefficient use of water;

226 (iv) shall consider principles of sustainable landscaping, including the:

227 (A) reduction or limitation of the use of lawn or turf;

228 (B) promotion of site-specific landscape design that decreases stormwater runoff or
229 runoff of water used for irrigation;

230 (C) preservation and use of healthy trees that have a reasonable water requirement or
231 are resistant to dry soil conditions;

232 (D) elimination or regulation of ponds, pools, and other features that promote
233 unnecessary water evaporation;

234 (E) reduction of yard waste; and

235 (F) use of an irrigation system, including drip irrigation, best adapted to provide the
236 optimal amount of water to the plants being irrigated;

237 (v) shall consult with the public water system or systems serving the municipality with
238 drinking water regarding how implementation of the land use element and water use and
239 preservation element may affect:

240 (A) water supply planning, including drinking water source and storage capacity
241 consistent with Section 19-4-114; and

242 (B) water distribution planning, including master plans, infrastructure asset
243 management programs and plans, infrastructure replacement plans, and impact fee facilities
244 plans;

245 (vi) may include recommendations for additional water demand reduction strategies,
246 including:
247 (A) creating a water budget associated with a particular type of development;
248 (B) adopting new or modified lot size, configuration, and landscaping standards that
249 will reduce water demand for new single family development;
250 (C) providing one or more water reduction incentives for existing development such as
251 modification of existing landscapes and irrigation systems and installation of water fixtures or
252 systems that minimize water demand;
253 (D) discouraging incentives for economic development activities that do not adequately

254 account for water use or do not include strategies for reducing water demand; and
255 (E) adopting water concurrency standards requiring that adequate water supplies and
256 facilities are or will be in place for new development; and

257 (vii) for a town, may include, and for another municipality, shall include, a
258 recommendation for low water use landscaping standards for a new:

259 (A) commercial, industrial, or institutional development;
260 (B) common interest community, as defined in Section 57-25-102; or
261 (C) multifamily housing project.

262 (3) The proposed general plan may include:

263 (a) an environmental element that addresses:

264 (i) the protection, conservation, development, and use of natural resources, including
265 the quality of:

266 (A) air[-];
267 (B) forests[-];
268 (C) soils[-];
269 (D) rivers;
270 (E) groundwater and other waters[-];

271 (F) harbors[-];

272 (G) fisheries[-];

273 (H) wildlife[-];

274 (I) minerals[-]; and

275 (J) other natural resources; and

276 (ii) (A) the reclamation of land, flood control, prevention and control of the pollution
277 of streams and other waters[-];

278 (B) the regulation of the use of land on hillsides, stream channels and other
279 environmentally sensitive areas[-];

280 (C) the prevention, control, and correction of the erosion of soils[-protection];

281 (D) the preservation and enhancement of watersheds and wetlands[-]; and

282 (E) the mapping of known geologic hazards;

283 (b) a public services and facilities element showing general plans for sewage, water,
284 waste disposal, drainage, public utilities, rights-of-way, easements, and facilities for them,
285 police and fire protection, and other public services;

286 (c) a rehabilitation, redevelopment, and conservation element consisting of plans and
287 programs for:

288 (i) historic preservation;

289 (ii) the diminution or elimination of a development impediment as defined in Section
290 17C-1-102; and

291 (iii) redevelopment of land, including housing sites, business and industrial sites, and
292 public building sites;

293 (d) an economic element composed of appropriate studies and forecasts, as well as an
294 economic development plan, which may include review of existing and projected municipal
295 revenue and expenditures, revenue sources, identification of basic and secondary industry,
296 primary and secondary market areas, employment, and retail sales activity;

297 (e) recommendations for implementing all or any portion of the general plan, including
298 the ~~use~~ adoption of land and water use ordinances, capital improvement plans, community
299 development and promotion, and any other appropriate action;
300 (f) provisions addressing any of the matters listed in Subsection 10-9a-401(2) or (3);
301 and
302 (g) any other element the municipality considers appropriate.
303 Section 3. Section 10-9a-404 is amended to read:
304 10-9a-404. Public hearing by planning commission on proposed general plan or
305 amendment -- Notice -- Revisions to general plan or amendment -- Adoption or rejection
306 by legislative body.
307 (1) (a) After completing ~~its~~ the planning commission's recommendation for a
308 proposed general plan, or proposal to amend the general plan, the planning commission shall
309 schedule and hold a public hearing on the proposed plan or amendment.

310 (b) The planning commission shall provide notice of the public hearing, as required by
311 Section 10-9a-204.
312 (c) After the public hearing, the planning commission may modify the proposed
313 general plan or amendment.
314 (2) The planning commission shall forward the proposed general plan or amendment to
315 the legislative body.
316 (3) (a) The legislative body may adopt, reject, or make any revisions to the proposed
317 general plan or amendment that ~~it~~ the legislative body considers appropriate.
318 (b) If the municipal legislative body rejects the proposed general plan or amendment,
319 ~~it~~ the legislative body may provide suggestions to the planning commission for the planning
320 commission's review and recommendation.
321 (4) The legislative body shall adopt:
322 (a) a land use element as provided in Subsection 10-9a-403(2)(a)(i);
323 (b) a transportation and traffic circulation element as provided in Subsection
324 10-9a-403(2)(a)(ii); ~~and~~
325 (c) for a municipality, other than a town, after considering the factors included in
326 Subsection 10-9a-403(2)(b)(iii), a plan to provide a realistic opportunity to meet the need for
327 additional moderate income housing within the next five years~~[-]; and~~
328 (d) except for a city of the fifth class or a town, on or before December 31, 2025, a
329 water use and preservation element as provided in Subsection 10-9a-403(2)(a)(iv).
330 Section 4. Section 17-27a-401 is amended to read:
331 17-27a-401. General plan required -- Content -- Resource management plan --
332 Provisions related to radioactive waste facility.
333 (1) To accomplish the purposes of this chapter, ~~each~~ a county shall prepare and adopt
334 a comprehensive, long-range general plan:
335 (a) for present and future needs of the county;
336 (b) (i) for growth and development of all or any part of the land within the
337 unincorporated portions of the county; or

338 (ii) if a county has designated a mountainous planning district, for growth and
339 development of all or any part of the land within the mountainous planning district; and
340 (c) as a basis for communicating and coordinating with the federal government on land
341 and resource management issues.
342 (2) To promote health, safety, and welfare, the general plan may provide for:
343 (a) health, general welfare, safety, energy conservation, transportation, prosperity, civic
344 activities, aesthetics, and recreational, educational, and cultural opportunities;
345 (b) the reduction of the waste of physical, financial, or human resources that result
346 from either excessive congestion or excessive scattering of population;
347 (c) the efficient and economical use, conservation, and production of the supply of:
348 (i) food and water; and

349 (ii) drainage, sanitary, and other facilities and resources;
350 (d) the use of energy conservation and solar and renewable energy resources;
351 (e) the protection of urban development;
352 (f) the protection and promotion of air quality;
353 (g) historic preservation;
354 (h) identifying future uses of land that are likely to require an expansion or significant
355 modification of services or facilities provided by ~~each~~ an affected entity; and
356 (i) an official map.
357 (3) (a) The general plan shall:
358 (i) allow and plan for moderate income housing growth; and
359 (ii) contain a resource management plan for the public lands, as defined in Section
360 63L-6-102, within the county .
361 (b) On or before December 1, 2019, a county with a general plan that does not comply
362 with Subsection (3)(a)(i) shall amend the general plan to comply with Subsection (3)(a)(i).
363 (c) The resource management plan described in Subsection (3)(a)(ii) shall address:
364 (i) mining;
365 (ii) land use;

366 (iii) livestock and grazing;
367 (iv) irrigation;
368 (v) agriculture;
369 (vi) fire management;
370 (vii) noxious weeds;
371 (viii) forest management;
372 (ix) water rights;
373 (x) ditches and canals;
374 (xi) water quality and hydrology;
375 (xii) flood plains and river terraces;
376 (xiii) wetlands;
377 (xiv) riparian areas;
378 (xv) predator control;
379 (xvi) wildlife;
380 (xvii) fisheries;
381 (xviii) recreation and tourism;
382 (xix) energy resources;
383 (xx) mineral resources;
384 (xxi) cultural, historical, geological, and paleontological resources;
385 (xxii) wilderness;
386 (xxiii) wild and scenic rivers;
387 (xxiv) threatened, endangered, and sensitive species;
388 (xxv) land access;
389 (xxvi) law enforcement;
390 (xxvii) economic considerations; and
391 (xxviii) air.
392 (d) For each item listed under Subsection (3)(c), a county's resource management plan
393 shall:

394 (i) establish findings pertaining to the item;
395 (ii) establish defined objectives; and
396 (iii) outline general policies and guidelines on how the objectives described in
397 Subsection (3)(d)(ii) are to be accomplished.
398 (4) (a) The general plan shall include specific provisions related to ~~any areas~~ an area
399 within, or partially within, the exterior boundaries of the county, or contiguous to the
400 boundaries of a county, which are proposed for the siting of a storage facility or transfer facility

for the placement of high-level nuclear waste or greater than class C radioactive nuclear waste, as these wastes are defined in Section 19-3-303. The provisions shall address the effects of the proposed site upon the health and general welfare of citizens of the state, and shall provide:

- (i) the information identified in Section 19-3-305;
 - (ii) information supported by credible studies that demonstrates that ~~[the provisions of]~~ Subsection 19-3-307(2) ~~[have]~~ has been satisfied; and
 - (iii) specific measures to mitigate the effects of high-level nuclear waste and greater than class C radioactive waste and guarantee the health and safety of the citizens of the state.
- (b) A county may, in lieu of complying with Subsection (4)(a), adopt an ordinance indicating that all proposals for the siting of a storage facility or transfer facility for the placement of high-level nuclear waste or greater than class C radioactive waste wholly or partially within the county are rejected.
- (c) A county may adopt the ordinance listed in Subsection (4)(b) at any time.
- (d) The county shall send a certified copy of the ordinance described in Subsection (4)(b) to the executive director of the Department of Environmental Quality by certified mail within 30 days of enactment.
- (e) If a county repeals an ordinance adopted under Subsection (4)(b) the county shall:
- (i) comply with Subsection (4)(a) as soon as reasonably possible; and
 - (ii) send a certified copy of the repeal to the executive director of the Department of Environmental Quality by certified mail within 30 days after the repeal.
- (5) The general plan may define the county's local customs, local culture, and the

components necessary for the county's economic stability.

(6) Subject to Subsection 17-27a-403(2), the county may determine the comprehensiveness, extent, and format of the general plan.

(7) If a county has designated a mountainous planning district, the general plan for the mountainous planning district is the controlling plan.

(8) Nothing in this part may be construed to limit the authority of the state to manage and protect wildlife under Title 23, Wildlife Resources Code of Utah.

(9) On or before December 31, 2025, a county that has a general plan that does not include a water use and preservation element that complies with Section 17-27a-403 shall amend the county's general plan to comply with Section 17-27a-403.

Section 5. Section 17-27a-403 is amended to read:

17-27a-403. General plan preparation.

(1) (a) The planning commission shall provide notice, as provided in Section 17-27a-203, of ~~[its]~~ the planning commission's intent to make a recommendation to the county legislative body for a general plan or a comprehensive general plan amendment when the planning commission initiates the process of preparing ~~[its]~~ the planning commission's recommendation.

(b) The planning commission shall make and recommend to the legislative body a proposed general plan for:

- (i) the unincorporated area within the county; or
- (ii) if the planning commission is a planning commission for a mountainous planning district, the mountainous planning district.

(c) (i) The plan may include planning for incorporated areas if, in the planning commission's judgment, they are related to the planning of the unincorporated territory or of the county as a whole.

(ii) Elements of the county plan that address incorporated areas are not an official plan or part of a municipal plan for any municipality, unless the county plan is recommended by the municipal planning commission and adopted by the governing body of the municipality.

(2) (a) At a minimum, the proposed general plan, with the accompanying maps, charts, and descriptive and explanatory matter, shall include the planning commission's recommendations for the following plan elements:

453 (i) a land use element that:
454 (A) designates the long-term goals and the proposed extent, general distribution, and
455 location of land for housing for residents of various income levels, business, industry,
456 agriculture, recreation, education, public buildings and grounds, open space, and other
457 categories of public and private uses of land as appropriate; ~~and~~
458 (B) may include a statement of the projections for and standards of population density
459 and building intensity recommended for the various land use categories covered by the plan;
460 (C) is coordinated to integrate the land use element with the water use and preservation
461 element; and
462 (D) accounts for the effect of land use categories and land uses on water demand;
463 (ii) a transportation and traffic circulation element that:
464 (A) provides the general location and extent of existing and proposed freeways, arterial
465 and collector streets, public transit, active transportation facilities, and other modes of
466 transportation that the planning commission considers appropriate;
467 (B) addresses the county's plan for residential and commercial development around
468 major transit investment corridors to maintain and improve the connections between housing,
469 employment, education, recreation, and commerce; and
470 (C) correlates with the population projections, the employment projections, and the
471 proposed land use element of the general plan;
472 (iii) a plan for the development of additional moderate income housing within the
473 unincorporated area of the county or the mountainous planning district, and a plan to provide a
474 realistic opportunity to meet the need for additional moderate income housing; ~~and~~
475 (iv) before May 1, 2017, a resource management plan detailing the findings, objectives,
476 and policies required by Subsection 17-27a-401(3)[-]; and
477 (v) a water use and preservation element that addresses:

478 (A) the effect of permitted development or patterns of development on water demand
479 and water infrastructure;

480 (B) methods of reducing water demand and per capita consumption for future
481 development;

482 (C) methods of reducing water demand and per capita consumption for existing
483 development; and

484 (D) opportunities for the county to modify the county's operations to eliminate
485 practices or conditions that waste water.

486 (b) In drafting the moderate income housing element, the planning commission:

487 (i) shall consider the Legislature's determination that counties should facilitate a
488 reasonable opportunity for a variety of housing, including moderate income housing:

489 (A) to meet the needs of people of various income levels living, working, or desiring to
490 live or work in the community; and

491 (B) to allow people with various incomes to benefit from and fully participate in all
492 aspects of neighborhood and community life; and

493 (ii) shall include an analysis of how the county will provide a realistic opportunity for
494 the development of moderate income housing within the planning horizon, which may include
495 a recommendation to implement three or more of the following strategies:

496 (A) rezone for densities necessary to assure the production of moderate income
497 housing;

498 (B) facilitate the rehabilitation or expansion of infrastructure that will encourage the
499 construction of moderate income housing;

500 (C) facilitate the rehabilitation of existing uninhabitable housing stock into moderate
501 income housing;

502 (D) consider county general fund subsidies or other sources of revenue to waive
503 construction related fees that are otherwise generally imposed by the county;

504 (E) create or allow for, and reduce regulations related to, accessory dwelling units in
505 residential zones;

506 (F) allow for higher density or moderate income residential development in
507 commercial and mixed-use zones, commercial centers, or employment centers;
508 (G) encourage higher density or moderate income residential development near major
509 transit investment corridors;
510 (H) eliminate or reduce parking requirements for residential development where a
511 resident is less likely to rely on the resident's own vehicle, such as residential development near
512 major transit investment corridors or senior living facilities;
513 (I) allow for single room occupancy developments;
514 (J) implement zoning incentives for low to moderate income units in new
515 developments;
516 (K) ~~utilize~~ use strategies that preserve subsidized low to moderate income units on a
517 long-term basis;
518 (L) preserve existing moderate income housing;
519 (M) reduce impact fees, as defined in Section 11-36a-102, related to low and moderate
520 income housing;
521 (N) participate in a community land trust program for low or moderate income
522 housing;
523 (O) implement a mortgage assistance program for employees of the county or of an
524 employer that provides contracted services for the county;
525 (P) apply for or partner with an entity that applies for state or federal funds or tax
526 incentives to promote the construction of moderate income housing;
527 (Q) apply for or partner with an entity that applies for programs offered by the Utah
528 Housing Corporation within that agency's funding capacity;
529 (R) apply for or partner with an entity that applies for affordable housing programs
530 administered by the Department of Workforce Services;
531 (S) apply for or partner with an entity that applies for services provided by a public
532 housing authority to preserve and create moderate income housing;
533 (T) apply for or partner with an entity that applies for programs administered by a

534 metropolitan planning organization or other transportation agency that provides technical
535 planning assistance;
536 (U) ~~utilize~~ use a moderate income housing set aside from a community reinvestment
537 agency, redevelopment agency, or community development and renewal agency; and
538 (V) consider any other program or strategy implemented by the county to address the
539 housing needs of residents of the county who earn less than 80% of the area median income.
540 (c) In drafting the land use element, the planning commission shall:
541 (i) identify and consider each agriculture protection area within the unincorporated area
542 of the county or mountainous planning district; and
543 (ii) avoid proposing a use of land within an agriculture protection area that is
544 inconsistent with or detrimental to the use of the land for agriculture.
545 (d) In drafting the transportation and traffic circulation element, the planning
546 commission shall:
547 (i) consider the regional transportation plan developed by ~~its~~ the county's region's
548 metropolitan planning organization, if the relevant areas of the county are within the
549 boundaries of a metropolitan planning organization; or
550 (ii) consider the long-range transportation plan developed by the Department of
551 Transportation, if the relevant areas of the county are not within the boundaries of a
552 metropolitan planning organization.
553 (e) In drafting the water use and preservation element, the planning commission:
554 (i) shall consider applicable regional water conservation goals recommended by the
555 Division of Water Resources;
556 (ii) shall include a recommendation for:
557 (A) water conservation policies to be determined by the county; and

558 (B) landscaping options within a public street for current and future development that
559 do not require the use of lawn or turf in a parkstrip;
560 (iii) shall review the county's land use ordinances and include a recommendation for
561 changes to an ordinance that promotes the inefficient use of water;

562 (iv) shall consider principles of sustainable landscaping, including the:
563 (A) reduction or limitation of the use of lawn or turf;
564 (B) promotion of site-specific landscape design that decreases stormwater runoff or
565 runoff of water used for irrigation;
566 (C) preservation and use of healthy trees that have a reasonable water requirement or
567 are resistant to dry soil conditions;
568 (D) elimination or regulation of ponds, pools, and other features that promote
569 unnecessary water evaporation;
570 (E) reduction of yard waste; and
571 (F) use of an irrigation system, including drip irrigation, best adapted to provide the
572 optimal amount of water to the plants being irrigated;
573 (v) may include recommendations for additional water demand reduction strategies,
574 including:
575 (A) creating a water budget associated with a particular type of development;
576 (B) adopting new or modified lot size, configuration, and landscaping standards that
577 will reduce water demand for new single family development;
578 (C) providing one or more water reduction incentives for existing landscapes and
579 irrigation systems and installation of water fixtures or systems that minimize water demand;
580 (D) discouraging incentives for economic development activities that do not adequately
581 account for water use or do not include strategies for reducing water demand; and
582 (E) adopting water concurrency standards requiring that adequate water supplies and
583 facilities are or will be in place for new development; and
584 (vi) shall include a recommendation for low water use landscaping standards for a new:
585 (A) commercial, industrial, or institutional development;
586 (B) common interest community, as defined in Section 57-25-102; or
587 (C) multifamily housing project.
588 (3) The proposed general plan may include:
589 (a) an environmental element that addresses:

590 (i) to the extent not covered by the county's resource management plan, the protection,
591 conservation, development, and use of natural resources, including the quality of:
592 (A) air[-];
593 (B) forests[-];
594 (C) soils[-];
595 (D) rivers;
596 (E) groundwater and other waters[-];
597 (F) harbors[-];
598 (G) fisheries[-];
599 (H) wildlife[-];
600 (I) minerals[-]; and
601 (J) other natural resources; and
602 (ii) (A) the reclamation of land, flood control, prevention and control of the pollution
603 of streams and other waters[-];
604 (B) the regulation of the use of land on hillsides, stream channels and other
605 environmentally sensitive areas[-];
606 (C) the prevention, control, and correction of the erosion of soils[-, protection];
607 (D) the preservation and enhancement of watersheds and wetlands[-]; and
608 (E) the mapping of known geologic hazards;
609 (b) a public services and facilities element showing general plans for sewage, water,

610 waste disposal, drainage, public utilities, rights-of-way, easements, and facilities for them,
611 police and fire protection, and other public services;
612 (c) a rehabilitation, redevelopment, and conservation element consisting of plans and
613 programs for:
614 (i) historic preservation;
615 (ii) the diminution or elimination of a development impediment as defined in Section
616 17C-1-102; and
617 (iii) redevelopment of land, including housing sites, business and industrial sites, and

618 public building sites;
619 (d) an economic element composed of appropriate studies and forecasts, as well as an
620 economic development plan, which may include review of existing and projected county
621 revenue and expenditures, revenue sources, identification of basic and secondary industry,
622 primary and secondary market areas, employment, and retail sales activity;
623 (e) recommendations for implementing all or any portion of the general plan, including
624 the ~~use~~ adoption of land and water use ordinances, capital improvement plans, community
625 development and promotion, and any other appropriate action;
626 (f) provisions addressing any of the matters listed in Subsection 17-27a-401(2) or
627 (3)(a)(i); and
628 (g) any other element the county considers appropriate.

629 Section 6. Section 17-27a-404 is amended to read:

630 17-27a-404. Public hearing by planning commission on proposed general plan or
631 amendment -- Notice -- Revisions to general plan or amendment -- Adoption or rejection
632 by legislative body.

633 (1) (a) After completing ~~its~~ the planning commission's recommendation for a
634 proposed general plan, or proposal to amend the general plan, the planning commission shall
635 schedule and hold a public hearing on the proposed plan or amendment.

636 (b) The planning commission shall provide notice of the public hearing, as required by
637 Section 17-27a-204.

638 (c) After the public hearing, the planning commission may modify the proposed
639 general plan or amendment.

640 (2) The planning commission shall forward the proposed general plan or amendment to
641 the legislative body.

642 (3) (a) As provided by local ordinance and by Section 17-27a-204, the legislative body
643 shall provide notice of ~~its~~ the legislative body's intent to consider the general plan proposal.

644 (b) (i) In addition to the requirements of Subsections (1), (2), and (3)(a), the legislative
645 body shall hold a public hearing in Salt Lake City on provisions of the proposed county plan

646 regarding Subsection 17-27a-401(4). The hearing procedure shall comply with this Subsection
647 (3)(b).

648 (ii) The hearing format shall allow adequate time for public comment at the actual
649 public hearing, and shall also allow for public comment in writing to be submitted to the
650 legislative body for not fewer than 90 days after the date of the public hearing.

651 (c) (i) The legislative body shall give notice of the hearing in accordance with this
652 Subsection (3) when the proposed plan provisions required by Subsection 17-27a-401(4) are
653 complete.

654 (ii) Direct notice of the hearing shall be given, in writing, to the governor, members of
655 the state Legislature, executive director of the Department of Environmental Quality, the state
656 planning coordinator, the Resource Development Coordinating Committee, and any other
657 citizens or entities who specifically request notice in writing.

658 (iii) Public notice shall be given by publication on the Utah Public Notice Website
659 created in Section 63A-16-601.

660 (iv) The notice shall be published to allow reasonable time for interested parties and
661 the state to evaluate the information regarding ~~the provisions of~~ Subsection 17-27a-401(4),

including publication described in Subsection (3)(c)(iii) for 180 days before the date of the hearing to be held under this Subsection (3).

(4) (a) After the public hearing required under this section, the legislative body may adopt, reject, or make any revisions to the proposed general plan that ~~the~~ the legislative body considers appropriate.

(b) The legislative body shall respond in writing and in a substantive manner to all those providing comments as a result of the hearing required by Subsection (3).

(c) If the county legislative body rejects the proposed general plan or amendment, ~~the~~ the legislative body may provide suggestions to the planning commission for the planning commission's review and recommendation.

(5) The legislative body shall adopt:

(a) a land use element as provided in Subsection 17-27a-403(2)(a)(i);

(b) a transportation and traffic circulation element as provided in Subsection

17-27a-403(2)(a)(ii);

(c) after considering the factors included in Subsection 17-27a-403(2)(b), a plan to provide a realistic opportunity to meet the need for additional moderate income housing; ~~and~~

(d) before August 1, 2017, a resource management plan as provided by Subsection

17-27a-403(2)(a)(iv)[-]; and

(e) on or before December 31, 2025, a water use and preservation element as provided in Subsection 17-27a-403(2)(a)(v).

Section 7. Section 73-10-36 is enacted to read:

73-10-36. Division to provide technical assistance in local government planning.

(1) As used in this section:

(a) "Division" means the Division of Water Resources.

(b) "General plan":

(i) for a municipality, means the same as that term is defined in Section 10-9a-103; and

(ii) for a county, means the same as that term is defined in Section 17-27a-103.

(c) "Local government" means a county or a municipality, as defined in Section 10-1-104.

(2) The division may provide technical assistance to a local government to support the local government's adoption of a water use and preservation element in a general plan.

Section 8. Appropriation.

The following sums of money are appropriated for the fiscal year beginning July 1, 2022, and ending June 30, 2023. These are additions to amounts previously appropriated for fiscal year 2023. Under the terms and conditions of Title 63J, Chapter 1, Budgetary Procedures Act, the Legislature appropriates the following sums of money from the funds or accounts indicated for the use and support of the government of the state of Utah.

ITEM 1

To Department of Natural Resources -- Division of Water Resources
From General Fund, One-time

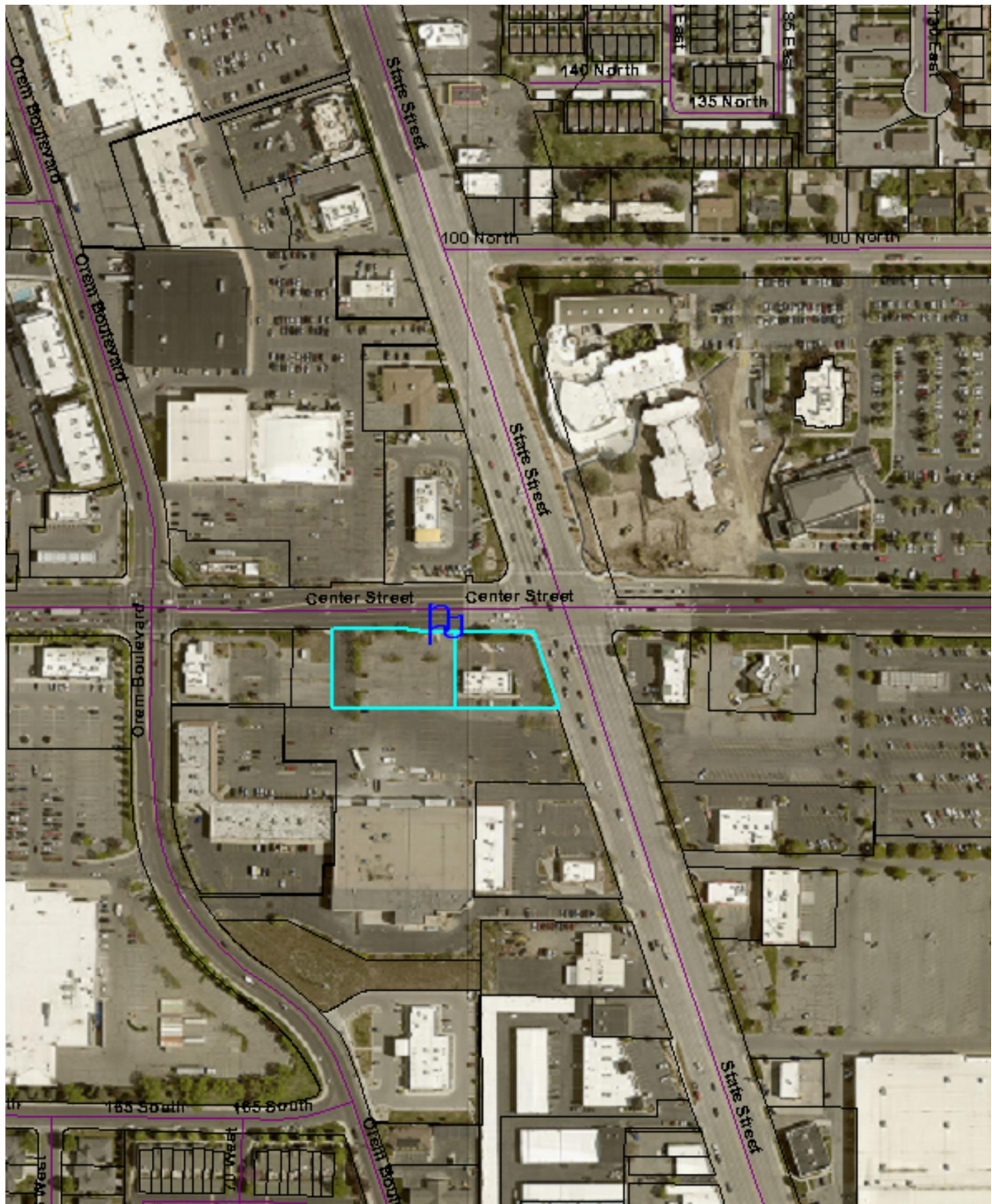
\$300,000

Schedule of Programs:

Planning \$300,000

The Legislature intends that the appropriation under this item be used to fund the cost of the Division of Water Resources providing technical assistance under Section 73-10-36 to a local government's adoption of a water use or preservation element in a general plan. The Legislature intends that the appropriation in this item be nonlapsing.

Raising Canes – 11 West Center Street



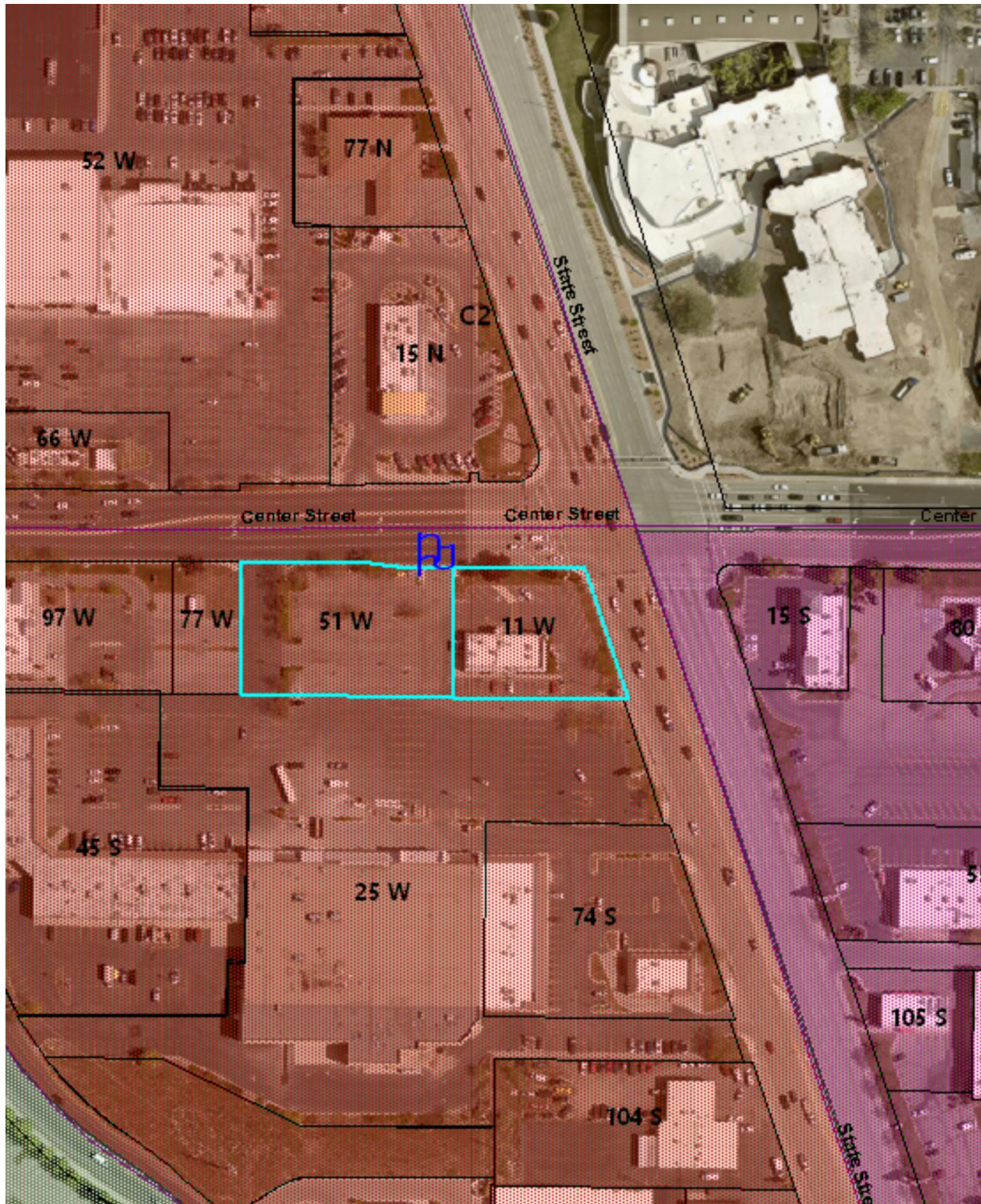
Vicinity Map

Zone: C2

Acres: 1.293 acres



Raising Canes – 11 West Center Street



Zoning Map

Zone: C2

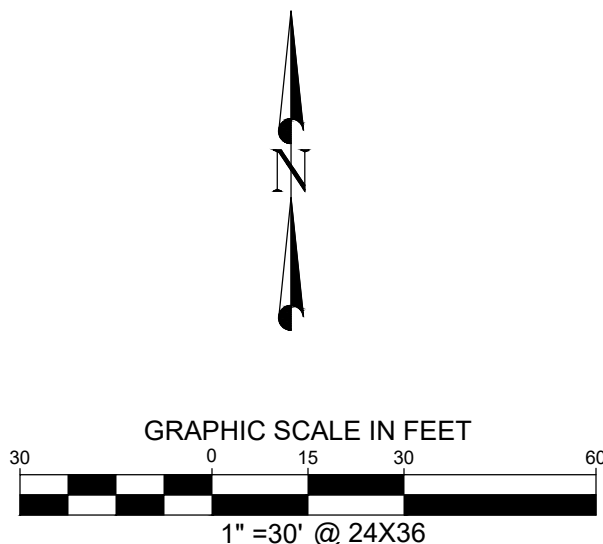
Acres: 1.293 acres



Raising Canes – 11 West Center Street

Current Street View



[illegible]

1850 WEST ASHTON BOULEVARD LEHI, UT 84048 (385) 212-3184		
DATE: 6-27-2025	SCALE: 1"=30'	PROJECT No.: 093610023
DESIGNED: CB	DRAFTED: JRF	CHECKED: SRV

DATE: 6-27-2025	SCALE: 1"=30'	PROJECT No.: 093610023
DESIGNED: CB	DRAFTED: JRF	CHECKED: SRV

	BOUNDARY LINE
	ADJOINER LINE
	QUARTER SECTION LINE
	ROAD CENTERLINE
	TIE LINE
	EASEMENT LINE

SECTION CORNER (NOT FOUND)

BOUNDARY CORNER

1. THE BASIS OF BEARINGS IS S89°31'58"E BETWEEN THE FOUND MONUMENTS AT THE WEST QUARTER CORNER AND THE FOUND WITNESS CORNER OF THE EAST QUARTER CORNER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE EAST, SALT LAKE BASE AND MERIDIAN.
2. A 2-FOOT 5/8" REBAR WITH A "KIMLEY HORN" CAP HAVE BEEN SET AT PROPERTY CORNERS.
3. A RECORD OF SURVEY HAS BEEN RECORDED WITH THE UTAH COUNTY RECORDER AS SURVEY NO. _____.
4. THE PURPOSE OF THIS SUBDIVISION PLAT AMENDMENT IS TO CONSOLIDATE LOTS 3 AND 4 OF ALBERTSONS CENTER SUBDIVISION, PLAT "A" INTO A SINGLE (1) LOT COMMERCIAL SUBDIVISION PLAT.
5. THIS PROPERTY LIES WITHIN THE FLOOD ZONE 'X' (NO SHADING) ACCORDING TO FEMA FLOOD MAP SERVICE, MAP NO 49049C0340F, DATED JUNE 19, 2020. ZONE 'X' (NO SHADING) IS DEFINED AS "AREA OF MINIMAL FLOOD HAZARD".

I, SHAWN R. VERNON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 8744086 IN ACCORDANCE WITH TITLE 68, CHAPTER 22 OF UTAH STATE CODE. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER(S) THAT I HAVE MADE A SURVEY OF THE LANDS SHOWN ON THIS PLAT AND THAT IT CORRECTLY REPRESENTS THE EXISTING CONDITIONS AS SHOWN. THIS PLAN DOES NOT REPRESENT A CERTIFICATION TO THE TITLE OR OWNERSHIP OF THE LANDS SHOWN HEREON.

SHAWN R. VERNON
PROFESSIONAL LAND SURVEYOR
CERTIFICATE NO. 8744084

A PART OF THE SOUTHWEST QUARTER OF SECTION 14, AND THE SOUTHEAST QUARTER OF SECTION 15, TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, OREM CITY, UTAH COUNTY, UTAH, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE FOUND 3" FLAT BRASS CAP MONUMENT AT THE WEST QUARTER CORNER OF SAID SECTION 15; AND RUNNING THENCE SOUTH 89°31'58" EAST 5325.38 FEET TO A FOUND 3" FLAT BRASS CAP MONUMENT AT THE WITNESS CORNER FOR THE EAST QUARTER CORNER OF SAID SECTION 15, BEING THE BASIS OF BEARING; THENCE SOUTH 0°28'51" WEST 57.16 FEET TO THE CALCULATED LOCATION OF SAID EAST QUARTER CORNER OF SECTION 15; THENCE SOUTH 46°07'24" WEST 54.79 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF CENTER STREET AND THE TRUE POINT OF BEGINNING:

THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE SOUTH 89°35'00" EAST 102.72 FEET TO THE WEST LINE OF THAT CERTAIN WARRANTY DEED RECORDED OCTOBER 30, 2019 AS ENTRY NO. 1123122/2019 IN THE UTAH COUNTY RECORDER'S OFFICE; THENCE ALONG THE SAID WEST LINE THE FOLLOWING TWO (2) COURSES: (1) SOUTH 0°25'00" WEST 2.00 FEET; AND (2) SOUTH 89°35'00" EAST 14.50 FEET TO THE WEST LINE OF THAT CERTAIN WARRANTY DEED RECORDED OCTOBER 30, 2019 AS ENTRY NO. 112311/2019 IN THE UTAH COUNTY RECORDER'S OFFICE; THENCE ALONG SAID WESTERLY LINE SOUTH 54°41'52" EAST 34.41 FEET (34.39 FEET RECORD) TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF STATE STREET; THENCE SOUTH 18°09'45" EAST 127.49 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO THE NORTHEASTERLY CORNER OF LOT 1, PLAT "C", ALBERTSONS CENTER SUBDIVISION (ENTRY NO. 68368/2001, MAP NO. 9156, UTAH COUNTY RECORDER'S OFFICE); THENCE NORTH 89°01'15" WEST 420.43 FEET ALONG THE NORTHERLY LINE OF SAID LOT 1 TO THE SOUTHEAST CORNER OF LOT 2, ALBERTSONS CENTER, PLAT B AMENDED (ENTRY NO. 58784, MAP NO. 5630, UTAH COUNTY RECORDER'S OFFICE); THENCE NORTH 0°25'00" EAST 144.40 FEET (144.37 FEET RECORD) ALONG THE EASTERLY LINE OF SAID LOT 2 TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID CENTER STREET; THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES: (1) SOUTH 89°35'00" EAST 139.12 FEET; (2) SOUTH 81°30'00" EAST 42.67 FEET; AND (3) SOUTH 89°35'00" EAST 48.47 FEET TO THE POINT OF BEGINNING.

CONTAINS 56,316 SQ. FT. OR 1.293 ACRES, 1 LOT

KNOW ALL MEN BY THESE PRESENT THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND DO HEREBY DEDICATE ANY PUBLIC STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____
A.D. 20_____

BY: KEITH R. ANDERSON BY: ADAM EARL
BHNC-CS, LLC, EARL CORPORATION
A UTAH LIMITED LIABILITY COMPANY A UTAH CORPORATION
ITS: MANAGER ITS: PRESIDENT

STATE OF UTAH
S.S.
COUNTY OF _____

ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, THE
UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF _____, IN SAID STATE OF
UTAH, _____, KEITH R. ANDERSON, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS
THE _____ MANAGER _____ OF _____ BHNC-CS, LLC, A UTAH LIMITED LIABILITY COMPANY, AND THAT HE SIGNED
THE OWNERS DEDICATION FREELY AND VOLUNTARILY FOR AND BEHALF OF SAID COMPANY FOR THE
PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____

A NOTARY PUBLIC COMMISSIONED IN
UTAH RESIDING IN _____ COUNTY

MY COMMISSION NO.: _____

PRINTED FULL NAME OF NOTARY _____

THE CITY OF OREM, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC. THE CITY RECOGNIZES THAT THIS PLAT CLARIFIES OWNERSHIP OF PROPERTY WITH THE DEDICATION SHOWN HEREON THIS

_____ DAY OF _____, A.D. 20_____

APPROVED BY CITY ENGINEER
(SEE SEAL BELOW)

ATTEST
CLERK - RECORDER
(SEE SEAL BELOW)

APPROVED BY COMMUNITY DEVELOPMENT DIRECTOR

APPROVED THIS _____ DAY OF _____, A.D. 20____, BY THE CITY OF OREM
PLANNING COMMISSION.

DIRECTOR/SECRETARY

CHAIRPERSON, PLANNING COMMISSION

RAISING CANES OREM SUBDIVISION
VACATING LOTS 3 & 4, ALBERTSONS CENTER SUBDIVISION, PLAT "A"
 LOCATED IN THE SOUTHWEST QUARTER OF SECTION 14 AND THE SOUTHEAST QUARTER OF SECTION 15,
 TOWNSHIP 6 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN
 OREM CITY, UTAH COUNTY, UTAH
 AUGUST 2025



STATE OF UTAH
S.S.
COUNTY OF _____

ON THE _____ DAY OF _____ A.D. 20____ PERSONALLY APPEARED BEFORE ME, THE
UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF _____, IN SAID STATE OF
UTAH, ADAM EARL, WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE IS THE

PRESIDENT OF EARL CORPORATION, A UTAH CORPORATION, AND THAT HE SIGNED THE
OWNERS DEDICATION FREELY AND VOLUNTARILY FOR AND BEHALF OF SAID CORPORATION FOR THE
PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____

A NOTARY PUBLIC COMMISSIONED IN
UTAH RESIDING IN _____ COUNTY

MY COMMISSION NO.: _____

PRINTED FULL NAME OF NOTARY _____

IT IS UNLAWFUL TO OCCUPY ANY BUILDING LOCATED WITHIN THIS SUBDIVISION WITHOUT FIRST HAVING OBTAINED A CERTIFICATE OF OCCUPANCY ISSUED BY THE CITY.

THE CITY OF OREM IS SATISFIED THAT NEITHER THE PUBLIC NOR ANY PERSON WILL BE MATERIALLY INJURED BY THE VACATION OF LOTS 3 AND 4, ALBERTSONS CENTER SUBDIVISION, PLAT "A", AND THAT THERE IS GOOD REASON FOR SAID VACATION. LOTS 3 AND 4, ALBERTSONS CENTER SUBDIVISION, PLAT "A" ARE HEREBY VACATED.

APPROVED AS TO FORM THIS _____ DAY OF _____, A.D. 20_____.

CITY ATTORNEY - OREM

	PLANNING COMMISSION August 20, 2025	Item 4.2
	Raising Cane's Subdivision 11 West Center Street Plat Amendment Approval, consolidating lots in the C2 Zone	Prepared By: Rebecca Gourley Applicant: Chris Bick, Kimley Horn

Notices:

Posted in 2 public places.
Posted on City Webpage and City hotline.
Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:
Commercial

Zoning: **C2**

Total Acreage: **1.29**

Action:

The Planning Commission is the Land Use Authority and the approving body for this item.

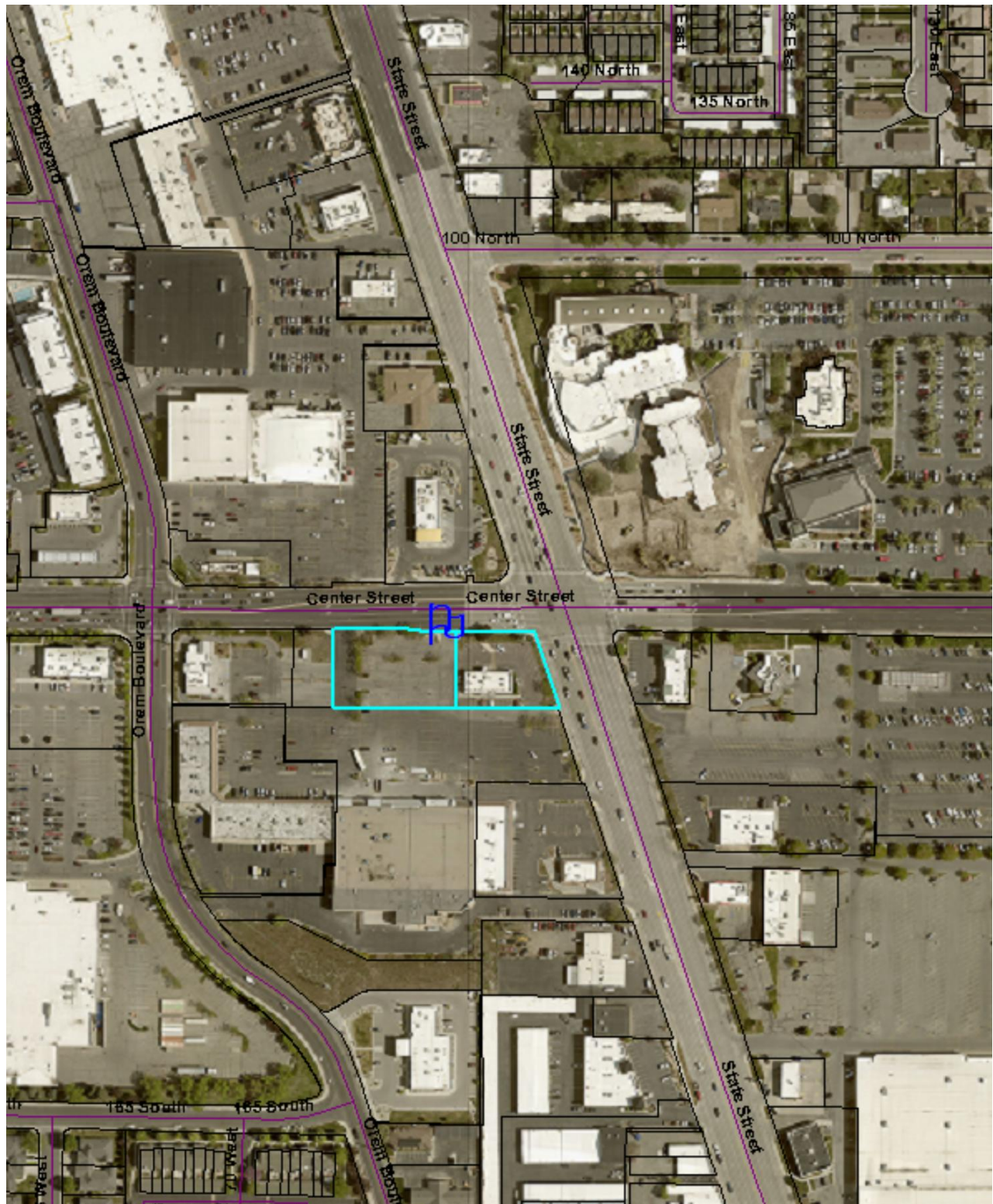
REQUEST: The applicant requests a preliminary subdivision approval to vacate lots 3 & 4 of Albertsons Center Subdivision Plat A to create a new plat with 1 lot – Raising Canes Plat A. It will consolidate 51 West and 11 West Center Street so they may move forward with their site plan to construct a new Raising Cane's restaurant.

BACKGROUND: The subject properties contain the existing Burger King and parking lot located on the southwest corner of Center Street and State Street in the C2 zone. The applicant wishes to consolidate these lots so the developer can move forward with their site plan to develop a 3,144 square foot Raising Cane's. The existing Burger King will be demolished, and the parking lot will be reoriented and updated with current required State Street public improvements. The proposed site plan is set to be reviewed on the same Planning Commission date as the preliminary subdivision on 08/20/25 and will be attached to the Planning Commission packet for reference.



|

Raising Canes – 11 West Center Street



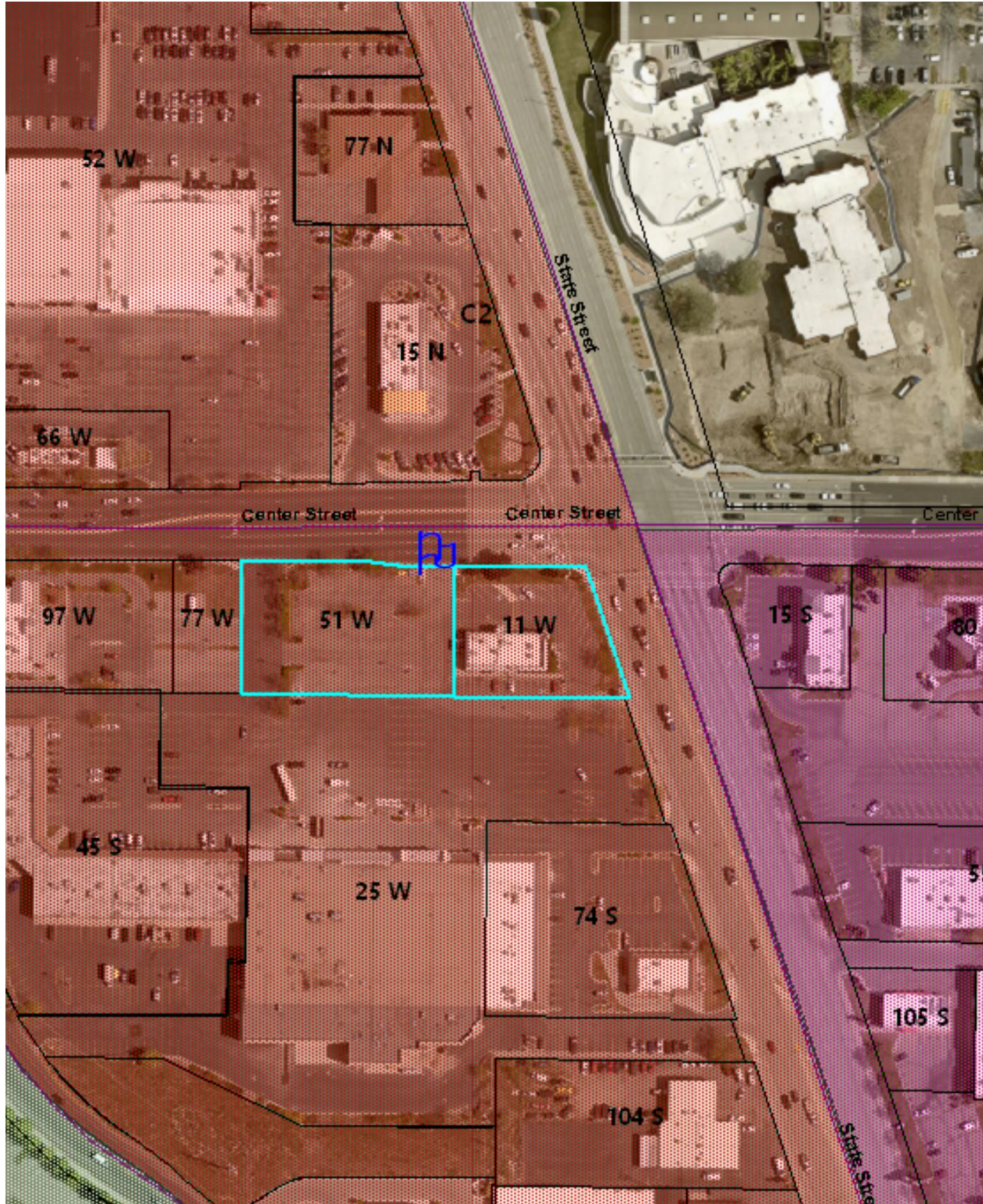
Vicinity Map

Zone: C2

Acres: 1.293 acres



Raising Canes – 11 West Center Street



Zoning Map

Zone: C2

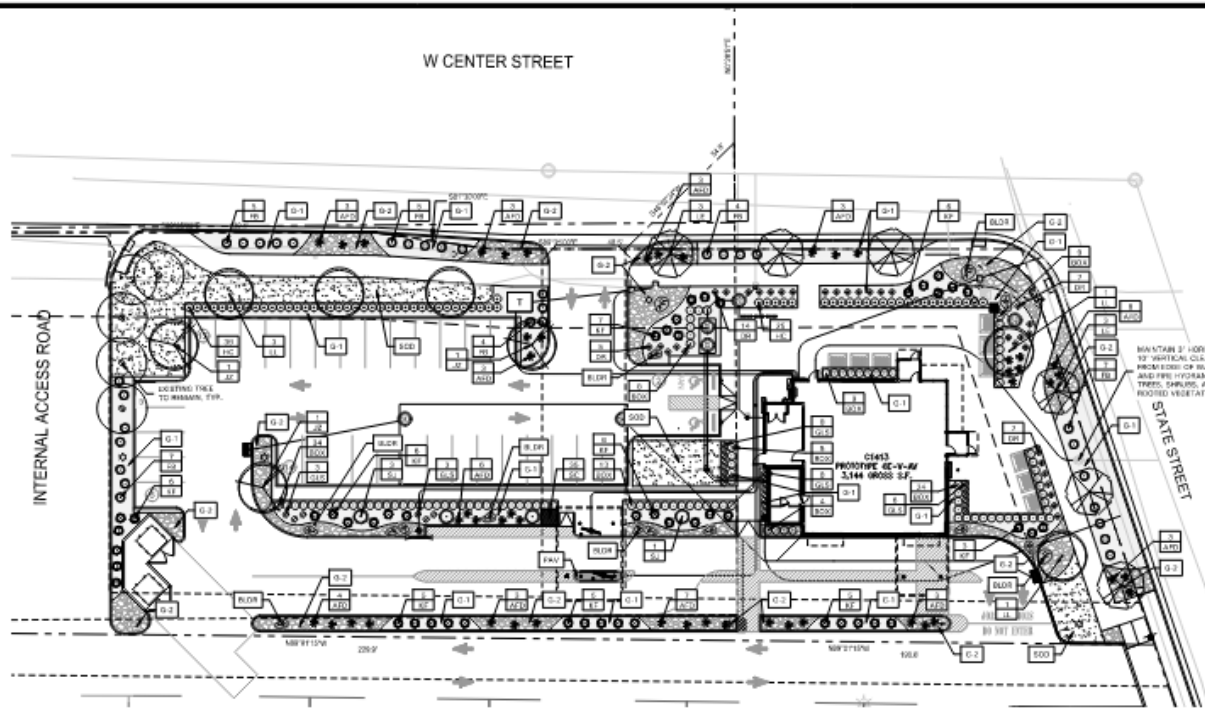
Acres: 1.293 acres



Raising Canes – 11 West Center Street

Current Street View





LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FIVE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL CURBS. NO STEEL CURBS SHALL BE INSTALLED ADJACENT TO BUILDINGS, DRIVEWAYS, OR CURBS. CURB RATES SHALL BE 45 DEGREE ANGLES UNLESS IT INTERFERES WITH CURBS.
- TOP OF MULCH SHALL BE 12" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLO SOD KENTUCKY BLUEGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH FAN AND PRESSURE SENSORS AND TRANSDUCERS. THE IRRIGATION SYSTEM CONTROLS AND SCHED IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

MAINTENANCE NOTES

- THE OWNER, TENANT AND THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPE.
- ALL LANDSCAPE SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE MOWING, EDGING, TRIMMING, FERTILIZING, WEEDING, WATERING, AND OTHER SUCH ACTIVITIES COMMON TO LANDSCAPE MAINTENANCE.
- ALL LANDSCAPE AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WILDS AND OTHER SUCH MATERIAL OR PLANTS NOT PART OF THE PLAN.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR.
- ALL PLANT MATERIAL, WHICH DIES SHALL BE REPLACED WITH PLANT MATERIAL OF EQUAL OR BETTER VALUE.
- CONTRACTOR SHALL PROVIDE SEPARATE BID PROPOSAL FOR ONE YEAR'S MAINTENANCE TO BEGIN AFTER FINAL ACCEPTANCE.

GENERAL LAWN NOTES

- CONTRACTOR SHALL COORDINATE OPERATIONS AND AVAILABILITY OF EXISTING TOPSOIL WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR SHALL LEAVE LAWN AREAS 1" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
- CONTRACTOR SHALL FIVE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE PROTECTIVE EMBANKMENT AT TOP OF RETENTION OR SLOPE OR OTHER AREAS IN WHICH CORRECT DRAINAGE IS REQUIRED AND AREAS WHERE WATER MAY STAND.

CONCRETE PAVEMENT NOTES

- CONTRACTOR SHALL ADHERE TO THE MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND ANY OTHER REQUIREMENTS OUTLINED BY THE MANUFACTURER FOR ALL PAVEMENT INSTALLATION.
- IF IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO COMMENCING ANY WORK.
- CONCRETE PAVING SHALL BE:
 - BELLEVUE READY MIX
 - MIXES: 1000 AND 1000
 - PATTERN: HYPERBLOC
 - EX. OR: CHAINLOCK
- CONTRACTOR SHALL SUBMIT A STANDARD COLOR SAMPLE BOARD TO THE OWNER'S AUTHORIZED REPRESENTATIVE FOR FINAL COLOR SELECTION PRIOR TO PLACING ORDER.
- THE FINAL COLOR SELECTION SHALL BE MADE BY THE OWNER'S AUTHORIZED REPRESENTATIVE ON-SITE.
- CONCRETE PAVING AVAILABLE FROM:
 - WYNN SLOAN CO.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. INSURE SODS OF 1000 ARE TOUCHING TOP SODS JOINTS BY HAND WITH TOPSOIL TO FILL JOINTS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATOR PROCEEDS.

PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	REMARKS
JZ	<i>Juniperus procumbens</i>	Japanese Dwarf Juniper	3	3" cal.	888, 12" H, 4" spread, 4' branching, 1' matting.
LE	<i>Ulmus parvifolia</i>	European Elm	8	3" cal.	888, 12" H, 4" spread, 4' branching, 1' matting.
UL	<i>Ulmus americana</i>	American Elm	8	3" cal.	888, 12" H, 4" spread, 4' branching, 1' matting.
AFD	<i>Arctostaphylos uva-ursi</i>	Arctic Fire Dogwood	49	5 gal.	container hlt, 20" spread
DOX	<i>Buxus x 'Winter Gem'</i>	Buxus x 'Winter Gem'	109	5 gal.	container hlt, 20" spread, 36" H, 1' cal.
DR	<i>Rosa 'Red Rose'</i>	Red Rose	33	5 gal.	container hlt, 18" spread
FB	<i>Fuchsia</i>	Fuchsia	32	5 gal.	container hlt, 18" spread
GLS	<i>Gladiolus</i>	Gladiolus	30	5 gal.	container hlt, 18" spread, 36" H, 1' cal.
HC	<i>Helianthus</i>	Helianthus	54	5 gal.	container hlt, 20" spread, 36" H, 1' cal.
KT	<i>Colostephus</i>	Colostephus	49	5 gal.	container hlt, 18" spread
SA	<i>Sedum</i>	Sedum	4	4" cal.	container hlt, 18" spread
SD	<i>Sedum</i>	Sedum	35	4" cal.	container hlt, 18" spread, 36" H, 1' cal.
BLD	<i>Blue Drift</i>	Blue Drift	15	15	native shrub, irregular limbs, smooth and rounded edges, 1.5' tall, refer to notes and G.S. 12.2
FIN	<i>Finch</i>	Finch	15	15	2" dia., 2" depth with wood barrier fabric
G-1	<i>G-1</i>	G-1	15	15	2" dia., 2" depth with wood barrier fabric
G-2	<i>G-2</i>	G-2	15	15	2" dia., 2" depth with wood barrier fabric

NOTES

- ALL TREES SHALL HAVE STRAIGHT TRUNKS AND BE MATCHING WITHIN VARIETY.
- PLANT LIST IS AN AID TO BIDDING ONLY. CONTRACTOR SHALL VERIFY ALL QUANTITIES ON PLANS. ALL HEIGHTS AND SPREADS ARE MINIMUMS. ALL PLANT MATERIAL SHALL MEET OR EXCEED REQUIREMENTS AS INDICATED.
- THE CONTRACTOR SHALL CONSTRUCT A SAMPLE PANEL 4'-0" BY 4'-0" CALIBER AT NO EXPENSE TO THE OWNER FOR APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO COMMENCING WORK.
- THE OWNER'S AUTHORIZED REPRESENTATIVE SHALL SELECT ANY AND ALL SODS SUBJECT TO THE CONTRACTOR'S VENDOR'S BEST PRICE. THE CONTRACTOR SHALL MAKE ANY MODIFICATIONS REQUIRED BY THE OWNER'S AUTHORIZED REPRESENTATIVE AT NO EXPENSE TO THE OWNER.



WYNN SLOAN CO.
1000 N. 1000 W.
Orem, Utah 84057
(801) 225-1000

LANDSCAPE PLAN
L2.01

DATE: 08/11/2020

BY: [Signature]

FOR: RAC25010

PROJECT NO. RAC25010

PROJECT NAME: RAC25010

PROJECT ADDRESS: 1000 N. 1000 W.

PROJECT CITY: OREM, UT

PROJECT STATE: UT

PROJECT ZIP: 84057

PROJECT PHONE: (801) 225-1000

PROJECT FAX: (801) 225-1000

PROJECT EMAIL: [Email Address]

PROJECT WEBSITE: [Website Address]

PROJECT NOTES: [Notes]

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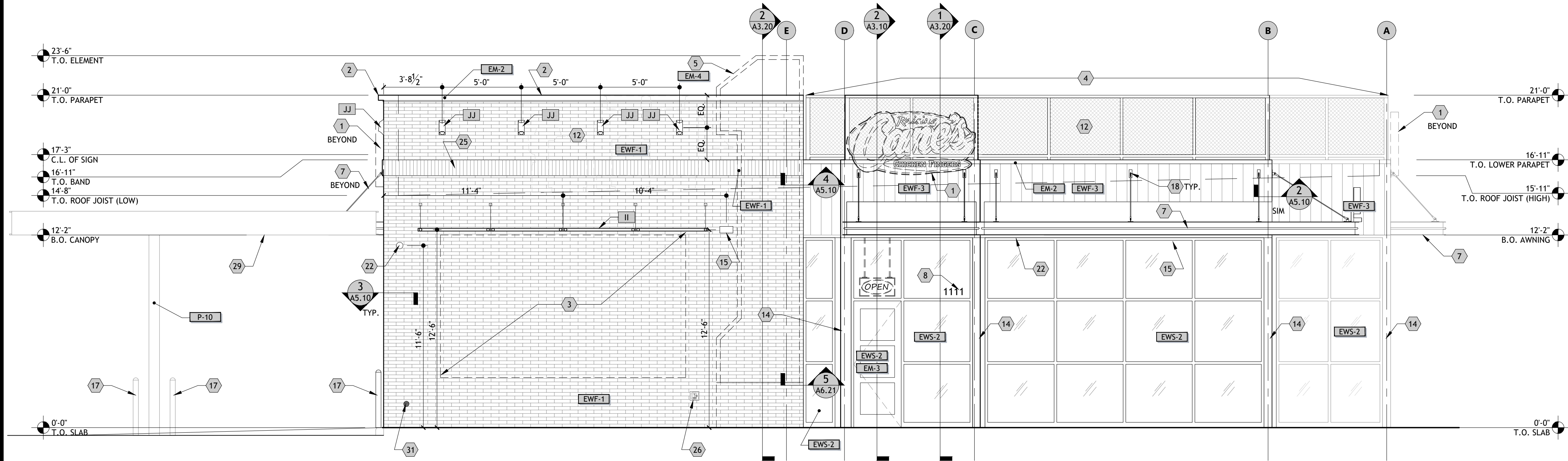
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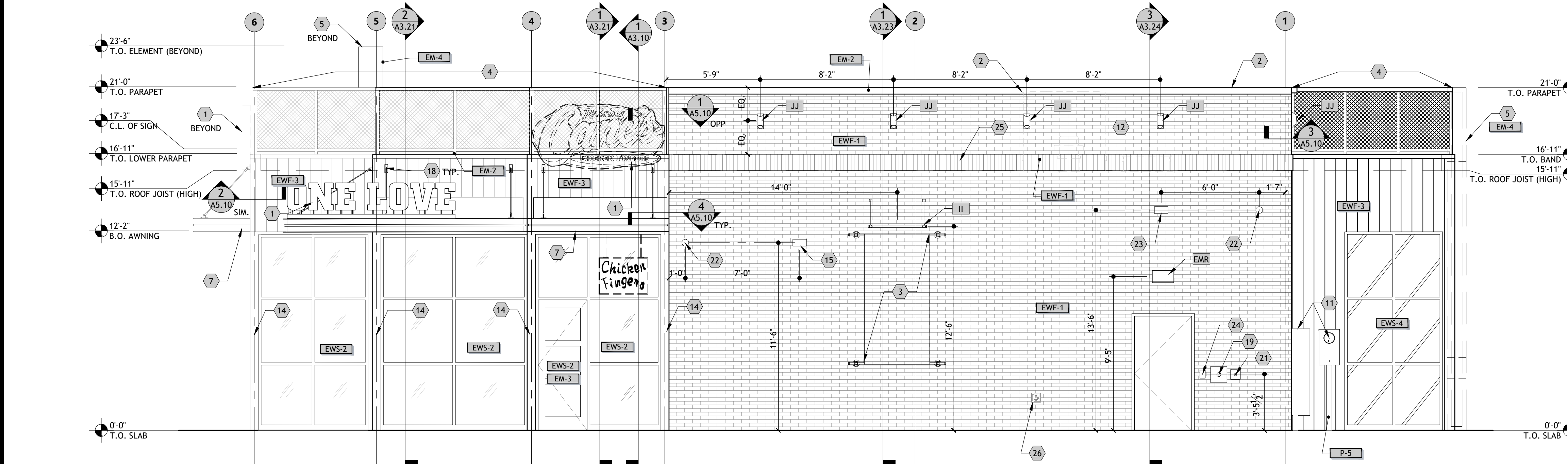
PROJECT NOTES: [Notes]



FRONT ELEVATION (EAST)

1/4" = 1'-0"

1



SIDE ELEVATION (NORTH)

1/4" = 1'-0"

2

SHEET NOTES

- REFER TO SHEET G0.01 FOR GENERAL NOTES.
- REFER TO SHEET A6.30 FOR FINISH SCHEDULES.
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- CONFIRM OUTDOOR SPEAKERS, CAMERAS AND WI-FI LOCATIONS WITH I.T.
- VERIFY LOGO SIGNS, PAINTED MURAL, ARTWORK W/ SIGNAGE VENDOR.

SEALANT NOTES

- PROVIDE SEALANT & BACKER RODS AT ALL DISSIMILAR MATERIALS.
- MATCH FRAME COLOR AT ALL DOORS AND WINDOWS. MATCH ADJACENT WALL MATERIAL COLOR AT WALL PENETRATIONS AND CONSTRUCTION JOINTS; AT JOINT BETWEEN TWO DIFFERENT WALL MATERIALS, MATCH DARKER MATERIAL.

KEYED NOTES

- SIGN, BY OWNER. PROVIDE BLOCKING AS REQUIRED (4'-0" x 8'-0" OVAL).
- LED COVE LIGHTING BY OTHERS
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- MESH PARAPET ASSEMBLY BY OWNER
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- METAL COUNTER FLASHING AT SLOPED ROOF
- CANOPY, RE: RCP
- ADDRESS NUMBERS IN 6" CHARACTERS, SIZE AND LOCATION AS REQUIRED BY AHJ
- METAL, GUTTER & DOWNSPOUT, FINISH AS NOTED, RE: CIVIL FOR CONTINUATION.
- BREAK METAL SILL
- ELECTRICAL EQUIPMENT, PAINT TO MATCH ADJACENT CLADDING MATERIAL
- ROOFTOP EQUIPMENT BEHIND SCREEN, REFER TO ROOF PLAN.
- GAS METER - PAINTED TO MATCH ADJACENT CLADDING MATERIAL
- BRAKE METAL BETWEEN WINDOWS PRE-FINISHED TO MATCH STOREFRONT
- EXTERIOR SPEAKERS
- OVERFLOW SCUPPER
- 4" BOLLARD W/ BLACK PLASTIC SLEEVE RE: 2/A0.50
- 2x WOOD BLOCKING REQUIRED IN WALL CAVITY. REFER TO WALL SECTIONS
- DARPRO OUTLET AND SECURITY BOX
- ORIA 4-DIGIT KEY STORAGE BOX
- CO2 PORT
- PENETRATION FOR SECURITY CAMERAS
- PENETRATION FOR WIFI EQUIPMENT
- KNOX BOX - COORDINATE LOCATION WITH FIRE MARSHAL
- 8" ACCENT BAND, 1" PROJECTION, ALIGN TOP OF BAND WITH LOWER PARAPET
- WALL HYDRANT, RE: PLUMBING
- 1" x 1" 14 ga BLACK WIRE MESH INFILL
- RAIN LEADER CLEAN-OUT
- DT PICK-UP AREA CANOPY, RE: A0.41
- LOUVERED VENT
- RAIN LEADER WITH LOCKING COVER

MATERIAL LEGEND

TAG	DESCRIPTION
EM-1	STANDING SEAM METAL ROOF / METAL FASCIA
EM-2	METAL CAP FLASHING
EM-3	POWDER COATED ALUMINUM
EM-4	METAL ACCENT PANELS
EWF-1	BRICK CLADDING
EWF-2	BRICK CLADDING
EWF-3	ARCHITECTURAL PANELS
EWF-4	COMPOSITE LUMBER
EWS-1	DRIVE-THRU WINDOW
EWS-2	ALUMINUM STOREFRONT
EWS-3	ALUMINUM SLIDING DOOR
EWS-4	ALUMINUM STOREFRONT WITH SPANDREL GLAZING
P-5	EXTERIOR PAINT
P-10	EXTERIOR PAINT



9540 MAROON CIRCLE
SUITE 260
ENGLEWOOD, CO 80112
PROJECT CONTACT: TODD WOODY
PHONE: 303.731.3764
EMAIL: T2WOODY@PMDGNC.COM
KEN MCCracken, ARCHITECT
PMD DESIGN GROUP, INC.

SEAL:

CONSULTANT:



RAISING CANE'S
RESTAURANT NO.: C1413
STATE ST. & W. CENTER ST.
OREM, UT 84057

REV	DATE	DESCRIPTION
5.23.25		SITE PLAN REVIEW

DRAWN BY: TW

CHECKED BY: MM

ARCH. PROJECT NO.: RAC25010

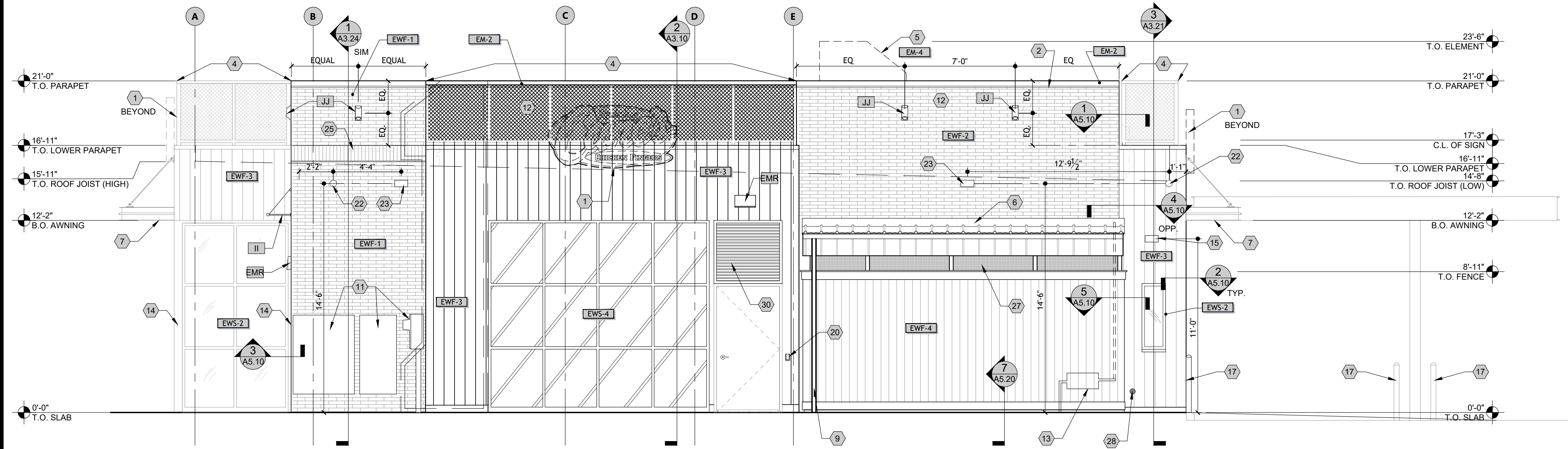
SHEET NAME:

EXTERIOR ELEVATIONS

SHEET NUMBER:

A2.10

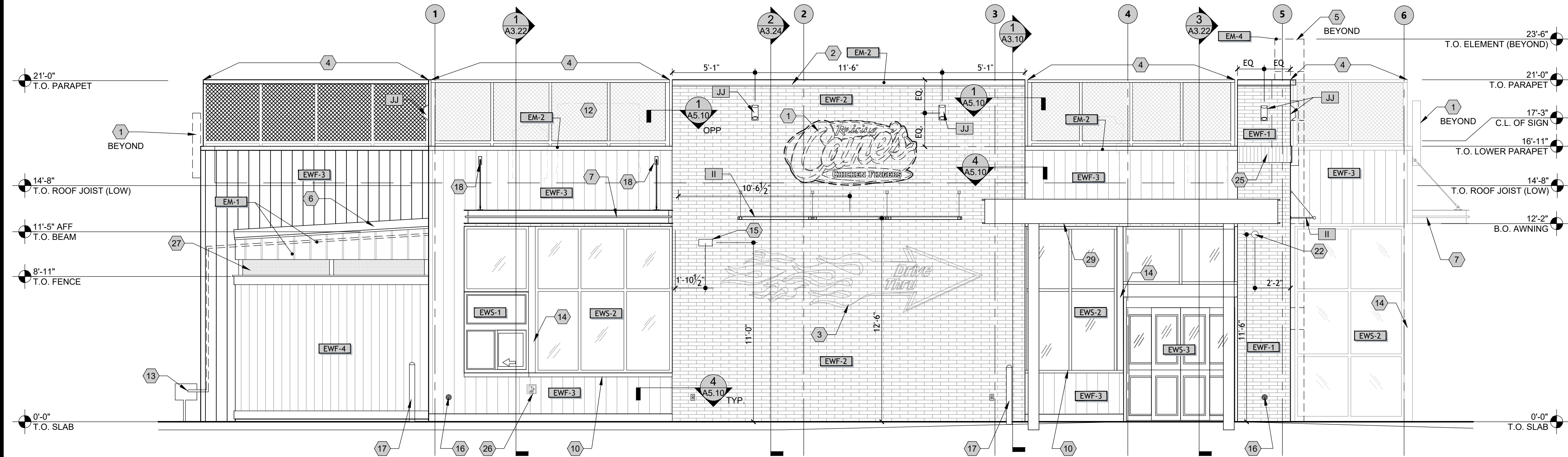
SITE PLAN REVIEW



REAR ELEVATION (WEST)

1/4" = 1'-0"

1



DRIVE-THRU ELEVATION (SOUTH)

1/4" = 1'-0"

2

SHEET NOTES

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REV	DATE	DESCRIPTION
5.23.25		SITE PLAN REVIEW

DRAWN BY: TW

CHECKED BY: MM

ARCH. PROJECT NO.: RAC25010

SHEET NAME:

EXTERIOR
ELEVATIONS

SHEET NUMBER:

A2.11

SITE PLAN REVIEW

 OREM Administrative	PLANNING COMMISSION August 20th, 2025	Item 4.3
	Raising Canes 11 W Center Street Site Plan Approval, demolishing Burger King and replacing with Raising Canes and a drive-through.	Prepared By: Grace Bjarnson Applicant: Chris Bick

Notices:

Posted in 2 public places.
Posted on City Webpage and City hotline.
Posted at Utah.gov/pmn.

Site Information:

General Plan Designation:
Community Commercial

Zoning: **C2**

Total Acreage: **1.29 acres**

Action:

The Planning Commission is the Land Use Authority and the approving body for this item.

REQUEST: The applicant requests site plan approval for the construction of a Raising Canes Restaurant (3,144 ft²) with a drive-through.

BACKGROUND: The subject property includes both 11 W Center Street and 51 W Center Street, located at the corner of State Street and Center Street where there is currently a Burger King. The Planning Commission is also reviewing a subdivision for Raising Canes at this time to combine the properties. The proposed site plan includes improvements to both properties which total 1.29 acres.



REVIEW:

Zoning: The subject property is zoned C2, and the proposed use for a restaurant with a drive-thru is permitted in the zone.

Public Improvements: The property is located within the State Street Corridor Area, which includes specific requirements for right-of-way improvements (sidewalk, park strip, curb + gutter.) The State Street frontage will require the installation of 15' wide landscape park strips with trees, and 8' wide sidewalks.

Landscaping: The required landscaping area for this property is 8,078 ft². This property includes 13,429 ft² of landscaping, which more than meets the requirements. The park strip landscaping must include one tree per 40 linear feet of frontage. The proposed improvements meet the standards while taking into account site lines for traffic and utility easements. A total of 14 trees will be on the entire property. The landscaping plan is attached for review along with the site plan.

Access: No additional access from State Street and Center Street is planned for the site. Vehicles will access the subject property through the two existing entrances along Center Street. Cross access agreements with the adjacent parcels will also allow access to the site through the parking lot to the South.

Parking: The parking standard for this site is 27 stalls. The proposed site layout provides 34 parking stalls, two of which are ADA accessible, which more than meets requirements.

Drive-Thru: A 2-lane drive through is located to the South of the building. The drive-thru lanes are accessed from the parking lot on the West side of the building or from the parking lot to the South of the property.

Elevations: The proposed building elevations are attached to this report for review. The State Street Corridor Area requires some elements for building facades facing public streets, including the use of windows on first floors, stone or brick, and vertical breaks in the architecture. The required elements have been met by the proposed elevations.

DEVELOPMENT REVIEW COMMITTEE: The Development Review Committee (DRC) reviewed the site plan application on Monday, August 18th, 2025. The DRC voted to approve and did not forward any specific conditions to the Planning Commission.

ACTIONS: The Planning Commission is the designated Land Use Authority for the site plan. The Commission may approve or deny the request for site plan approval or may choose to continue their consideration of the request and ask for additional information or analysis.